

ARCHITECTURAL REVIEW BOARD MEETING AGENDACO ARCHITECTURAL REVIEW BOARD MEETING CITY HALL, 385 SOUTH GOLIAD STREET, ROCKWALL, TEXAS NOVEMBER 14, 2023 IN THE CITY COUNCIL CONFERENCE RO NOVEMBER 14, 2023 IN THE CITY COUNCIL CONFERENCE ROOM AT 5:00 PM

NOTES ABOUT PUBLIC PARTICIPATION = RED

(I) CALL TO ORDER

(II)**OPEN FORUM**

This is a time for anyone to address the Architectural Review Board (ARB) on any topic. Per the policies of the City of Rockwall, public comments are limited to three (3) minutes out of respect for the time of other citizens. On topics raised during the OPEN FORUM, please know that the Architectural Review Board (ARB) is not permitted to respond to your comments during the meeting per the Texas Open Meetings Act.

(III)ACTION AGENDA

(1) SP2023-032 (HENRY LEE)

Discuss and consider a request by Salvador Salcedo for the approval of a Site Plan for an Office/Warehouse Building on a 0.45-acre parcel of land identified as Lot 10, Block A, Municipal Industrial Park Addition, City of Rockwall, Rockwall County, Texas, being zoned Light Industrial (LI) District, addressed as 855 Whitmore Drive, and take any action necessary.

(2) SP2023-034 (HENRY LEE)

Discuss and consider a request by Trenton Jones and Ben Sanchez of Parkhill on behalf of Frank New of Rockwall County for the approval of a Site Plan for a Government Building on a 1.90-acre portion of a larger 12.79-acre parcel of land identified as Lot 1. Block A, Rockwall County Courthouse Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the IH-30 Overlay (IH-30) District, addressed as 963 E. Yellow Jacket Lane, and take any action necessary.

(3) SP2023-035 (HENRY LEE)

Discuss and consider a request by Leslie Ford of Ofi Chito on behalf of Michael Hampton of Creekside Commons Crossing, LP for the approval of a Site Plan for a Restaurant, Greater than 2,000 SF, with Drive-Through or Drive-In (i.e. McDonald's) on a 1.251-acre tract of land identified as a portion of Lot 3 and all of Lot 2, Block A, Creekside Commons Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the SH-205 Overlay (SH-205 OV) District, generally located north of the northeast corner of the intersection of S. Goliad Street [SH-205] and FM-549, and take any action necessary.

(4) SP2023-036 (HENRY LEE)

Discuss and consider a request by Juan J. Vasquez of Vasquez Engineering, LLC on behalf of Shae Shoulders of Kennor Rockwall Retail, LLC for the approval of a Site Plan for two (2) commercial/retail buildings on a 1.93-acre parcel of land identified as Lots 8 & 9, Block A, Dalton-Goliad Addition, City of Rockwall, Rockwall County, Texas, zoned General Retail (GR) District, situated within the North SH-205 Overlay (N. SH-205 OV) District, addressed as 3611 & 3775 N. Goliad Street [SH-205], and take any action necessary.

(5) SP2023-037 (HENRY LEE)

Discuss and consider a request by Bart Gardner and James Belt of Gardner Construction on behalf of Corey Fleck of C2LA, LLC for the approval of a Site Plan for a Light Industrial Building on a 6.50-acre tract of land identified as Tracts 3-1, 3-2, 3-3 & 3-4 of the J. Lockhart Survey, Abstract No. 134 and Lots 1 & 2, Block A, Eastplex Inc. Park #2 Addition, City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District and Commercial (C) District, situated within the IH-30 Overlay (IH-30 OV) District and the SH-205 By-Pass Overlay (SH-205 BY-OV) District, generally located at the northwest corner of the intersection of the IH-30 Frontage Road and Enterprise Drive, and take any action necessary.

(6) SP2023-038 (ANGELICA GUEVARA)

Discuss and consider a request by Clay Cristy of ClayMoore Engineering on behalf of Staci Bowen of Metroplex Acquisition Fund, LP for the approval of a Site Plan for Restaurant with Less Than 2,000 SF with a Drive-Through or Drive-In (i.e. HTeaO) on a 0.93-acre portion of a larger 5.16-acre parcel of land identified as Lot 13, Block A, Stone Creek Retail Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 70 (PD-70) for General Retail (GR) District land uses, situated within North SH-205 Overlay (N. SH-205 OV) District, generally located at the northeast corner of the intersection of N. Goliad Street [SH-205] and Bordeaux Drive, and take any action necessary.

(IV)ADJOURNMENT

The City of Rockwall Planning and Zoning Commission reserves the right to adjourn into executive session at any time to discuss any matters listed on the agenda above, as authorized by Texas Government Code §551.071 (Consultation with City Attorney).

This facility is wheelchair accessible and accessible parking spaces are available. Request for accommodations or interpretive services must be made 48 hours prior to this meeting. Please contact the City Secretary's Office at (972) 772-6406 for further information.

I, Melanie Zavala, Planning and Zoning Coordinator for the City of Rockwall, Texas, do hereby certify that this Agenda was posted at City Hall, in a place readily accessible to the general public at all times, on <u>November 10, 2023</u> prior to 5:00 PM, and remained so posted for at least 72 continuous hours preceding the scheduled time of said meeting.



CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION CASE MEMO

PLANNING AND ZONING DEPARTMENT 385 S. GOLIAD STREET • ROCKWALL, TX 75087 PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

| TO: | Planning and Zoning Commission |
|--------------|--|
| DATE: | November 14, 2023 |
| APPLICANT: | Salvador Salcedo |
| CASE NUMBER: | SP2023-032; Site Plan for 855 Whitmore Drive |

SUMMARY

Discuss and consider a request by Salvador Salcedo for the approval of a <u>Site Plan</u> for an Office/Warehouse Building on a 0.45- acre parcel of land identified as Lot 10, Block A, Municipal Industrial Park Addition, City of Rockwall, Rockwall County, Texas, being zoned Light Industrial (LI) District, addressed as 855 Whitmore Drive, and take any action necessary.

BACKGROUND

The subject property was annexed into the City of Rockwall on June 20, 1959 by *Ordinance No. 59-02* [*Case No. A1959-002*]. According to the January 3, 1972 zoning map the subject property was zoned Light Industrial (LI) District, which remains the zoning designation of the subject property today. In March of 1978, the subject property was platted establishing it as Lot 1, Block A, Municipal Industrial Park Addition. On March 19, 2007, the City Council approved a replat [*Case No. P2007-008*] that establish the subject property as Lot 8, Block A, Municipal Industrial Park Addition. On May 2, 2016, the City Council approved an additional replat [*Case No. P2016-017*] that establish the subject property as Lot 10, Block A, Municipal Industrial Park Addition. The subject property has remained vacant since the time of annexation.

PURPOSE

On September 15, 2023, the applicant -- Salvador Salcedo. -- submitted an application requesting the approval of a <u>Site Plan</u> for the purpose of constructing an Office/Warehouse Building on the subject property.

ADJACENT LAND USES AND ACCESS

The subject property is addressed as 855 Whitmore Drive. The land uses adjacent to the subject property are as follows:

- North: Directly north of the subject property is a vacant 1.747-acre tract of land (*i.e. Tract 24 of the R. Ballard Survey, Abstract No. 29*) zoned Light Industrial (LI) District. Beyond this is a vacant 1.83-acre tract of land (*i.e. Tract 14 of the R. Ballard Survey, Abstract No. 29*) zoned Light Industrial (LI) District. Following this is a 100-foot right-of-way owned by the *Union Pacific/Dallas Garland NE Railroad*. North of this is Phase 3 of the Park Place Subdivision, which consists of 85 residential lots and is zoned Planned Development District 59 (PD-59) for Single-Family 7 (SF-7) District land uses.
- <u>South</u>: Directly south of the subject property is Whitmore Drive, which is identified as a R2 (*i.e. residential, two* [2] lane, undivided roadway) on the Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this is a vacant 15.7017-acre tract of land (*i.e. Tract 20-1 of the A. Hanna Survey, Abstract No.* 99) zoned Light Industrial (LI) District. Following this is Justin Road, which is identified as a A4D (*i.e. major arterial, four* [4] lane, divided roadway) on the Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan.
- <u>East</u>: Directly east of the subject property is a vacant 0.96-acre parcel of land (*i.e. Lot 11, Block A, Municipal Industrial Park Addition*) zoned Light Industrial (LI) District. Beyond this is a 3.35-acre parcel of land (*i.e. Lot 5, Block A, Municipal Industrial Park Addition*) developed with a maintenance building for Rockwall County that is zoned Light

Industrial (LI) District. Following this is Whitmore Drive, which is identified as a R2 (*i.e. residential, two* [2] lane, *undivided roadway*) on the Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan.

<u>West</u>: Directly west of the subject property is a 1.19-acre parcel of land (*i.e. Lot 9, Block A, Municipal Industrial Park Addition*) developed with a *Bail Bond Service* that is zoned Light Industrial (LI) District. Beyond this is T. L. Townsend Drive, which is identified as a A4D (*i.e. major arterial, four [4] lane, divided roadway*) on the Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Following this is a 13.368-acre parcel of land (*i.e. Lot 2, Block A, Rockwall County Law Enforcement Center Addition*) developed with the Rockwall County Detention Center, which is zoned Commercial (C) District and Light Industrial (LI) District.

DENSITY AND DIMENSIONAL REQUIREMENTS

According to Section 01, Land Use Schedule, of Article 04, Permissible Uses, of the Unified Development Code (UDC), an Office/Warehouse Building is a permitted by-right land use in a Light Industrial (LI) District. The submitted site plan, landscape plan, treescape plan, photometric plan, and building elevations generally conform to the technical requirements contained within the Unified Development Code (UDC) for a property located within a Light Industrial (LI) District with the exception of the items noted in the Variances and Exceptions Requested by the Applicant section of this case memo. A summary of the density and dimensional requirements for the subject property are as follows:

| Ordinance Provisions | Zoning District Standards | Conformance to the Standards |
|----------------------------------|--------------------------------------|--------------------------------|
| Minimum Lot Area | 12,500 SF | X=19,737 SF; In Conformance |
| Minimum Lot Frontage | 100-Feet | X= 120.95-feet; In Conformance |
| Minimum Lot Depth | 125-Feet | X=160-feet; In Conformance |
| Minimum Front Yard Setback | 25-Feet | X>25-feet; In Conformance |
| Minimum Rear Yard Setback | 10-Feet | X>10-feet; In Conformance |
| Minimum Side Yard Setback | 15-Feet | X>15-feet; In Conformance |
| Maximum Building Height | 60-Feet | X=45.6-feet; In Conformance |
| Max Building/Lot Coverage | 60% | X=25.13%; In Conformance |
| Minimum Number of Parking Spaces | 1 Parking Space/500 SF (10 Required) | X=11; In Conformance |
| Minimum Landscaping Percentage | 15% | X=47%; In Conformance |
| Maximum Impervious Coverage | 90-95% | X=53%; In Conformance |

TREESCAPE PLAN

The treescape plan provided by the applicant indicates a total of 40 caliper inches will be removed from the site during construction. Based on the landscape requirements, the applicant is providing 68 caliper inches of canopy trees on site, which will satisfy the required tree mitigation.

CONFORMANCE WITH THE CITY'S CODES

The applicant is requesting to construct an *Office/Warehouse Building* on the subject property. According to Subsection 02.02(J)(7), *Wholesale, Distribution and Storage Land Uses*, of Article 13, *Definitions*, of the Unified Development Code (UDC), a Warehouse/Distribution Center is defined as a "... building used primarily for the storage and distribution of goods, merchandise, supplies, and equipment including wholesalers which display, sell, and distribute merchandise to business representatives for resale ..." In addition, Subsection 02.02(D)(2), *Office and Professional Uses*, of Article 13, *Definitions*, of the Unified Development Code (UDC), an *Office Building* is defined as a "...(a) facility that provides executive, management, administrative, or professional services ... but not involving the sale of merchandise except as incidental to a permitted use..." In this case, the applicant's request for an *Office/Warehouse Building* is permitted by right according to Section 01, *Land Use Schedule*, of Article 04, *Permissible Uses*, of the Unified Development Code (UDC).

According to Subsection 05.01, *Landscape Buffers*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC), "(a) minimum of a ten (10) foot wide landscape buffer shall be required along the entire length of any non-residential lot that abuts a public right-of-way ..." and all buffers shall incorporate a berm, and one (1) canopy tree and one (1) accent tree per 50-linear feet of frontage. In this case, the applicant is incorporating the required the landscaping and berm to

satisfy the landscape buffer requirements for a non-residential property abutting a public right-of-way. In addition, the proposed site plan also generally conforms to the requirements of the *General Industrial District Standards* as stipulated by Article 05, *District Development Standards*, of the Unified Development Code (UDC), with the exception of the exception being requested as outlined in the *Variances and Exceptions Requested by the Applicant* section of this case memo.

VARIANCES AND EXCEPTIONS BY THE APPLICANT

As stated above, the applicant's request conforms to the majority of the City's codes; however, staff has identified the following exceptions:

- (1) <u>Building Articulation.</u>
 - (a) <u>Primary and Secondary Building Facades</u>. According to Subsection 05.01 (C), General Industrial District Standards, of Article 05, District Development Standards, of the Unified Development Code (UDC), for primary building facades a wall projection should extend 25.00% of the wall height above and away from the wall, and for secondary building façades a wall projection should extend 15.00% of the wall height above and away from the wall. In this case, the proposed building does not meet the projection requirements. This will require an <u>exception</u> from the Planning and Zoning Commission.

According to Subsection 09, *Exceptions and Variances*, of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC), an applicant may request the Planning and Zoning Commission grant variances and exceptions to the provisions contained in the Unified Development Code (UDC), where unique or extraordinary conditions exist or where strict adherence to the technical requirements of the Unified Development Code would create an undue hardship. In addition, the code requires that the applicant provide compensatory measures that directly offset the requested variances and exceptions. At this time the applicant is not proposing any compensatory measures. That being said, requests for exceptions and variances to the *General Standards* and *Engineering Standards of Design and Construction* are discretionary decisions for the Planning and Zoning Commission. Staff should note that a supermajority vote (*e.g. six [6] out of the seven [7] commissioners*) -- *with a minimum of four (4) votes in the affirmative* -- is required for the approval of a variance or exception.

CONFORMANCE WITH OURHOMETOWN VISION 2040 COMPREHENSIVE PLAN

The Future Land Use Plan adopted with the OURHometown Vision 2040 Comprehensive Plan identifies the subject property as being situated in the <u>Central District</u>. The <u>Central District</u> "...is composed of a wide range of land uses that vary from single-family to industrial." The Future Land Use Map contained in the OURHometown Vision 2040 Comprehensive Plan, indicates that the subject property should be developed with industrial land uses. In this case, the applicant is proposing an *Office/Warehouse Building*. Based on this, the applicant's land use appears to conform with the Comprehensive Plan; however, Chapter 09, *Non-Residential*, of the OURHometown Vision 2040 Comprehensive Plan states that staff should "... encourage high quality and inspiring architecture throughout the City..." The OURHometown Vision 2040 Comprehensive Plan states that staff should "... encourage high quality and inspiring architecture throughout the City..." The OURHometown Vision 2040 Comprehensive Plan goes on to state that "(I)ong, blank wall facades on all nonresidential buildings should be subdivided with vertical breaks - or 'articulated' in architectural terms --, and architectural elements should be incorporated to reflect a scale and rhythm that is more traditional of a small-town." In this case, the applicant is requesting exceptions to building articulation requirements and has failed to incorporate any horizontal articulation or relief to the proposed building. The lack of design appears to conflict with the goals for non-residential buildings contained in the Comprehensive Plan. Based on this the applicant's proposal <u>does not</u> appear to meet the vision of the Comprehensive Plan.

ARCHITECTURAL REVIEW BOARD (ARB) RECOMMENDATION

On September 26, 2023, the Architectural Review Board (ARB) reviewed the proposed building elevations and made the following recommendations: [1] meet the roof pitch and material requirements, [2] dress up the front façade, [3] meet the articulation requirements, and [4] attempt to match the style of the building west of the subject property.

CONDITIONS OF APPROVAL

If the Planning and Zoning Commission chooses to approve the applicant's <u>Site Plan</u> for the construction of an *Office/Warehouse Building* on the *subject property*, then staff would propose the following conditions of approval:

- (1) All staff comments provided by the Planning, Engineering and Fire Department must be addressed prior to the submittal of engineering plans; and,
- (2) Any construction resulting from the approval of this <u>Site Plan</u> shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

| | City of R Planning 385 S. Go | ockwall | NT APPLI | | ION | STAFF USE ONLY PLANNING & ZONING CASE NO. <u>NOTE:</u> THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THI CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW. DIRECTOR OF PLANNING: CITY ENGINEER: | | | | | | | |
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City of Rockwall Planning & Zoning Department 385 S. Goliad Street Rockwall, Texas 75087 (P): (972) 771-7745 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



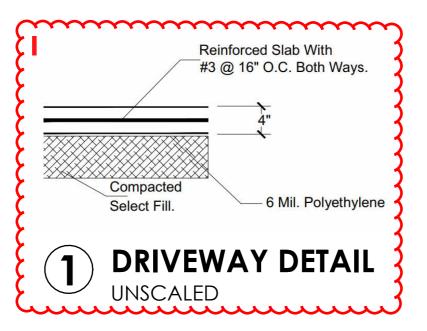
<u>GENERAL PROJECT NOTES</u>

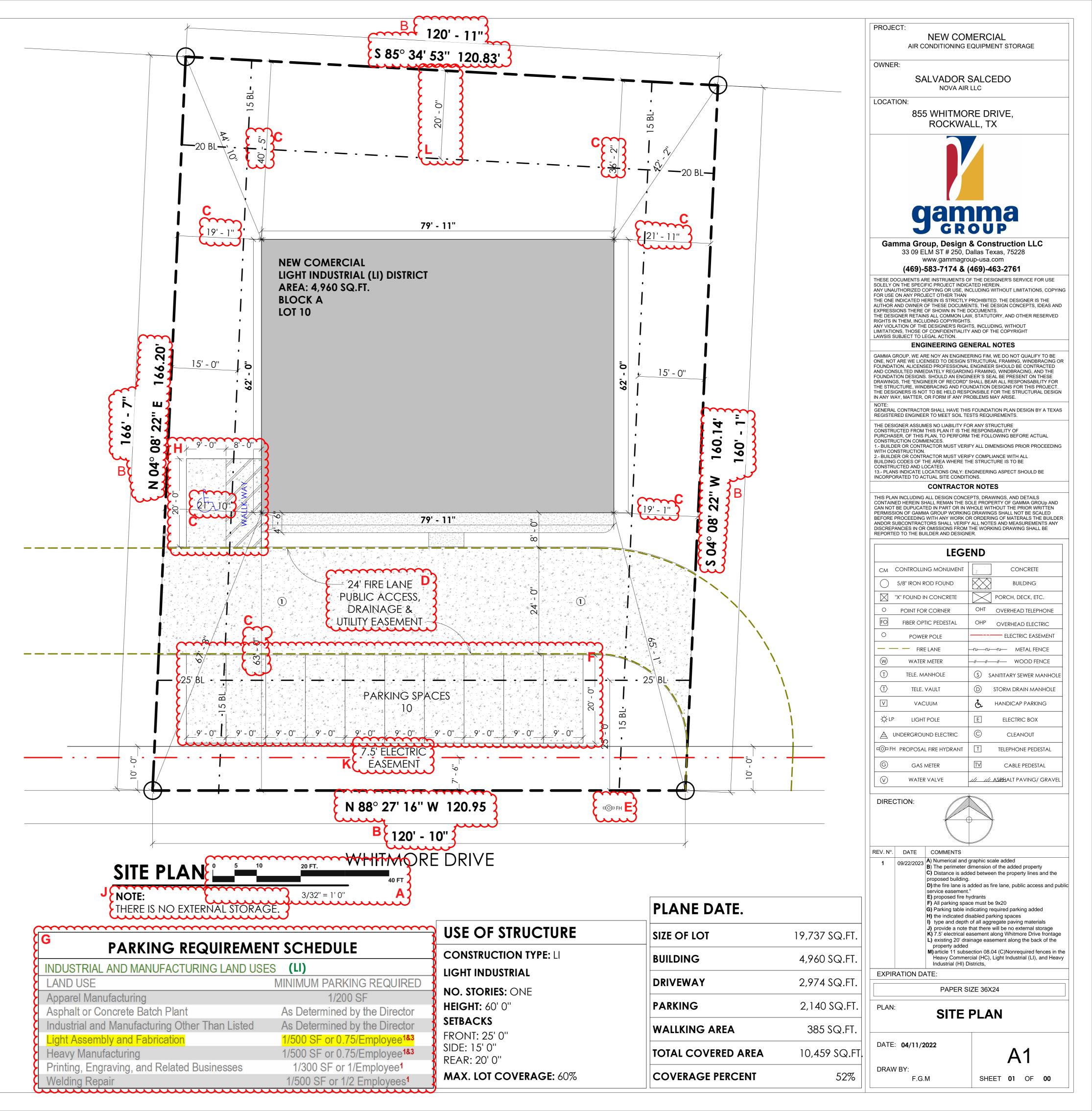
- 1. THESE CONSTRUCTION DOCUMENTS ARE INTENDED TO MEET ALL APPLICABLE CODES AND ORDINANCES. CONTRACTOR TO COMPLY WITH ALL LOCAL CODES, ORDINANCES AND DEED RESTRICTIONS. CONTRACTOR SHALL ALSO REQUIRE ALL SUBCONTRACTORS TO COMPLY WITH THESE REGULATIONS.
- 2. ANY DISCREPANCIES IN CONSTRUCTION DOCUMENTS OR NONCOMPLIANCE TO BE BROUGHT TO THE ATTENTION OF THE DESIGNER PRIOR TO ANY WORK BEING PERFORMED OR MATERIALS BEING ORDERED.
- 3. BUILDER ACCEPTS FULL RESPONSIBILITY FOR CHECKING PLANS TO ASSURE CONFORMITY TO CURRENT LOCAL BUILDING CODES. SHOULD ANY CHANGES BE MADE TO THESE PLANS BY BUILDER OR HIS REPRESENTATIVES WITHOUT CONTACTING THE DESIGNER, THE BUILDER WILL ACCEPT FULL LIABILITY FOR AMENDED PLANS.
- 4. WHILE THESE DRAWINGS ARE INTENDED TO SHOW SAME, THE DESIGNER IS NOT RESPONSIBLE FOR GOVERNING AUTHORITY INTERPRETATIONS WHERE THOSE INTERPRETATIONS CONFLICT WITH THESE DRAWINGS &/OR SPECS
- 5. DESIGNER ASSUMES NO RESPONSIBILITY FOR ANY ERRORS OR NEGLIGENCE MADE BY ROOFING CONTRACTOR, CONCERING FLASHING & WATER PROOFING ON THIS PROJECT
- 6. THESE DRAWINGS/SPECS ARE INSTRUMENTS OF SERVICE AND SHALL REMAIN THE PROPERTY OF THE DESIGNER WHETHER THE PROJECT IS EXECUTED OR NOT. THESE DRAWINGS SHALL NOT BE USED BY THE CLIENT FOR OTHER PROJECTS, FOR ADDITIONS TO THIS PROJECT, OR FOR COMPLETION OF THIS PROJECT BY OTHERS WITHOUT PERMISSION OF THIS DESIGNER.
- 7. THESE DOCUMENTS DO NOT SHOW TYPICAL DETAILING &/OR WATERPROOFING.
- 8. THESE DOCUMENTS DO NOT SPECIFY ACTUAL PRODUCTS OR MATERIAL SELECTIONS. CONTRACTOR ACCEPTS FULL RESPONSIBILITY FOR APPROPRIATE AND PROPER DETAILING FOR AND BETWEEN ALL ACTUAL PRODUCTS/MATERIALS SELECTED WHEN INSTALLED.
- ALL COMPONENTS, MATERIALS, ASSEMBLIES AND FINISHES TO BE CONSTRUCTED AND INSTALLED PER MANUFACTURER'S RECOMMENDATIONS, CODE REQUIREMENTS AND REGULATED BUILDING PRACTICES.
- 10. DESIGNER IS NOT RESPONSIBLE FOR MEANS AND METHODS OF CONSTRUCTION WHICH ARE NOT DETAILED IN THESE CONSTRUCTION DOCUMENTS. CONTRACTOR WILL BE RESPONSIBLE FOR ALL ASPECTS OF CONSTRUCTION INCLUDING BUT NOT LIMITED TO ALL WATER AND DAMP PROOFING, LOAD CONNECTIONS AND MECHANIC, ELECTRICAL AND PLUMBING SYSTEMS.
- 11. ALL MATERIALS AND LABOR TO BE GUARANTEED FOR ONE YEAR FROM THE DATE OF FINAL PAYMENT, IN ADDITION TO ALL WARRANTIES THAT ARE STANDARD TO THE INDUSTRY. CONTRACTOR TO PROVIDE (SUPPLY AND INSTALL) ALL EQUIPMENT, LABOR SERVICES, AND MATERIALS REQUIRED FOR THE COMPLETE APPROVED INSTALLATION OF THE SYSTEMS CALLED FOR.
- 12. THESE DRAWINGS DO NOT INCLUDE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY. THE CONTRACTOR IS RESPONSIBLE FOR INITIATING, MAINTAINING AND SUPERVISING ALL SAFETY PRECAUTIONS AND PROGRAMS NECESSARY FOR COMPLETION OF WORK
- 13. ALL DIMENSIONS TO BE VERIFIED IN THE FIELD. REPORT ANY AND ALL DISCREPANCIES, ERRORS OR OMISSIONS TO THE DESIGNER PRIOR TO COMMENCING WORK AND/OR ORDERING MATERIALS. MINOR DEVIATIONS, SUBJECT TO CONSTRUCTION REQUIREMENTS AND FIELD CONDITIONS, CAN BE EXPECTED.
- 14. UNDER NO CIRCUMSTANCES SHALL ANY DIMENSION BE SCALED FROM THESE DRAWINGS. ANY CRUCIAL DIMENSION NOT GIVEN SHALL BE BROUGHT TO THE ATTENTION OF THE DESIGNER.
- 15. ALL DIMENSIONS SHOWN ON PLAN ARE TO THE STRUCTURAL FACE OF WALL AND DO NOT INCLUDE WALL FINISHES OR FURRING.
- THE CONTRACTOR SHALL GIVE NOTICE TO ALL AUTHORIZED INSPECTORS, SUPERINTENDENTS OR PERSONS IN CHARGE OF UTILITIES AFFECTED BY HIS OPERATIONS PRIOR TO COMMENCING WORK.
- 17. THE CONTRACTOR IS TO FILE FOR, AND SECURE ALL APPROVALS, PERMITS, TESTS, INSPECTIONS AND CERTIFICATES OF COMPLIANCE AS REQUIRED. THE CONTRACTOR IS RESPONSIBLE FOR ASSURING THAT ALL PERMITS NECESSARY TO LEGALLY PERFORM THE WORK HAVE BEEN OBTAINED PRIOR TO COMMENCING CONSTRUCTION.
- 18. VERIFY EXISTING CONDITIONS AND DIMENSIONS PRIOR TO CONSTRUCTION START.
- 19. IN CASE OF DISCREPANCIES OR CONFLICTS ON THE DRAWINGS AND SPECIFICATIONS, OR BETWEEN THE DRAWINGS AND THE EXISTING CONDITIONS, CONTACT THE DESIGNER OR OWNER BEFORE PROCEEDING WITH THE WORK.
- 20. ALL WINDOWS WITHIN 24" OF AN EXTERIOR OR INTERIOR DOOR TO BE TEMPERED GLASS. WINDOW MANUFACTURER TO VERIFY FOR ALL TEMPERED GLASS LOCATIONS AS PER APPLICABLE CODE.
- 21. WINDOW MANUFACTURER & BUILDER TO VERIFY EGRESSABLE WINDOWS INSTALLED WHERE REQUIRED BY CODE.
- PROVIDE BLOCKING FOR CEILING FANS WHERE SPECIFIED.
 PROVIDE ELECTRIC FOR POOL &/OR SPA EQUIP. & LIGHTS. PROVIDE NECESSARY PLUMBING FOR POOL &/OR SPA. VERIFY LOCATION WITH BUILDER OR OWNER.
 BUILDER TO VERIFY SIZING AND LOCATION OF ALL APPLIANCES & RELATED COMPONENTS.
- 24. WEATHERSTRIP ATTIC ACCESS DOOR(S).
- 25. CONTRACTOR TO PROVIDE A 3/4" PLYWOOD CATWALK FROM ATTIC ACCESS TO HVAC UNITS (IF APPLICABLE). UNITS TO BE LOCATED WITHIN 20'-0" OF ACCESS.
 PROVIDE 1 S.F. NET FREE AREA OF ATTIC VENTILATION PER 150 S.F. OF TOTAL COVERED ROOF AREA AS PER CODE.
- 26. PROVIDE CONTROL AND EXPANSION JOINTS AS REQUIRED ON CONCRETE DRIVES, WALKS PATIOS AND STUCCO WALLS

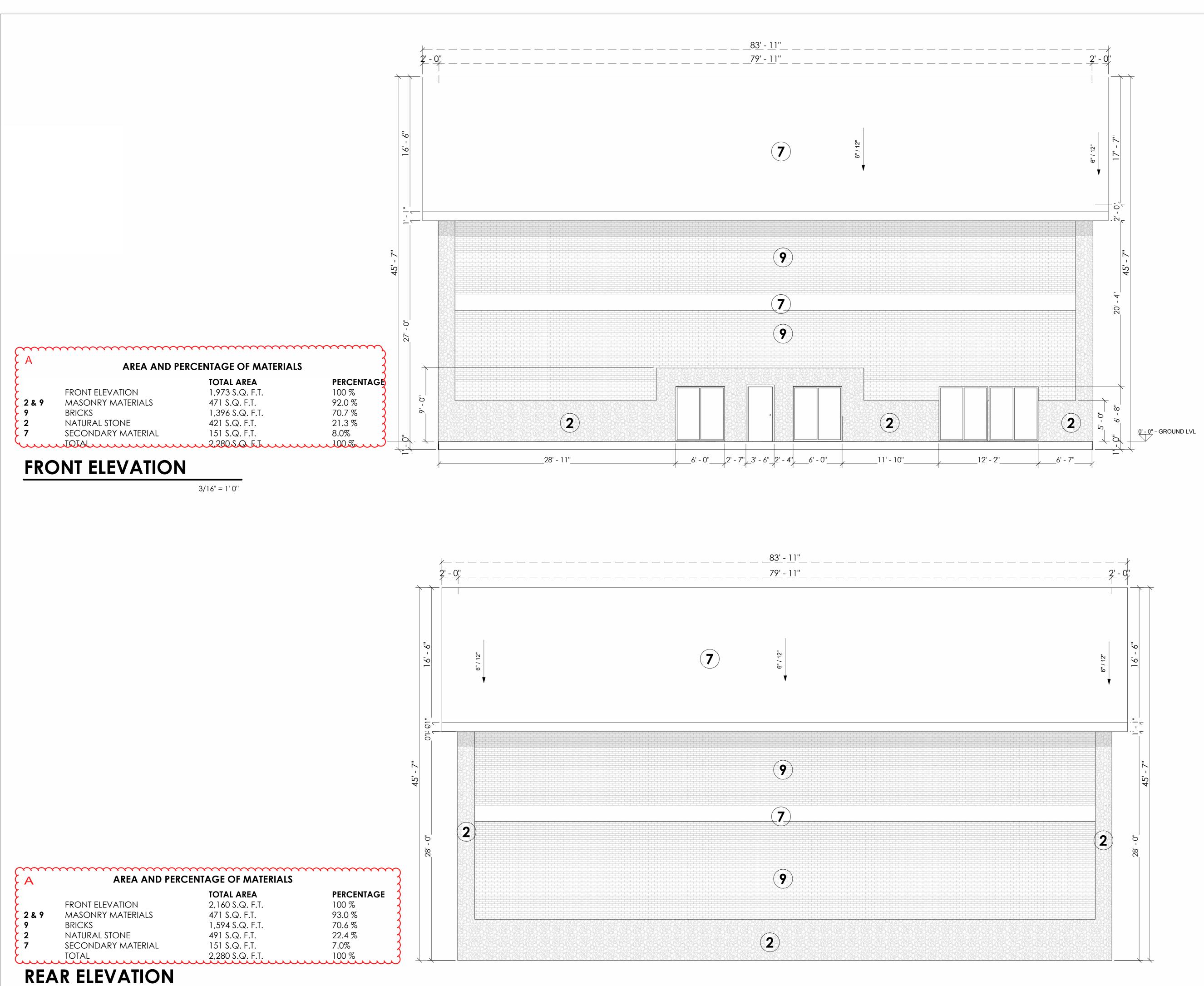
- 27. PROVIDE WEATHERSEAL AND A 9 1/2" MASONRY DOOR SILL AT ALL EXTERIOR DOOR THRESHOLDS.
- 28. ALL WALLS OVER 10'-0" IN HEIGHT TO BE FRAMED WITH 2x6 STUDS. IF WALLS OVER 10'-0" IN HEIGHT ARE NOT BUILT WITH 2X6 STUDS THEY MUST BE BUILT WITH DOUBLE 2X4 STUDS AT 12" O.C.
- 29. THE DROP FROM INTERIOR FINISH FLOOR TO ANY EXTERIOR FINISH FLOOR IS TO BE A MINIMUM OF 1 1/2". CONTRACTOR TO VERIFY MATERIALS USED FOR DECK CONSTRUCTION AND FINISH FLOORING TO MAINTAIN MINIMUM DROP. THE STANDARD MOUNTING HEIGHT FOR SHOWER HEADS IS 7'-0"
- ABOVE FINISH FLOOR UNLESS NOTED OTHERWISE. 30. PROVIDE BLOCKING FOR HANDRAIL MOUNTING AT STAIRS AS NECESSARY.
- 1. ALL FIREPLACES TO HAVE 20" DEEP HEARTH& 12" NON-COMBUSTIBLE SURROUND
- 32. ALL OVERHANGS TO BE 18" FROM THE FRAMEWALL UNLESS NOTED OTHERWISE.
- 33. U.N.O. ALL INTERIOR WALLS OF ONE STORY PLANS TO BE LOAD
- 34. ALL EXTERIOR OPENINGS TO BE LOAD BEARING.

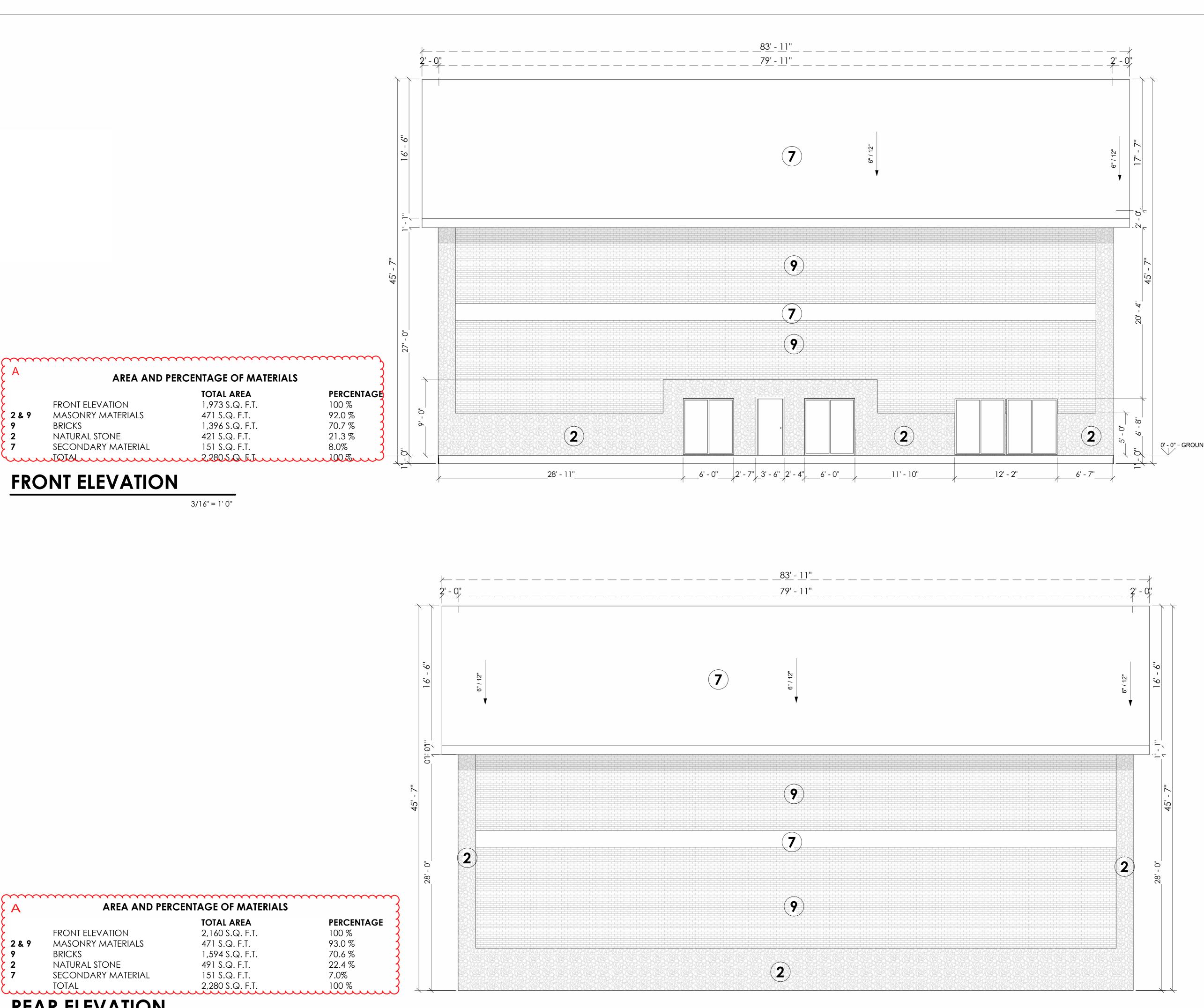
BEARING.

- 35. WHEN ENGINEERED TRUSSES TO BE USED TRUSS DESIGN & SPACING TO BE PER ENGINEER'S SPECIFICATIONS.
- 36. THE DESIGN & SIZING OF ALL LOAD BEARING HEADERS, STRUCTURAL BEAMS AND TRUSSES IS THE RESPONSIBILITY OF THE AGENT (ENGINEER/TRUSS MANUFACTURER, ETC.) CHOSEN BY THE BUILDER/OWNER TO DO SAID DESIGN.
- 37. ALL PLUMBING, APPLIANCE AND GAS VENTS TO BE GANGED TO THE FEWEST NUMBER POSSIBLE PENETRATING THE ROOF AND KEPT TO REAR OF ROOF WHEREVER POSSIBLE.
- 38. CHIMNEY/FLUE SHOWN AT MINIMUM DIMENSIONAL HEIGHT REQUIREMENTS PER CODE. BUILDER RESPONSIBLE FOR CONSTRUCTING CHIMNEY/FLUE TO ENSURE PROPER DRAW FOR FIREPLACE BASED ON HOUSE & SITE ORIENTATION VERSUS PREVAILING WINDS.
- 39. CHIMNEY CAP TO BE BUILT WITH NON COMBUSTABLE MATERIALS.
- 40. LAVATORIES AND SINKS SHOWN ARE NOT ACTUAL FIXTURE. CHECK WITH BUILDER/DESIGNER/OWNER FOR ACTUAL FIXTURE STYLE AND SIZE.
- 41. APPLIANCE DIMENSIONS MAY VARY. CHECK WITH BUILDER FOR EXACT DIMENSIONS.
- 42. PROVIDE VENT HOLES AS REQUIRED FOR AIR CIRCULATION OF IN-CABINET COMPUTER EQUIPMENT.
- 43. TOP & SPLASH MATERIAL AT ALL CABINETS TO BE AS PER SPECS.
- 44. CROWN MOLDING, INTERIOR WINDOW/DOOR TRIM, BASEBOARD & TILE SHOWN TO BE PER OWNER &/OR INTERIOR DESIGNER.
- 45. ALL WORK DONE UNDER THIS SECTION SHALL COMPLY WITH THE CURRENT NATIONAL ELECTRICAL CODE AND LOCAL CODE REGULATIONS. THE CONTRACTOR SHALL PERFORM ALL WORK IN CONFORMITY WITH THESE REGULATIONS WHETHER OR NOT SUCH WORK IS SPECIFICALLY SHOWN ON DRAWINGS.
- 46. ELECTRICAL SUBCONTRACTOR TO MAKE ALL NECESSARY ELEC. CONNECTIONS AND BE RESPONSIBLE FOR ALL ELECTRICAL SERVICE AT MECHANICAL ROOM. ELECTRICAL CONTRACTOR TO COORDINATE AS REQUIRED WITH MECHANICAL SUBCONTRACTOR.
- 47. THE CONTRACTOR SHALL BE RESPONSIBLE FOR INSPECTION AND APPROVAL OF WIRING, INSTALLATION OF FIXTURES AND EQUIPMENT. AND FOR FINAL ACCEPTANCE OF THE COMPLETE ELECTRICAL INSTALLATIONS BY THE UNDERWRITERS AND BY LOCAL ELECTRICAL INSPECTORS.
- 48. COORDINATE WITH CONSTRUCTION SPECIFICATIONS FOR ANY APPLICABLE ALLOWANCES FOR ELECTRICAL.
- PREWIRE FOR SECURITY SYSTEM PER OWNERS REQUEST.
 SUPPLY 220v & 110v OR GAS & 110v TO HVAC UNIT(S) IN ATTIC.
- (REFER TO SPECS) PROVIDE POWER AS REQ'D. AT A/C COMPRESSOR UNITS.51. PROVIDE FOR LIGHT NEAR HVAC UNIT(S) IN ATTIC.
- 52. PROVIDE ELECTRIC FOR POOL &/OR SPA EQUIP. & LIGHTS. PROVIDE ELECTRIC AND SWITCHING FOR LANDSCAPE LIGHTING, FOUNTAINS, ETC. VERIFY LOCATION WITH BUILDER OR OWNER.
- 53. SMOKE DETECTORS SHOULD BE LOCATED IN EACH BEDROOM AND AS SHOWN. ALL SMOKE DETECTORS SHALL BE HARD WIRED TO PRIMARY ELECTRICAL SERVICES WITH BATTERY BACKUP.
- 54. ALL CONSTRUCTION SHALL CONFORM TO ALL LOCAL BUILDING CODES.
- 55. ALL DIMENSIONS SHOWN ON FLOOR PLAN ARE FROM FACE OF STUDS AND/ OR STONE VENEER UNLESS OTHERWISE NOTED.
- 56. CONTRACTOR SHALL NOTIFY DESIGNER UPON DISCOVERY OF ANY ERRORS OR DISCREPENCY OF DIMENSIONS, CLEARANCES, OR OTHER ITEMS AS SHOWN OR NOTED IN THESE DRAWINGS.
- 57. COORDINATE ALL WINDOW SIZES AND LOCATIONS AS NOTED ON FLOOR PLAN WITH SELECTED ELEVATION OPTIONS.
- 58. HVAC SYSTEM SHALL BE DESIGNED BY MECHANICAL SUB-CONTRACTOR AND APPROVED BY DESIGNER OR GENERAL CONTRACTOR. SYSTEM SHALL HAVE A S.E.E.R. RATING OF 14 0R AS REQUIRED BY LOCAL BUILDING CODES. UNITS SHALL BE DESIGNED WITH TWO ZONES AS DIRECTED BY CONTRACTOR. PROVIDE ALL SUCTION LINES FROM UNITS TO EXTERIOR CONDENSOR UNITS AS INDICATEDON SITE PLAN. PROVIDE 4" THICK CONCRETE PADS WITH 6X6X10 WWF REINFORCING. LOCATE AIR HANDLING UNITS IN ATTIC SPACE NEAR RETURN AIR CHASES AS INDICATED ON THE FLOOR PLAN.



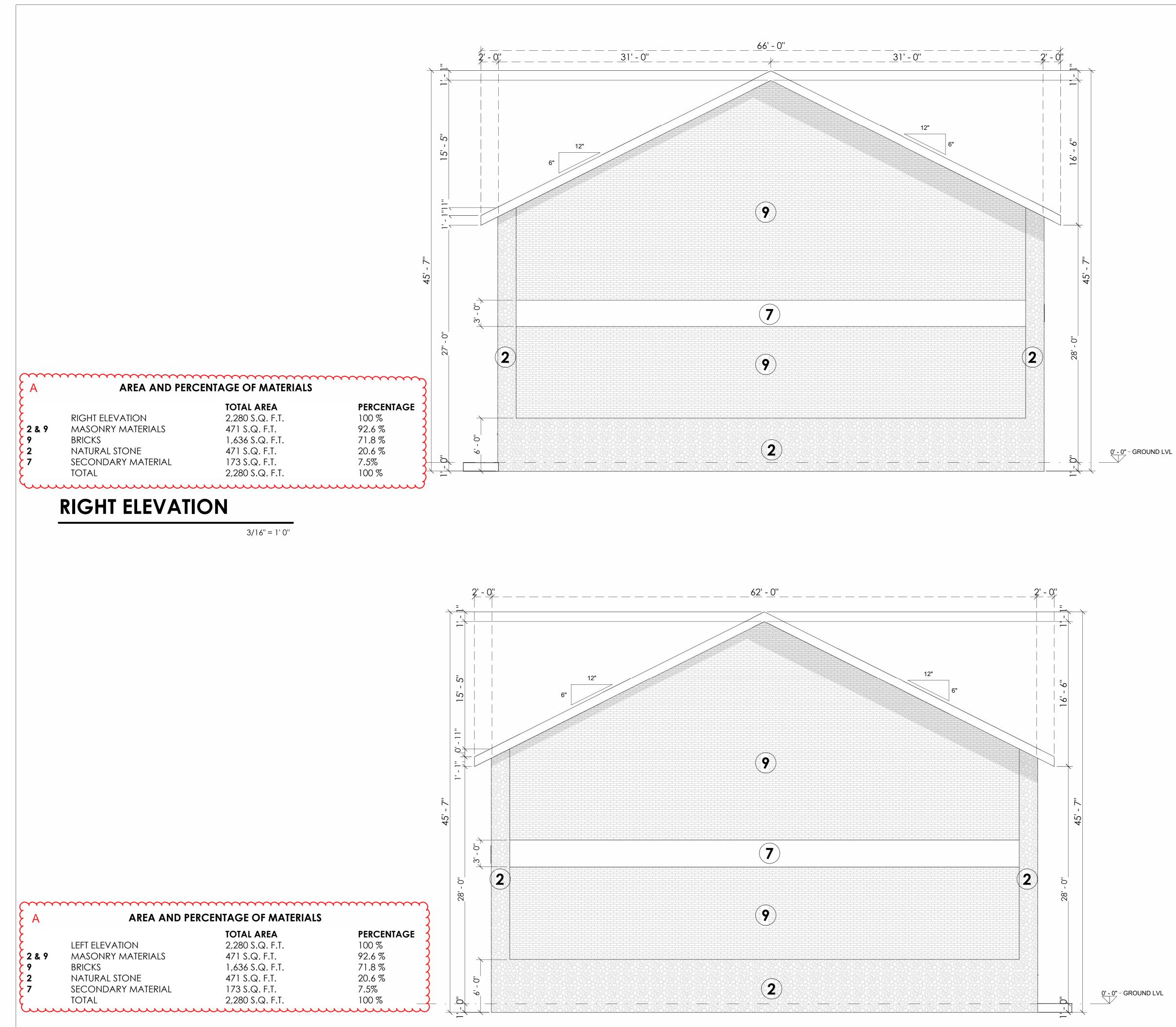




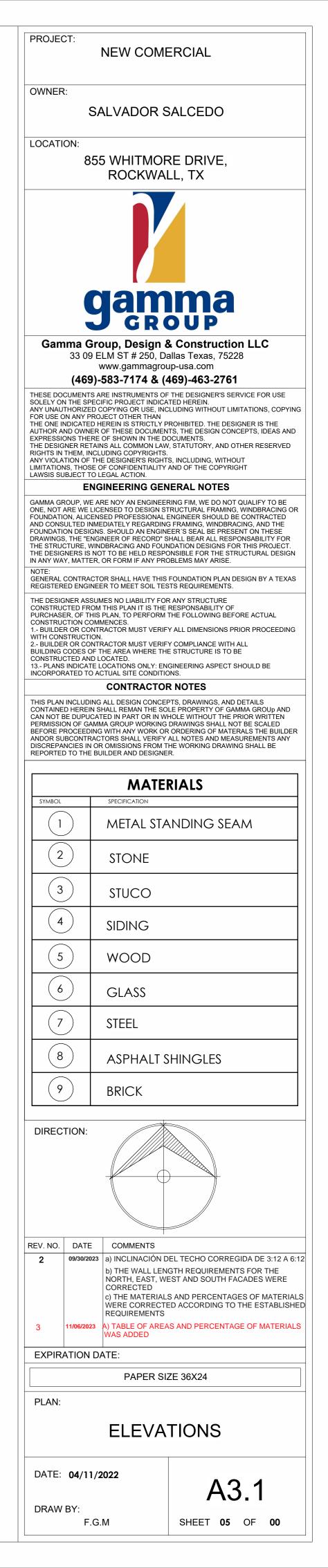


3/16" = 1'0"

| PROJECT: | NEW COM | ERCIAL |
|--|--|--|
| OWNER: | SALVADOR S | SALCEDO |
| LOCATION: | 355 WHITMOF ROCKWAI | |
| Gamma C | gam | E Construction LLC allas Texas, 75228 |
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| SYMBOL | | RIALS |
| 1 | METAL STA | NDING SEAM |
| 2 | STONE | |
| 3 | stuco | |
| 4 | SIDING | |
| 5 | WOOD | |
| 6 | GLASS | |
| 7 | STEEL | |
| 8 | ASPHALT S | HINGLES |
| 9 | BRICK | |
| DIRECTION: | | |
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| EXPIRATION | WAS ADDED | |
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| | | |



LEFT ELEVATION





GENERAL GRADING AND PLANTING NOTES

1. BY SUBMITTINGA PROPOSAL FOR THE LANDSCAPE PLANTING SCOPE OF WORK, THE CONTRACTOR CONFIRMS THAT HE HAS READ, AND WILL COMPLY WTI THE ASSOCIATED NOTES, SPECIFICATIONS, AND DETALS WITH THIS PROJECT,

2. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR REMOVING ALL EXISTING VEGETATION (EXCEPT WHERE NOTED TO REMAN)

3. IN THE CONTEXT OF THESE PLANS, NOTES, AND SPECIFICATIONS, "FINISH GRADE" REFERS TO THE FINAL ELEVATION OF THE SOIL SURFACE (NOT TOP OF MULCH) AS INDICATED ON THE GRADING PLANS.

- a. BEFORE STARTING WORK, THE LANDSCAPE CONTRACTOR SHALL VERIFY THAT THE ROUGH GRADES OF ALL LANDSCAPE AREAS ARE WITHIN +10. OF FINISH GRADE. SEE SPECIFICATIONS FOR MORE DETALED INSTRUCTION ON TURF AREA AND PLANTING BED PREPARATION:
- CONSTRUCT AND MAINTAIN FINISH GRADES AS SHOWN ON GRADING PLANS. AND b. CONSTRUCT ANO MAINTAN SLOPES AS RECOMMENDED EY THE GEOTECHNICAL. REPORT. ALL LANDSCAPE AREAS SHALL HAVE POSITIVE DRANACE AWAY FROM STRUCTURES AT THE MINIMUM SLOPE SPECIFIED IN THE REPORT AND ON THE, GRADING PLANS, AND AREAS OF POTENTIAL PONDING SHALL BE REGRADED TO BLEND IN WITH THE SURROUNDING GRADES AND ELIMINATE PONDING. POTENTIAL.
- THELANDSCAPE CONTRACTOR SHALL DETERMINE WHETHER OR NOT THE EXPORT OF ANY с. SOIL WIL BE NEEDED, TAKING INTO ACCOUNT THE ROUGH GRADE PROVIDED, THE AMOUNT OF SOL AMENDMENTS TO BE ADDED (BASED NA SOIL TEST, PER SPECIFICATIONS), AND THE FINISH GRADES TO BE ESTABLISED.
- ENSURE THAT THE FINISH GRADE IN SHARE AREAS IMMEDIATELY ADJACENT TO LIS AND OTHER WALKING SURFACE, AFTER INSTALLING SOIL AMENDMENTS, 15 3" BELOW THE ADJACENT FINISH SURFACE, IN ORDER TO ALLOW FOR PROPER MULCH DEPTH. TAPER THE SOIL SURFACE TO MEET FINISH GRADE, AS SPECIFIED ON THE GRADING PLANS, AT APPROXIVATELY 18* AWAY FROM THE WALES,
- ENSURE THAT THE FINISH GRADE IN SHARE AREAS IMMEDIATELY ADJACENT TO ALIS AND OTHER WALKING SURFACE, AFTER INSTALLING SOIL AMENDMENTS, 15 3" BELOW THE ADJACENT FINISH SURFACE, IN ORDER TO ALLOW FOR PROPER MULCH DEPTH. TAPER THE SOIL SURFACE TO MEET FINISH GRADE, AS SPECIFIED ON THE GRADING PLANS, AT APPROXIVATELY 18* AWAY FROM THE WALES,
- ENSURE THAT THE FINISH GRADE IN TURF AREAS IMMEDIATELY ADJACENT TO WALK AND OTHER WALKING SURFACES, AFTER INSTALLING SOIL AMENDMENTS, 18 Y" BELOW THE FINISH SURFACE OF THE WALKS. TAPER THE SOL SURFACE TO MEET FINISH GRADE, AS SPECIFIED ON THE GRADING PLANS, AT APPROXIMATELY 19" AY FROM THE WALKS
- SHOULD ANY CONFLICTS ANDIOR DISCREPANCIES ARISE BETWEEN THE GRADING PLANS, GEOTECHNICAL REPORT. THESE NOTES AND PLANS, AND ACTUAL CONDITIONS, THE CONTRACTOR SHALL MMEDIATELY BRING SUCH EMS TO THE ATTENTION OF THE LANDSCAPE ARCHITECT, GENERAL CONTRACTOR, AND OVNER.

4. ALLPLANTLOCATIONS ARE DIAGRAMMATIC. ACTUAL LOCATIONS SHALL BE VERIFIED WITH THE LANDSCAPE ARCHITECT OR DESIGNER PRIOR TO PLANTINO. THE LANDSCAPE CONTRACTOR SHALL ENSURE THAT ALL REQUIREMENTS OF THE PERMITTING AUTHORITY ARE MET (E, MINIMUM PLANT QUANTTIES, PLANTING METHODS, TREE PROTECTION METHODS, ETC)

- THE LANDSCAPE CONTRACTOR 15 RESPONSIBLE FOR DETERMINING PLANT GUANTITIES: PLANT QUANTITES SHOWN ON LEGENDS AND CALLOUTS ARE FOR GENERAL INFORMATION ONLY. IN THE EVENT OF A DISCREPANCY BETWEEN THE PLAN AND THE PLANT LEGEND, THE PLANT QUANTITY AS SHOWIN ON THE PLAN (FOR INDIVIDUAL SYMBOLS) OR CALLOUT (FOR GROUNDCOVER PATTERNS) SHALL TAKE PRECEDENCE.
- NO SUBSTITUTIONS OF PLANT MATERIALS SHALL BE ALLOWED WITHOUT THE WRITTEN b PERMISSION OF THE LANDSCAPE ARCHITECT. ;F SOME OF THE PLANTS ARE NOT AVALABLE, THE LANDSCAPE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT IN WRITING (VA PROPER CHANNELS).
- THE CONTRACTOR SHALL, AT A MINIMUM. PROVIDE REPRESENTATIVE PHOTOS. OF ALL PLANTS PROPOSED FOR THE PROJECT. THE CONTRACTOR SHALL ALLOW THE LANDSCAPE ARCHITECT AND THE ONNERIOWNER'S. REPRESENTATIVE TO INSPECT, AND APPROVE OR REJECT, ALL PLANTS DELIVERED TO THE JOBSITE.

5. THE CONTRACTOR SHALL MANTA THE LANDSCAPE IN A HEALTHY CONDITION FOR 50 DAYS

AFTFR ACCEPTANCE BY THE OWNER. REFER TO SPECIFICATIONS FOR CONDITIONS OF. ACCEPTANCE FOR

THE START OF THE MAINTENANCE PERIOD, AND FOR FINAL ACCEPTANCE AT THE END OF TE MAINTENANCE PERIOD,

6. SEE SPECIFICATIONS AND DETALS FOR FURTHER REQUIREMENTS.

MULCHES

AFTER ALL PLANTING IS COMPLETE, CONTRACTOR SHALL INSTALL 3" THICK LAYER OF 1-1/2" SHREDDED WOOD MULCH, NATURAL (UNDYED), IN ALL PLANTING AREAS (EXCEPT FOR TURF AND SEEDED AREAS). CONTRACTOR SHALL SUBMIT SAMPLES OF ALL MULCHES TO LANDSCAPE ARCHITECT AND OWNER FOR APPROVAL PRIOR TO CONSTRUCTION. ABSOLUTELY NO EXPOSED GROUND SHALL BE LEFT SHOWING ANYWHERE ON THE PROJECT AFTER MULCH HAS BEEN INSTALLED (SUBJECT TO THE CONDITIONS AND REQUIREMENTS OF THE "GENERAL GRADING AND PLANTING NOTES" AND SPECIFICATIONS).

ROOT BARRIERS

THE CONTRACTOR SHALL INSTALL ROOT BARRIERS NEAR ALL NEWLY-PLANTED TREES THAT ARE LOCATED WITHIN FIVE (5) FEET OF PAVING OR CURBS. ROOT BARRIERS SHALL BE "CENTURY" OR "DEEP-ROOT" 24" DEEP PANELS (OR EQUAL). BARRIERS SHALL BE LOCATED IMMEDIATELY ADJACENT TO HARDSCAPE. INSTALL PANELS PER MANUFACTURER'S RECOMMENDATIONS. UNDER NO CIRCUMSTANCES SHALL THE CONTRACTOR USE ROOT BARRIERS OF A TYPE THAT COMPLETELY ENCIRCLE THE ROOTBALL.

IRRIGATION CONCEPT

1. AN AUTOMATIC IRRIGATION SYSTEM SHALL BE INSTALLED AND OPERATIONAL BY THE TIME OF FINAL INSPECTION. THE ENTIRE IRRIGATION SYSTEM SHALL BE INSTALLED BY A LICENSED AND QUALIFIED IRRIGATION CONTRACTOR.

2. THEIRRIGATION SYSTEM WILL OPERATE ON POTABLE WATER, AND THE SYSTEM WILL HAVE APPROPRIATE BACKFLOW PREVENTION DEVICES INSTALLED TO PREVENT CONTAMINATION OF THE POTABLE SOURCE.

3. ALLNON-TURF PLANTED AREAS SHALL BE DRIP IRRIGATED. SODDED AND SEEDED AREAS SHALL BE IRRIGATED WITH SPRAY OR ROTOR HEADS AT 100% HEAD-TO-HEAD COVERAGE

4. ALL PLANTS SHARING SIMILAR HYDROZONE CHARACTERISTICS SHALL BE PLACED ON A VALVE DEDICATED TO PROVIDE THE NECESSARY WATER REQUIREMENTS SPECIFIC TO THAT HYDROZONE

5. THE IRRIGATION SYSTEM SHALL BE DESIGNED AND INSTALLED, TO THE MAXIMUM EXTENT POSSIBLE, TO CONSERVE WATER BY USING THE FOLLOWING DEVICES AND SYSTEMS: MATCHED PRECIPITATION RATE TECHNOLOGY ON ROTOR AND SPRAY HEADS (WHEREVER POSSIBLE), RAIN SENSORS, AND MULTI-PROGRAM COMPUTERIZED IRRIGATION CONTROLLERS FEATURING SENSORY INPUT CAPABILITIES.

6. ALLIRRIGATION SHALL MEET THE REQUIREMENTS OF THE CITY OF ROCKWALL'S UDC (SUBSECTION 05.04, OF ARTICLE 08)

LANDSCAPE STANDARDS

±19,737 SQ.FT. 2,960 SQ.FT, (15%) LANDSCAPE AREA REQUIRED TOTAL SITE: 9,224 SQ.FT, (47%) LANDSCAPE PROVIDED, TOTAL SITE:

05.02 LANDSCAPE REQUIREMENTS LIGHT INDUSTRIAL (LI) DISTRICT.

A MINIMUM OF 100% OF THE TOTAL REQUIRED LANDSCAPING SHALL BE LOCATED IN FRONT OF AND ALONG THE SIDE OF BUILDINGS WITH STREET FRONTAGES 2,960 SQ.FT X 100% = 2,960 SQ.FT 5,804 SQ.FT, (37%)

LANDSCAPE AREAS IN FRONT & SIDES OF BUILDINGS: MIN. SIZE OF AREAS

LOCATION OF LANDSCAPING:

DETENTION BASIN:

TOTAL SITE AREA:

PROPOSED DETENTION BASIN: CANOPY TREES REQUIRED: CANOPY TREES PROVIDED:

ACCENT TREES REQUIRED:

ACCENT TREES PROVIDED: PARKING LOT LANDSCAPING

PROPOSED PARKING AREA: REQ. PARKING AREA LANDSCAPING: PROPOSED PARKING LOT LANDSCAPING: PARKING SPACES:

TREES REQUIRED TREES PROVIDED:

05.02 LANDSCAPE BUFFERS - NON-RESIDENTIAL REQ. ABUTTING A PUBLIC RIGHT-OF-WAY:

ALL REQUIRED LANDSCAPING SHALL BE NO LESS THAN FIVE (5) FEET WIDE AND BE A MINIMUM OF 25 SF IN AREA UNLESS IT IS WITHIN TEN (10) FEET OF A BUILDING ON THE SAME LOT.

MANNER USING GROUND COVER, GRASSES, SHRUBS, BERMS, AND ACCENT AND CANOPY TREES. THERE SHALL BE A MINIMUM OF ONE (1) CANOPY TREE PER 750 SF AND ONE (1) ACCENT TREE PER 1,500 SF OF DETENTION AREA.

2,960 SQ. FT. 2,960 SQ. FT. / 750 SQ. FT. = 4 CANOPY TREE 4 CANOPY TREE 2,960 SQ. FT. / 1,500 SQ. FT = 2 ACENT TREE 2 ACENT TREE

PARKING LOTS WITH MORE THAN TWO (2) ROWS OF PARKING SPACES (I.E. ONE [1] DRIVE ISLE WITH ROWS OF PARKING ON EITHER SIDE) SHALL HAVE A MINIMUM FOR FIVE (5%) PERCENT OR 200 SF OF LANDSCAPING --WHICHEVER IS GREATER -- IN THE INTERIOR OF THE PARKING LOT AREA. SUCH LANDSCAPING SHALL BE COUNTED TOWARD THE TOTAL REQUIRED LANDSCAPING.

2,140 SQ. FT 60 SQ. FT. OR 200 SQ. FT. 1,400 SQ. FT.

(1) LARGE CANOPY TREE FOR EVERY TEN (10) PARKING SPACES SHALL BE REQUIRED TO BE PLANTED INTERNAL TO THE PARKING AREAS. (3) NO TREE SHALL BE PLANTED CLOSER THAN FIVE (5) FEET TO THE EDGE OF PAVEMENT

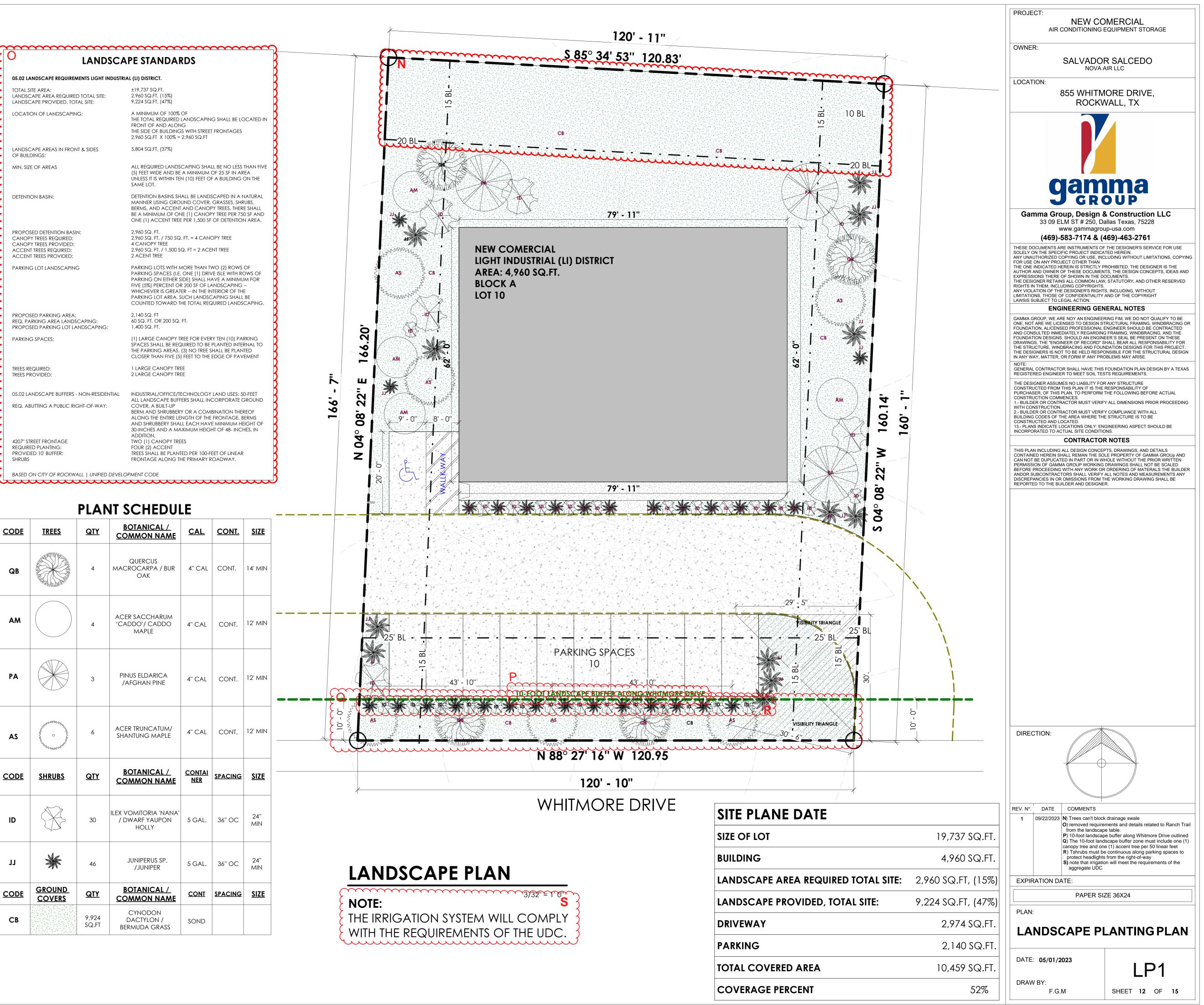
1 LARGE CANOPY TREE 2 LARGE CANOPY TREE

INDUSTRIAL/OFFICE/TECHNOLOGY LAND USES: 50-FEET ALL LANDSCAPE BUFFERS SHALL INCORPORATE GROUND COVER, A BUILT-UP BERM AND SHRUBBERY OR A COMBINATION THEREOF ALONG THE ENTIRE LENGTH OF THE FRONTAGE. BERMS AND SHRUBBERY SHALL EACH HAVE MINIMUM HEIGHT OF 30-INCHES AND A MAXIMUM HEIGHT OF 48- INCHES. IN ADDITION, TWO (1) CANOPY TREES FOUR (2) ACCENT

4207" STREET FRONTAGE REQUIRED PLANTING: PROVIDED 10' BUFFER: SHRUBS

BASED ON CITY OF ROCKWALL | UNIFIED DEVELOPMENT CODE

| | | PLAN | NT SCHEDUI | .E |
|-------------|--|----------------|--|-----------------------------|
| CODE | <u>TREES</u> | <u>QTY</u> | BOTANICAL / COMMON NAME | <u>CAL.</u> |
| QB | | 4 | QUERCUS MACROCARPA / BUR OAK | 4" CAL |
| AM | | 4 | ACER SACCHARUM 'CADDO'/ CADDO MAPLE | 4" CAL |
| PA | | 3 | PINUS ELDARICA /AFGHAN PINE | 4" CAL |
| AS | NAME AND | 6 | ACER TRUNCATUM/ SHANTUNG MAPLE | 4" CAL |
| <u>CODE</u> | <u>Shrubs</u> | QIY | BOTANICAL / COMMON NAME | <u>CONTAI</u> <u>NER</u> |
| ID | × | 30 | ILEX VOMITORIA 'NANA' / DWARF YAUPON HOLLY | 5 GAL. |
| 11 | × | 46 | JUNIPERUS SP. /JUNIPER | 5 GAL. |
| CODE | <u>GROUND</u> <u>COVERS</u> | <u>QTY</u> | BOTANICAL / COMMON NAME | <u>CONT</u> |
| СВ | | 9,924 SQ.FT | CYNODON DACTYLON / BERMUDA GRASS | SOND |



TREE PROTECTION SPECIFICATIONS

MATERIALS

- " FABRIC: 4 FOOT HIGH ORANGE PLASTIC FENCING AS SHOWN ON THE PLANS AND SHALL BE WOVEN WITH 2 INCH MESH OPENINGS SUCH THAT IN 'AVERTICAL DIMENSION OF 23 INCHES ALONG THE DIAGONALS OF THE OPENINGS THERE SHALL BE AT LEAST 7 MESHES.
- POSTS: POSTS SHALL BE A MINIMUM OF 72 INCHES LONG AND STEEL T'SHAPED WITH A MINIMUM WEIGHT OF 1.3 POUNDS PER LINEAR FOOT
- TIE WIRE FOR ATTACHING THE FABRIC TO THE T-POSTS SHALL BE NOT LESS THAN NO. 12 GAUGE GALVANIZED WIRE
- USED MATERIALS: PREVIOUSLY-USED MATERIALS, MEETING THE ABOVE REQUIREMENTS AND WHEN APPROVED BY THE OWNER, MAY BE USED.

CONSTRUCTION METHODS

- ALL TREES AND SHRUBS SHOWN TO REMAIN WITHIN THE PROXIMITY OF THE CONSTRUCTION SITE SHALL BE PROTECTED PRIOR TO BEGINNING ANY DEVELOPMENT ACTIVITY. EMPLOY THE SERVICES OF AN ISA (INTERNATIONAL SOCIETY OF 'ARBORICULTURE) CERTIFIED ARBORIST
- AND OBTAIN ALL REQUIRED PERMITS TO PRUNE THE EXISTING TREES FOR CLEANING, RAISING AND. THINNING, AS MAY BE REQUIRED.
- PROTECTIVE FENCING SHALL BE ERECTED OUTSIDE THE CRITICAL ROOT. ZONE (GR EQUAL TO FROM THE TRUNK FOR EVERY 1° OF DEH) AT LOCATIONS SHOWN IN THE PLANS OR AS DIRECTED BY THE LANDSCAPE
- ONSULTANT ANDIOR CITY ARBORIST, AND IN ACCORDANCE WITH THE. DETAILS SHOWN ON THE PLANS. FENCING SHALL BE MAINTAINED AND REPAIRED BY THE CONTRACTOR DURING SITE CONSTRUCTION. TREES IN CLOSE PROXIMITY SHALL BE FENCED TOGETHER, RATHER THAN INDIVIDUALLY
- PROTECTIVE FENCE LOCATIONS IN CLOSE PROXIMITY TO STREET INTERSECTIONS OR DRIVES SHALL ADHERE TO THE APPLICABLE JURISDICTION'S SIGHT DISTANCE CRITERIA THE PROTECTIVE FENCING SHALL BE ERECTED BEFORE SITE WORK COMMENCES AND SHALL REMAIN IN
- PLAGE DURING THE ENTIRE. CONSTRUCTION PHASE. THE INSTALLATION POSTS SHALL BE PLACED EVERY § FEET ON CENTER AND EMBEDDED TO 18 INCHES DEEP. MESH FABRIC SHALL BE ATTACHED TO THE INSTALLATION POSTS BY THE USE OF SUFFICIENT WIRE TIES TO SECURELY FASTEN THE FABRIC TO THE T POSTS TO HOLD THE FABRIC INA 'STABLE AND UPRIGHT POSITION.
- WITHN THE CRZ.

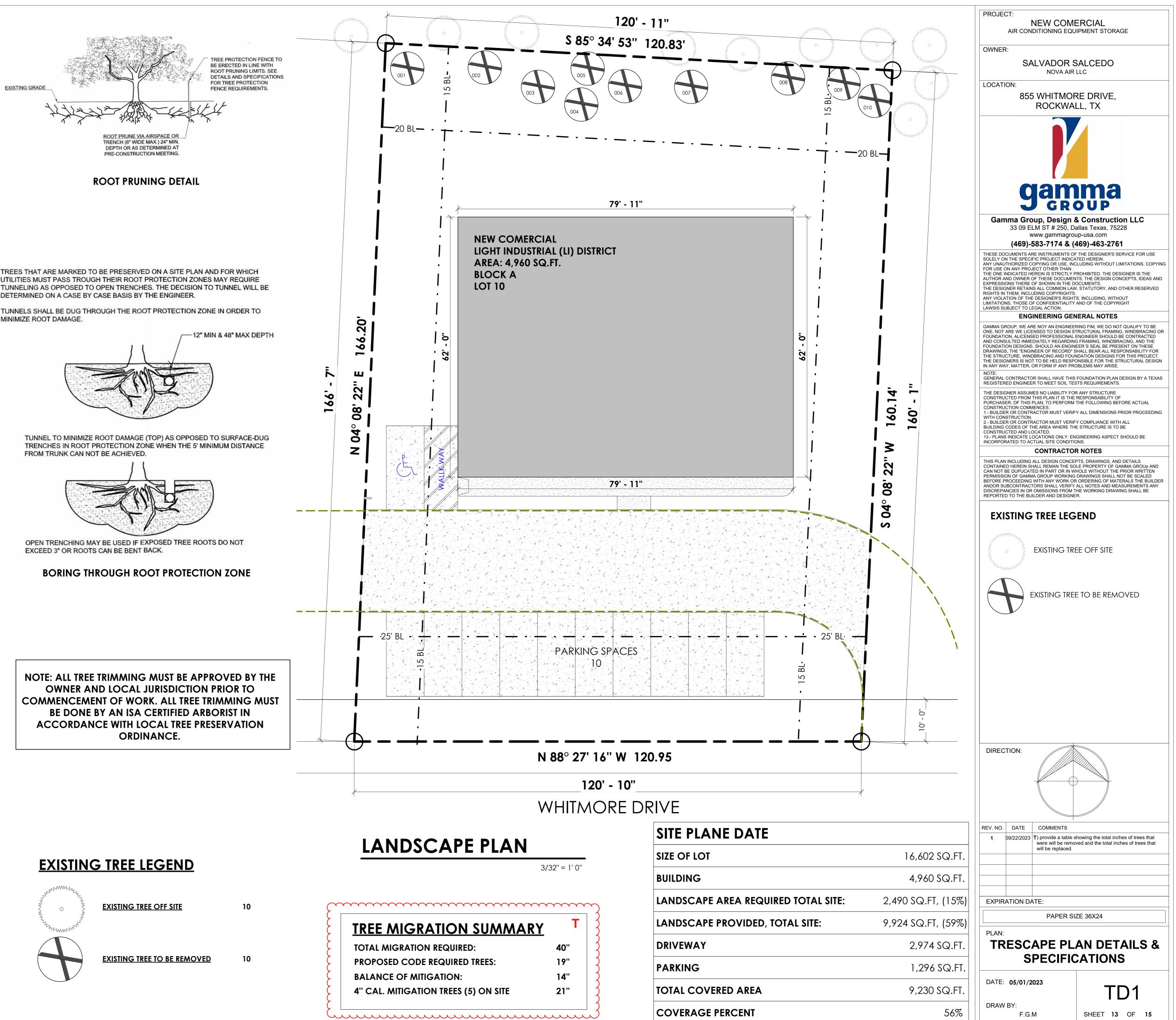
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8.

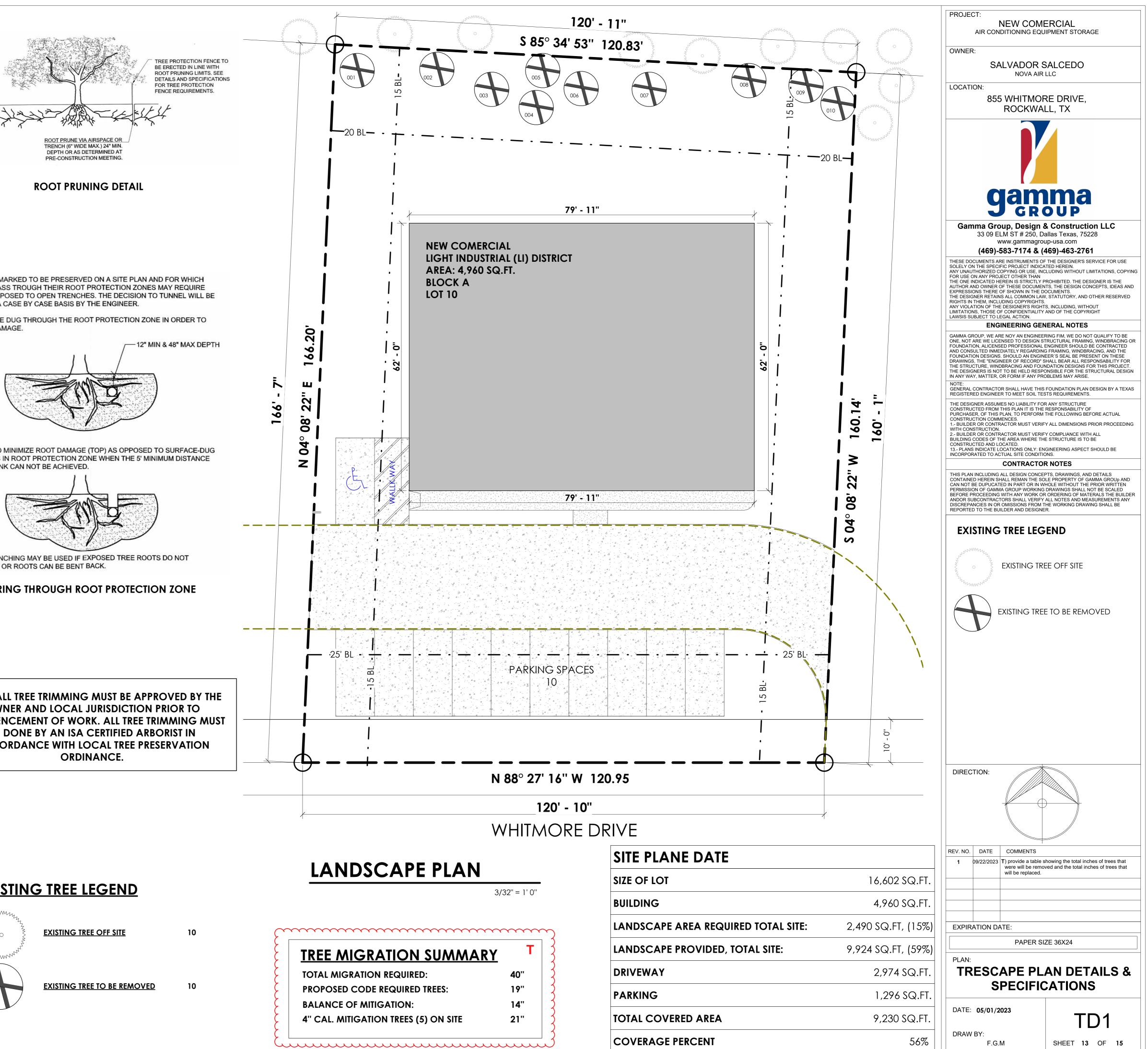
- DO NOT CLEAR, FILL OR GRADE IN THE CRZ OF ANY TREE.
- DO NOT STORE, STOCKPILE OR DUMP ANY JOB MATERIAL, SOIL OR RUBBISH UNDER THE SPREAD OF THE TREE BRANCHES. DO NOT PARK OR STORE ANY EQUIPMENT OR SUPPLIES UNDER THE TREE CANOPY. DO NOT SET
- UP ANY CONSTRUCTION OPERATIONS UNDER THE TREE
- CANOPY (SUCH AS PIPE CUTTING AND THREADING, MORTAR MIXING. FAINTING OR LUMBER d CUTTING) DO NOT NAIL OR ATTACH TEMPORARY SIGNS METERS, SWITCHES, IRES, BRACING OR ANY OTHER
- ITEM TO THE TREES. ONOT PERT RUNOFF FROM WASTE MATERIALS INCLUDING. SOLVENTS, CONCRETE WASHOUTS, ASPHALT TACK COATS (MC-30 OIL), ETC. TO ENTER THE CRZ. BARRIERS ARE TO BE PROVIDED TO. PREVENT SUCH RUNOFF SUBSTANCES FROM ENTERING THE CRZ WHENEVER POSSIBLE. INCLUDING IN AN AREA WHERE RAIN OR 'SURFACE WATER COULD CARRY SUCH MATERIALS TO
- THE ROOT 'SYSTEM OF THE TREE ROUTE UNDERGROUND UTILITIES TO AVOID THE CRZ. IF DIGGING IS UNAVOIDABLE, BORE THE ROOTS, OR HAND DIG TO AVOID SEVERING THEM,
- WHERE EXCAVATION IN THE VICINITY OF TREES MUST OCCUR, SUCH AS FOR IRRIGATION INSTALLATION. PROCEED WITH CAUTION, AND USING HAND TOOLS ONLY.
- 10 .THE CONTRACTOR SHALL NOT GUT ROOTS LARGER THAN ONE INGH IN DIAMETER WHEN EXCAVATION OCCURS NEAR EXISTING TREES. ALL ROOTS LARGER THAN ONE INCH IN DIAMETER ARE TO BE CUT CLEANLY. FOR OAKS ONLY. ALL WOUNDS SHALL BE PAINTED WITH WOUND SEALER WITHIN 30 MINUTES
- 11. REMOVE ALL TREES, SHRUBS OR BUSHES TO BE CLEARED FROM PROTECTED ROOT ZONE AREAS BY HAND. TREES DAMAGED OR KILLED DUE TO CONTRACTOR'S NEGLIGENCE DURING. CONSTRUCTION 12.
- SHALL BE MITIGATED AT THE CONTRACTOR'S EXPENSE AND TO THE PROJECT OWNER'S AND LOCAL JURISDICTION'S SATISFACTION. 13. ANY TREE REMOVAL SHALL BE APPROVED BY THE OWNER AND LOCAL JURISDICTION PRIOR TO
- ITS REMOVAL, AND THE CONTRACTOR SHALL HAVE ALL REQUIRED PERMITS FOR SUCH ACTIVITIES.
- COVER EXPOSED ROOTS AT THE END OF EACH DAY WITH SOIL, MULCH OR WET BURLAP. 14 IN CRITICAL ROOT ZONE AREAS THAT CANNOT BE PROTECTED DUING CONSTRUCTION AND 15. WHERE HEAVY TRAFFIC IS ANTICIPATED, COVER THE SOIL WITH EIGHT INCHES OF ORGANIC MULCH TO MINMIZE SOIL COMPACTION. THIS EIGHT INCH DEPTH OF MULGH SHALL BE MAINTAINED. THROUGHOUT CONSTRUCTION.
- WATER ALL TREES IMPACTED BY CONSTRUCTION ACTIVITIES, DEEPLY ONCE AWEEK DURING 16. PERIODS OF HOT DRY WEATHER. SPRAY TREE CROWNS WITH WATER PERIODICALLY TO REDUGE DUST ACCUMULATION ON THE LEAVES.
- WHEN INSTALLING CONCRETE ADJAGENT TO THE ROOT ZONE OF A TREE, USE A PLASTIC VAPOR 17. BARRIER BEHIND THE CONCRETE TO PROHIBIT LEACHING OF LIME INTO THE SOIL. CONTRACTOR SHALL REMOVE AND DISPOSE OF ALL TREE PROTECTION FENCING WHEN ALL 18 THREATS TO THE EXISTING TREES FROM CONSTRUCTION RELATED ACTIVITIES HAVE BEEN

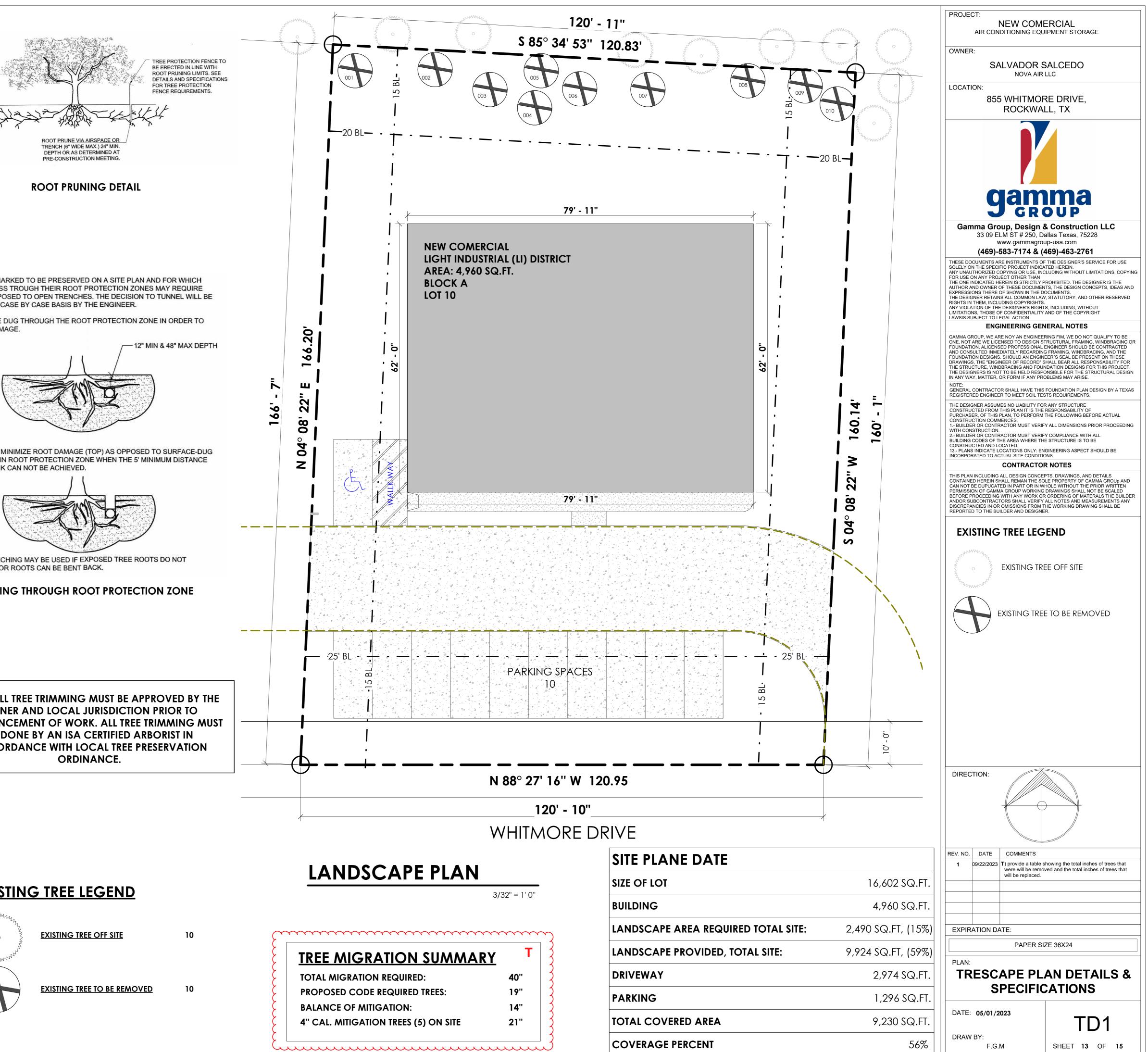
TREE PROTECTION GENERAL NOTES

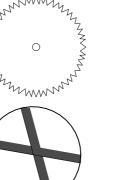
- PRIOR TO THE LAND CLEARING STAGE OF DEVELOPMENT, THE CONTRACTOR SHALL CLEARLY MARK ALL PROTECTED TREES FOR WHICH A TREE REMOVAL PERMIT HAS NOT BEEN ISSUED AND SHALL ERECT BARRIERS FOR THE PROTECTION OF THE TREES ACCORDING TO THE FOLLOWING:
 - AROUND AN AREA AT OR GREATER THAN A SIX-FOOT RADIUS OF ALL SPECIES OF MANGROVES
 - AND PROTECTED CABBAGE PALMS; AROUND AN AREA AT OR GREATER THAN THE FULL DRIPLINE OF ALL PROTECTED NATIVE PINES;
 - AROUND AN AREA AT OR GREATER THAN TWO-THIRDS OF THE DRIPLINE OF ALL OTHER PROTECTED SPECIES.
- NO PERSON SHALL ATTACH ANY SIGN, NOTICE OR OTHEROBJECT TO ANY PROTECTED TREE OR FASTEN ANY WIRES, CABLES, NAILS OR SCREWS TO ANY PROTECTED TREE IN ANY MANNER THAT COULD PROVE HARMFUL TO THE PROTECTED TREE, EXCEPT AS NECESSARY IN CONJUNCTION WITH ACTIVITIES IN THE PUBLIC INTEREST.
- DURING THE CONSTRUCTION STAGE OF DEVELOPMENT, THECONTRACTOR SHALL NOT CAUSE OR PERMIT THE CLEANING OF EQUIPMENT OR MATERIAL WITHIN THE OUTSIDE PERIMETER OF THE CROWN (DRIPLINE) OR ON THE NEARBY GROUND OF ANY TREE OR GROUP OF TREES WHICH IS TO BE PRESERVED. WITHIN THE OUTSIDE PERIMETER OF THE CROWN (DRIPLINE) OF ANY TREE OR ON NEARBY GROUND, THE CONTRACTOR SHALL NOT CAUSE OR PERMIT STORAGE OF BUILDING MATERIAL AND/OR EQUIPMENT, OR DISPOSAL OF WASTE MATERIAL SUCH AS PAINTS, OIL, SOLVENTS, ASPHALT, CONCRETE, MORTAR OR ANY OTHER MATERIAL HARMFUL TO THE LIFE OF THE TREE.
- NO PERSON SHALL PERMIT ANY UNNECESSARY FIRE ORBURNING WITHIN 30 FEET OF THE DRIPLINE OF A PROTECTED TREE
- ANY LANDSCAPING ACTIVITIES WITHIN THE BARRIER AREASHALL BE ACCOMPLISHED WITH HAND LABOR.
- PRIOR TO ISSUING A CERTIFICATE OF OCCUPANCY OR COMPLIANCE FOR ANY DEVELOPMENT, BUILDING OR STRUCTURE, ALL TREES DESIGNATED TO BE PRESERVED THAT WERE DESTROYED DURING CONSTRUCTION SHALL BE REPLACED BY THE CONTRACTOR WITH TREES OF EQUIVALENT DIAMETER AT BREAST HEIGHT TREE CALIPER AND OF THE SAME SPECIES AS SPECIFIED BY THE CITY ADMINISTRATOR, BEFORE OCCUPANCY OR USE, UNLESS APPROVAL FOR THEIR REMOVAL HAS BEEN GRANTED UNDER PERMIT.
- THE CITY ADMINISTRATOR MAY CONDUCT PERIODIC INSPECTIONS OF THE SITE DURING LAND CLEARANCE AND CONSTRUCTION.
- IF, IN THE OPINION OF THE CITY ADMINISTRATOR, DEVELOPMENT ACTIVITIES WILL SO SEVERELY STRESS SLASH PINES OR ANY OTHER PROTECTED TREE SUCH THAT THEY ARE MADE SUSCEPTIBLE TO INSECT ATTACK, PREVENTATIVE SPRAYING OF THESE TREES BY THE CONTRACTOR MAY BE REQUIRED.

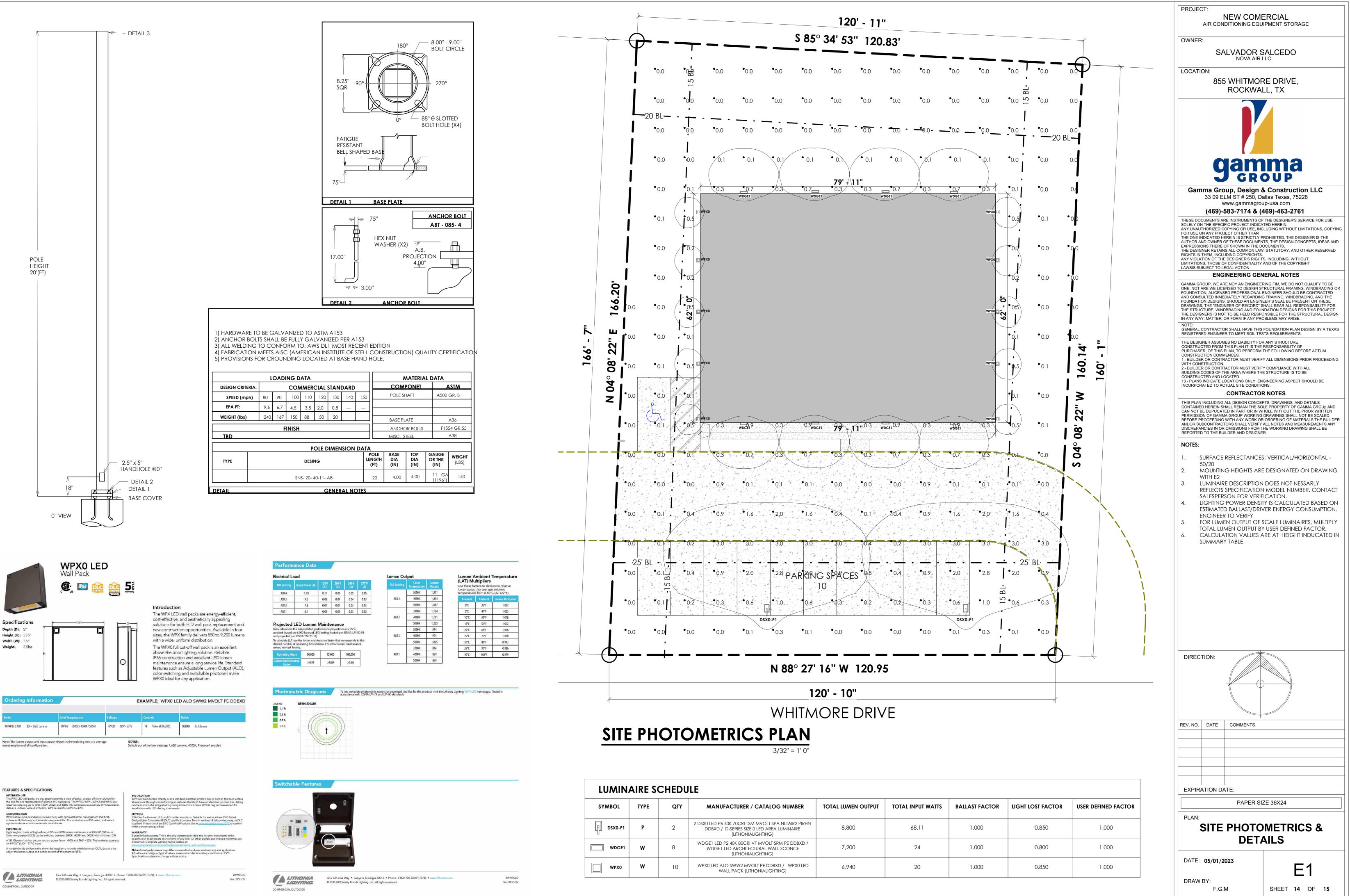


MINIMIZE ROOT DAMAGE.











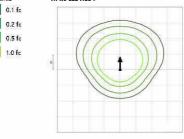
| | | - | | ED ALO SWW2 MVOLT PE DDBX |
|---------------------------------|------------------------|-------------------|-----------------------|---------------------------|
| Series | Color Temperature | Voltage | Controls | Finish |
| WPXO LED ALO 850 - 1,650 Lumens | 5WW2 3000K/4000K/5000K | MVOLT 120V - 277V | PE Photocell (On/Off) | DDBXD Dark bronze |

representations of all configuration.

INTENDED USE The WPX LED wall packs are designed to provide a cost-effective, energy-efficient solution for the one-for-one replacement of existing HID wall packs. The WPX0, WPX1, WPX2 and WPX3 are ideal for replacing up to 70W. ISOW. 250W, and 400W HID luminaires respectively. WPX luminaires deliver a uniform, wide distribution. WPX is rated for .40°C to .40°C. CONSTRUCTION WPX feature a dis-cast aluminum main body with optimal thermal management that both enhances LED efficacy and extends component life. The luminaires are IP66 rated, and sealed against moisture or environmental contaminants. ELECTRICAL Light engine consist of high-efficacy LEDs and LED lumen maintenance of L86/100,000 hours. Color temperature (CCT) can be switched between 3000K, 4000K and 5000K with minimum CRI of 80. Electronic driver ensures system power factor >90% and THD <20%. The luminaire operates on MVOLT (120V - 277V) input.



| etting | Color Temperature | Lumen Output |
|--------|----------------------|-----------------|
| | 3000K | 1,591 |
| .04 | 4000K | 1,644 |
| 1 | 5000K | 1,667 |
| | 3000K | 1,164 |
| .03 | 4000K | 1,191 |
| | 5000K | 1,225 |
| | 3000K | 974 |
| 02 | 4000K | 994 |
| | 5000K | 1,025 |
| | 3000K | 814 |
| .01 | 4000K | 829 |
| 1 | 5000K | 859 |







COMMERCIAL OUTDOOR

| | LUMIN | AIRE S | CHEDU | ILE | | | |
|---|---------|--------|-------|---|--------------------|-------------------|---|
| | SYMBOL | TYPE | QTY | MANUFACTURER / CATALOG NUMBER | TOTAL LUMEN OUTPUT | TOTAL INPUT WATTS | I |
| | DSX0-P1 | P | 2 | 2 DSX0 LED P6 40K 70CRI T3M MVOLT SPA NLTAIR2 PIRHN DDBXD / D-SERIES SIZE 0 LED AREA LUMINAIRE (LITHONIALIGHTING) | 8,800 | 68.11 | |
| [| WDGE1 | w | 8 | WDGE1 LED P2 40K 80CRI VF MVOLT SRM PE DDBXD / WDGE1 LED ARCHITECTURAL WALL SCONCE (LITHONIALIGHTING) | 7,200 | 24 | |
| | WPX0 | W | 10 | WPX0 LED ALO SWW2 MVOLT PE DDBXD / WPX0 LED WALL PACK (LITHONIALIGHTING) | 6,940 | 20 | |

| Í | d"series | | | ries Size ea Luminaire 🎡 🚇 🋜 I | | tion | | |
|---|---|-------------------------------|---|--|--|---|---|---|
| : PA: width: leight H7 leight H2 Veight: | (5.7 cm) | tion | EXA | | highly refin with its en benefits o a high per luminaire. The photoc with excel and lower photomet H2 poles requ typical end service life | rn styling of the ned aesthetic thi vironment. The I f the latest in LEI formance, high of pometric performa lent uniformity, g power density. I ry aids in reducir uired in area ligh ergy savings of 7 e of over 100,000 MVOLT SPA NL | at ble D-Seri D tecl efficace ance r greate D-Seri ng the ting a 0% ar hour | nds seamlessly es offers the nnology into cy, long-life esults in sites or pole spacing es outstanding e number of pplications, w nd expected s. |
| DSX0 LED | | | Color Rendering | | | | | |
| Series DSX0 LED | EEDs Porward optics P1 P5 P2 P6 P3 P7 P4 Rotated optics P10 ⁺ P12 ⁺ P11 ⁺ P13 ⁺ | | Index ³ 70CRI 70CRI 70CRI 70CRI 80CRI 80CRI 80CRI 80CRI 80CRI 80CRI 80CRI | Distribution AFR Automotive front row T15 Type I short T2M Type II medium T3M Type III medium T3LG Type III medium T3LG Type III we glare ³ T4M Type IV we glare ³ T4LG Type IV low glare ³ TFTM Forward throw medium | T5M Type V medium TSLG Type V low glare TSW Type V lowide BLC3 Type II backlight control ³ BLC4 Type IV backlight: Control ³ LCC0 Let corner cutoff ³ RCC0 Right corner cutoff ³ | Voltage MVOLT (1209-277V) ⁴ HVOLT (347V-480V) ^{5,6} 120 %.4 (277V-480V) ^{5,6} 206 %.4 240 %.4 240 %.4 480 %.2 | SPA RPA SPA5 RPA5 | ed included Square pole mounting (# drilling, 3.5" min. SQ pol Round pole mounting (# drilling, 3" min. RND pole Square pole mounting (# drilling, 3" min. SQ pole) Round pole mounting (# drilling, 3" min. SQ pole) Square narow pole mou ing (#8 drilling, 3" min. SQ pole) Wall bracket ¹⁰ Mast am adapter (moun on 2.3/8" OD horizontal terrori) |
| Control opti | ions | | | | Other options | Fi | nish (requi | red) |
| Shipped in NLTAIR2 PIR PIR PER | stalled IHN nLight AIR gen 2 er ambient sensor, e- sensor enabled at 2 High/low, motion/a- height, ambient ser NEMA twist-lock re separate) ³⁴ | mbient sensor, 8-40' mounting | FAO Field a BL30 Bi-leve BL50 Bi-leve DMG 0-10v fixture | pin receptade only (controls is separate) ^{14, 19} djustable output ^{16, 19} djustable output ^{16, 19} is switched dimming, 50% ^{16, 19} dimming wires pulled outside (for use with an external control, is separately). ¹⁰ | Shipped installed HS Houseside shield (black fill J0 Left rotated optics 1 90 Right notated optics 1 CE Coastal Construction ²¹ HA 50°C ambient operation ²² BAA Buy America(n) Act Comp SF Single fuse (120, 277, 34 D Double tisce (208, 204, 41 | nišh standard) ²⁰ C C C V Jlant C ZVJ ²⁴ C | DBXD BLXD WAXD WHXD DBTXD BLBXD WATXD | Dark Bronze Black Natural Aluminum White Textured dark bronze Textured black Textured natural aluminum Textured white |

| | One Lithonia Way • Conyers, Georgia 30012 • Phone: 1-800-705-SERV (7378) • www.lithonia.com © 2011-2023 Acuity Brands Lighting, Inc. All rights reserved. | DSX0-LED Rev. 09/05/23 Page 1 of 9 |
|--------------------|--|--|
| COMMERCIAL OUTDOOR | | |

| orward Op | tics | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
|------------------------|--------------|----|-----------------------|-------------------|------------------|----------|---------|------|------------|------------------|-----|---------|-----------|------------|------------------|-------|---------|-----------|-----------|-----|-------|-------|---|---|-----|-------|-------|---|---|-----|
| | | | | | | 30K | | | | | 40K | | | | | 50K | | | | | | | | | | | | | | |
| Performance Package | System Watts | | Drive Current (mA) | Distribution Type | | (30 B | 00K, 70 | CRI) | LPW | | (40 | 00K, 70 | CRI) G | LPW | | (50 | 00K, 70 | CRI) G | LPW | | | | | | | | | | | |
| 1997 | | | | T1S | Lumens 4,906 | 1 | 0 | 1 | 148 | Lumens 5,113 | 1 | 0 | G 1 | 154 | Lumens 5,213 | 1 | 0 | G 1 | 157 | | | | | | | | | | | |
| | | | | T2M | 4,545 | 1 | 0 | 2 | 137 | 4,736 | 1 | 0 | 2 | 143 | 4,829 | 1 | 0 | 2 | 145 | | | | | | | | | | | |
| | | | | T3M | 4,597 | 1 | 0 | 2 | 138 | 4,791 | 1 | 0 | 2 | 144 | 4,885 | 1 | 0 | 2 | 147 | | | | | | | | | | | |
| | | | | T3LG | 4,107 | 1 | 0 | 1 | 124 | 4,280 | 1 | 0 | 1 | 129 | 4,363 | 1 | 0 | 1 | 131 | | | | | | | | | | | |
| | | | | T4M T4LG | 4,666 | 1 | 0 | 2 | 141 128 | 4,863 | 1 | 0 | 2 | 146 133 | 4,957 4,509 | 1 | 0 | 2 | 149 | | | | | | | | | | | |
| | | | | TFTM | 4,698 | 1 | 0 | 2 | 141 | 4,896 | 1 | 0 | 2 | 135 | 4,992 | 1 | 0 | 2 | 150 | | | | | | | | | | | |
| P1 | 33W | 20 | 530 | T5M | 4,801 | 3 | 0 | 1 | 145 | 5,003 | 3 | 0 | 1 | 151 | 5,101 | 3 | 0 | 1 | 154 | | | | | | | | | | | |
| | | | | TSW | 4,878 | 3 | 0 | 1 | 147 | 5,084 | 3 | 0 | 2 | 153 | 5,183 | 3 | 0 | 2 | 156 | | | | | | | | | | | |
| | | | | T5LG BLC3 | 4,814 3,344 | 2 | 0 | 1 | 145 | 5,018 | 2 | 0 | 1 | 151 | 5,115 3,553 | 2 | 0 | 1 | 154 | | | | | | | | | | | |
| | | | | BLC3 | 3,454 | 0 | 0 | 2 | 101 | 3,599 | 0 | 0 | 1 | 105 | 3,555 | 0 | 0 | 2 | 111 | | | | | | | | | | | |
| | | | | RCCO | 3,374 | 0 | 0 | 1 | 102 | 3,517 | 0 | 0 | 1 | 106 | 3,585 | 0 | 0 | ī | 108 | | | | | | | | | | | |
| | | | | LCCO | 3,374 | 0 | 0 | 1 | 102 | 3,517 | 0 | 0 | 1 | 106 | 3,585 | 0 | 0 | 1 | 108 | | | | | | | | | | | |
| | | | | AFR | 4,906 | 1 | 0 | 1 | 148 | 5,113 | 1 | 0 | 1 | 154 | 5,213 | 1 | 0 | 1 | 157 | | | | | | | | | | | |
| | | | | T1S T2M | 6,328 | 1 | 0 | 1 2 | 140 130 | 6,595 6,109 | 1 | 0 | 1 2 | 146 | 6,724 | 1 | 0 | 1 | 149 | | | | | | | | | | | |
| | | | | T3M | 5,862 5,930 | 1 | 0 | 3 | 130 | 6,109 | 1 | 0 | 3 | 135 137 | 6,228 6,301 | 1 | 0 | 3 | 140 | | | | | | | | | | | |
| | | | | T3LG | 5,297 | 1 | 0 | 1 | 117 | 5,521 | 1 | 0 | 1 | 122 | 5,628 | 1 | 0 | 1 | 125 | | | | | | | | | | | |
| | | | | T4M | 6,018 | 1 | 0 | 3 | 133 | 6,272 | 1 | 0 | 3 | 139 | 6,395 | 1 | 0 | 3 | 142 | | | | | | | | | | | |
| | | | | T4LG | 5,474 | 1 | 0 | 1 | 121 | 5,705 | 1 | 0 | 1 | 126 | 5,816 | 1 | 0 | 1 | 129 | | | | | | | | | | | |
| 00 | 45W | 20 | 700 | TFTM | 6,060 | 1 | 0 | 3 | 134 | 6,316 | 1 | 0 | 3 | 140 | 6,439 | 1 | 0 | 3 | 143 | | | | | | | | | | | |
| P2 | 45 W | 20 | 700 | T5M T5W | 6,192 6,293 | 3 | 0 | 1 | 137 139 | 6,453 6,558 | 3 | 0 | 2 | 143 145 | 6,579 6,686 | 3 | 0 | 2 | 146 | | | | | | | | | | | |
| | | | | TSLG | 6,210 | 2 | 0 | 1 | 138 | 6,472 | 3 | 0 | 1 | 143 | 6,598 | 3 | 0 | 1 | 146 | | | | | | | | | | | |
| | | | | BLC3 | 4,313 | 0 | 0 | 2 | 96 | 4,495 | 0 | 0 | 2 | 100 | 4,583 | 0 | 0 | 2 | 102 | | | | | | | | | | | |
| | | | BLC4 | 4,455 | 0 | 0 | 2 | 99 | 4,643 | 0 | 0 | 2 | 103 | 4,733 | 0 | 0 | 2 | 105 | | | | | | | | | | | | |
| | | | | RCCO LCCO | 4,352 | 0 | 0 | 2 | 96 96 | 4,536 | 0 | 0 | 2 | 100 | 4,624 | 0 | 0 | 2 | 102 | | | | | | | | | | | |
| | | | | AFR | 4,352 6,328 | 1 | 0 | 1 | 96 | 4,536 | 1 | 0 | 1 | 100 146 | 4,624 6,724 | 1 | 0 | 1 | 102 | | | | | | | | | | | |
| | | | | | | | | | | | | | | | T1S | 9,006 | 1 | 0 | 2 | 131 | 9,386 | 1 | 0 | 2 | 136 | 9,569 | 1 | 0 | 2 | 139 |
| | | | | | | | | | | | | | | | | T2M | 8,343 | 2 | 0 | 3 | 121 | 8,694 | 2 | 0 | 3 | 126 | 8,864 | 2 | 0 | 3 |
| | | | | T3M | 8,439 | 2 | 0 | 3 | 122 | 8,795 | 2 | 0 | 3 | 128 | 8,967 | 2 | 0 | 3 | 130 | | | | | | | | | | | |
| | | | | T3LG T4M | 7,539 | 1 | 0 | 2 | 109 | 7,857 | 1 | 0 | 2 | 114 | 8,010 | 1 2 | 0 | 2 | 116 | | | | | | | | | | | |
| | | | | T4LG | 8,565 7,790 | 1 | 0 | 2 | 124 | 8,926 8,119 | 1 | 0 | 2 | 129 | 9,100 8,277 | 1 | 0 | 2 | 132 | | | | | | | | | | | |
| | | | | TFTM | 8,624 | 1 | 0 | 3 | 125 | 8,988 | 1 | 0 | 3 | 130 | 9,163 | 2 | 0 | 3 | 133 | | | | | | | | | | | |
| P3 | 69W | 20 | 1050 | T5M | 8,812 | 3 | 0 | 2 | 128 | 9,184 | 4 | 0 | 2 | 133 | 9,363 | 4 | 0 | 2 | 136 | | | | | | | | | | | |
| | | | | T5W | 8,955 | 4 | 0 | 2 | 130 | 9,333 | 4 | 0 | 2 | 135 | 9,515 | 4 | 0 | 2 | 138 | | | | | | | | | | | |
| | | | | T5LG | 8,838 | 3 | 0 | 1 | 128 | 9,211 | 3 | 0 | 1 | 134 | 9,390 | 3 | 0 | 1 | 136 | | | | | | | | | | | |
| | | | | BLC3 BLC4 | 6,139 6,340 | 0 | 0 | 2 | 89 92 | 6,398 6,607 | 0 | 0 | 2 | 93 96 | 6,522 6,736 | 0 | 0 | 2 | 95 98 | | | | | | | | | | | |
| | | | | RCCO | 6,194 | 1 | 0 | 2 | 90 | 6,455 | 1 | 0 | 2 | 94 | 6,581 | 1 | 0 | 2 | 95 | | | | | | | | | | | |
| | | | | LCCO | 6,194 | 1 | 0 | 2 | 90 | 6,455 | 1 | 0 | 2 | 94 | 6,581 | 1 | 0 | 2 | 95 | | | | | | | | | | | |
| | | | | AFR | 9,006 | 1 | 0 | 2 | 131 | 9,386 | 1 | 0 | 2 | 136 | 9,569 | 1 | 0 | 2 | 139 | | | | | | | | | | | |
| | | | | T1S T2M | 11,396 10,557 | 1 | 0 | 2 | 122 | 11,877 11,003 | 1 | 0 | 2 | 128 118 | 12,109 | 2 | 0 | 2 | 130 | | | | | | | | | | | |
| | | | | T3M | 10,557 | 2 | 0 | 3 | 115 | 11,130 | 2 | 0 | 3 | 120 | 11,21/ 11,347 | 2 | 0 | 3 | 121 | | | | | | | | | | | |
| | | | | T3LG | 9,540 | 1 | 0 | 2 | 103 | 9,942 | 1 | 0 | 2 | 107 | 10,136 | 1 | 0 | 2 | 109 | | | | | | | | | | | |
| | | | | T4M | 10,839 | 2 | 0 | 3 | 117 | 11,296 | 2 | 0 | 3 | 121 | 11,516 | 2 | 0 | 4 | 124 | | | | | | | | | | | |
| | | | | T4LG | 9,858 | 1 | 0 | 2 | 106 | 10,274 | 1 | 0 | 2 | 110 | 10,474 | 1 | 0 | 2 | 113 | | | | | | | | | | | |
| P4 | 93W | 20 | 1400 | TFTM T5M | 10,914 11,152 | 2 | 0 | 3 | 117 | 11,374 11,622 | 2 | 0 | 3 | 122 | 11,596 11,849 | 2 | 0 | 3 | 125 | | | | | | | | | | | |
| r4 | WCG | 20 | 1400 | TSW | 11,152 | 4 | 0 | 3 | 120 | 11,622 | 4 | 0 | 3 | 125 | 12,041 | 4 | 0 | 3 | 12/ | | | | | | | | | | | |
| | | | | TSLG | 11,184 | 3 | 0 | 1 | 122 | 11,656 | 3 | 0 | 2 | 125 | 11,883 | 3 | 0 | 2 | 125 | | | | | | | | | | | |
| | | | | BLC3 | 7,768 | 0 | 0 | 2 | 83 | 8,096 | 0 | 0 | 2 | 87 | 8,254 | 0 | 0 | 2 | 89 | | | | | | | | | | | |
| | | | | BLC4 | 8,023 | 0 | 0 | 3 | 86 | 8,362 | 0 | 0 | 3 | 90 | 8,524 | 0 | 0 | 3 | 92 | | | | | | | | | | | |
| | | | | RCCO | 7,838 | 1 | 0 | 2 | 84 | 8,169 | 1 | 0 | 2 | 88 | 8,328 | 1 | 0 | 2 | 90 | | | | | | | | | | | |
| | | | | LCCO AFR | 7,838 | 1 | 0 | 2 | 84 122 | 8,169 11,877 | 1 | 0 | 2 | 88 128 | 8,328 12,109 | 1 | 0 | 2 | 90 130 | | | | | | | | | | | |

Lumen Ambient Temperature (LAT) Multipliers se these factors -**Projected LED Lumen Maintenance** Data references the extrapolated performance projections for the platforms noted in a 25°C ambient, based on 10,000 hours of LED testing (tested per IESNA LM-80-08 and projected per IESNA TM-21-11). **FAO Dimming Settings**

| lectrical | Load | | | | Current (A) | | | | | | |
|---------------------------------|------------------------|--------------|-----------------------|---------|-------------|------|------|------|------|------|--|
| | Performance Package | LED Count | Drive Current (mA) | Wattage | 120V | 208V | 240V | 277V | 347V | 480 | |
| | P1 | 20 | 530 | 34 | 0.28 | 0.16 | 0.14 | 0.12 | 0.10 | 0.07 | |
| | P2 | 20 | 700 | 45 | 0.38 | 0.22 | 0.19 | 0.16 | 0.13 | 0.09 | |
| Forward Optics (Non-Rotated) | P3 | 20 | 1050 | 69 | 0.57 | 0.33 | 0.29 | 0.25 | 0.20 | 0.14 | |
| | P4 | 20 | 1400 | 94 | 0.78 | 0.45 | 0.39 | 0.34 | 0.27 | 0.19 | |
| | P5 | 40 | 700 | 89 | 0.75 | 0.43 | 0.38 | 0.33 | 0.26 | 0.19 | |
| | P6 | 40 | 1050 | 136 | 1.14 | 0.66 | 0.57 | 0.49 | 0.39 | 0.29 | |
| | P7 | 40 | 1300 | 170 | 1.42 | 0.82 | 0.71 | 0.62 | 0.49 | 0.36 | |
| | P10 | 30 | 530 | 51 | 0.42 | 0.24 | 0.21 | 0.18 | 0.15 | 0.11 | |
| Rotated Optics | P11 | 30 | 700 | 67 | 0.57 | 0.33 | 0.28 | 0.25 | 0.20 | 0.14 | |
| (Requires L90 or R90) | P12 | 30 | 1050 | 103 | 0.86 | 0.50 | 0.43 | 0.37 | 0.30 | 0.22 | |
| | P13 | 30 | 1300 | 129 | 1.07 | 0.62 | 0.54 | 0.46 | 0.37 | 0.27 | |

LED Color Temperature / Color Rendering Multipliers Lumen Multiplier Availability Lumen Multiplier Availability Lumen Multiplier Availability

| 5000K | 102% | Standard | 92% | Extended lead-time | 71% | (see note) |
|-------|------|------------|-----|--------------------|-----|------------|
| 4000K | 100% | Standard | 92% | Extended lead-time | 67% | (see note) |
| 3500K | 100% | (see note) | 90% | Extended lead-time | 63% | (see note) |
| 3000K | 96% | Standard | 87% | Extended lead-time | 61% | (see note) |
| 2700K | 94% | (see note) | 85% | Extended lead-time | 57% | (see note) |

| | Unoccupied Dimmed Level | | Level (ccupied) | Phototcell Operation | | | | Dimming Fade Rate |
|----------------------------|--|--|--|--|---|---|--|--|
| PIR | 30% | 10 | 0% | Enabled @ 2FC | 7.5 min | | 3 sec | 5 min |
| NLTAIR2 PIRHN | 30% | 10 | 0% | Enabled @ 2FC | 7.5 min | | 3 sec | 5 min |
| Controls Optio | | | | | | | | |
| Nomendature | Description | | | Functionality | Primary control devic | e | Notes | |
| FAO | Field adjustable output device installed luminaire; wired to the driver dimming | | Allows the luminaire to be manually dimmed, effectively trimming the light output. | | FAO device | | Cannot be used with o 0-10V leads | other controls options that need th |
| DS (not available on DSXO) | Drivers wired independently for 50/50 lu operation | minaire The luminaire is allowing for 50/ | | wired to two separate circuits, 10 operation. | Independently wired drivers | | Requires two separately switched circuits. Consider nLight AIR as a more cost effective alternative. | |
| PERS or PER7 | | | Compatible with standard twist-lock photocells for dusk to dawn operation, or advanced control nodes that provide 0-10V dimming signals. | | Twist-lock photocells such as DLI advanced control nodes such as | | Pins 4 & 5 to dimming capped inside lumina controls options that r | leads on driver, Pins 6 & 7 are ire. Cannot be used with other need the 0-10V leads. |
| PIR | Motion sensor with integral photocell. S for 8' to 40' mounting height. | Motion sensor with integral photocell. Sensor suitable for 8' to 40' mounting height. | | when no occupancy is detected. | Acuity Controls rSBG | | Cannot be used with other controls options that need the $0\mathchar`-10V$ leads. | |
| NLTAIR2 PIRHN | nLight AIR enabled luminaire for motion photocell and wireless communication. | sensing, | Motion and ambient light sensing with group response. Scheduled dimming with motion sensor over-ride when wirelessly connected to the nLight Eclypse. | | nLight Air rSBG | | from the ground using | n be programmed and commission g the CIAIRity Pro app. Cannot be u stions that need the 0-10V leads. |
| BL30 or BL50 | circuit to switch all light engines to either 30% or 50% a | | BLC device provides input to 0-10V dimming leads on all drivers providing either 100% or dimmed (30% or 50%) control by a secondary circuit | | BLC UVOLT1 | | | off the 0-10V dimming leads, thu input voltage from 120 to 480V |

To see complete photometric reports or download .ies files for this product, visit Lithonia Lighting's homepage.

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LITHONIA LIGHTING.

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OMMERCIAL OUTDOOR

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One Lithonia Way • Conyers, Georgia 30012 • Phone: 1-800-705-SERV (7378) • www.lithonia.com © 2011-2023 Acuity Brands Lighting, Inc. All rights reserved.

> ances are in units of mounting height (20") 154321012345

> > 0



DSX0-LED Rev. 09/05/23 Page 4 of 9

One Lithonia Way • Convers, Georgia 30012 • Phone: 1-800-705-SERV (7378) • www.lithonia.com © 2011-2023 Acuity Brands Lighting, Inc. All rights reserved. COMMERCIAL OUTDOOR

DSX0-LED Rev. 09/05/23 Page 5 of 9

COMMERCIAL OUTDOOR





CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION CASE MEMO

PLANNING AND ZONING DEPARTMENT 385 S. GOLIAD STREET • ROCKWALL, TX 75087 PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

| TO: | Planning and Zoning Commission |
|--------------|--|
| DATE: | November 14, 2023 |
| APPLICANT: | Trenton Jones & Ben Sanchez; Parkhill |
| CASE NUMBER: | SP2023-034; Site Plan for Rockwall County Courthouse Annex |

SUMMARY

Consider a request by Trenton Jones and Ben Sanchez of Parkhill on behalf of Frank New of Rockwall County for the approval of a <u>Site Plan</u> for a *Government Building* on a 1.90-acre portion of a larger 12.79-acre parcel of land identified as Lot 1, Block A, Rockwall County Courthouse Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the IH-30 Overlay (IH-30) District, addressed as 963 E. Yellow Jacket Lane, and take any action necessary.

BACKGROUND

The subject property was originally annexed into the City of Rockwall on September 5, 1960 by *Ordinance No. 60-02*. At the time of annexation, the subject property was zoned Agricultural (AG) District. According to the 1983 historic zoning map, at some point between January 3, 1972 and May 16, 1983 the property was zoned from Agricultural (AG) District to Commercial (C) District. On May 17, 2010, the City Council approved a final plat that establish the subject property as Lot 1, Block A, Rockwall County Courthouse Addition. According to the Rockwall Central Appraisal District (RCAD), a 121,208 SF *Government Facility (i.e. Rockwall County Courthouse*) was constructed in 2011.

<u>PURPOSE</u>

On October 20, 2023, the applicants -- *Trenton Jones and Ben Sanchez of Parkhill* -- submitted an application requesting the approval of a <u>Site Plan</u> for the purpose of constructing a *Government Building* on the subject property.

ADJACENT LAND USES AND ACCESS

The subject property is generally located south of the intersection of T. L. Townsend Drive and E. Yellow Jacket Lane. The land uses adjacent to the subject property are as follows:

- <u>North</u>: Directly north of the subject property is E. Yellow Jacket Lane, which is classified as a A4D (*i.e. major arterial, four [4] lane, divided roadway*) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this is an 8.485-acre parcel of land (*i.e. Lot 10, Block A, First United Methodist Church Addition*) developed with a *Church/House of Worship*. Beyond this is a vacant 9.001-acre parcel of land (*i.e. Lot 11, Block A, First United Methodist Church Addition*). Both of these properties are zoned Commercial (C) District.
- South: Directly south of the subject property are several parcels of land developed with commercial land uses (*i.e. Office, Retail, General Personal Service, Animal Hospital, Car Wash, & Car Dealership*), and zoned Commercial (C) District. Beyond this is the intersection of S. Goliad Street [SH-205] and E. Interstate 30 [IH-30], where S. Goliad Street [SH-205] is classified as a P6D (*i.e. principal arterial, six [6] lane, divided roadway*) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan.
- <u>East</u>: Directly east of the subject property is a 5.909-acre parcel of land (*i.e. Lot 5, Block A, Rockwall Library Addition*) developed with a *Public Library* and zoned Commercial (C) District. Beyond this is T. L. Townsend Drive, which is classified as a A4D (*i.e. major arterial, four [4] lane, divided roadway*) on the City's Master Thoroughfare Plan

contained in the OURHometown Vision 2040 Comprehensive Plan. Following this is a 4.194-acre parcel of land (*i.e. Lot 1, Block A, Emerus Emergency Hospital*) developed with a *Hospital* and zoned Light Industrial (LI) District.

<u>West</u>: Directly west of the subject property is E. Yellow Jacket Lane, which is classified as a A4D (*i.e. major arterial, four [4] lane, divided roadway*) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this are two (2) vacant parcels of land (*i.e. Lot 11, Block A, First United Methodist Church Addition and Lot 6, Block 1, First United Methodist Church Addition*). Following this are three (3) parcels of land developed with commercial land uses (*i.e. Minor Automotive Repair, Restaurant with Drive-Through, and Convenience Store with Gasoline Sales*). All of these properties are zoned Commercial (C) District. After this is S. Goliad Street [*SH-205*], which is classified as a P6D (*i.e. principal arterial, six [6] lane, divided roadway*) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan.

DENSITY AND DIMENSIONAL REQUIREMENTS

According to Section 01, Land Use Schedule, of Article 04, Permissible Uses, of the Unified Development Code (UDC), a *Government Facility* is permitted by-right in a Commercial (C) District. The submitted site plan, landscape plan, photometric plan, and building elevations generally conform to the technical requirements contained within the Unified Development Code (UDC) for a property located within a Commercial (C) District with the exception of the item(s) noted in the Variances and Exceptions Requested by the Applicant section of this case memo. A summary of the density and dimensional requirements for the subject property are as follows:

| Ordinance Provisions | Zoning District Standards | Conformance to the Standards |
|----------------------------------|---|--------------------------------|
| Minimum Lot Area | 10,000 SF | X=12.79-acres; In Conformance |
| Minimum Lot Frontage | 60-Feet | X= 673.84-feet; In Conformance |
| Minimum Lot Depth | 100-Feet | X=563.21-feet; In Conformance |
| Minimum Front Yard Setback | 15-Feet | X=15-feet; In Conformance |
| Minimum Rear Yard Setback | 10-Feet | X>10-feet; In Conformance |
| Minimum Side Yard Setback | 10-Feet | X>10-feet; In Conformance |
| Maximum Building Height | 60-Feet | X=23.5-feet; In Conformance |
| Max Building/Lot Coverage | 60% | X=9.1%; In Conformance |
| Minimum Number of Parking Spaces | 1 Parking Space/300 SF (Office) 39 Required Parking Spaces | X=43; In Conformance |
| Minimum Landscaping Percentage | 20% | X=31.42%; In Conformance |
| Maximum Impervious Coverage | 85-90% | X=68.58%; In Conformance |

CONFORMANCE WITH THE CITY'S CODES

The applicant is requesting to construct a *Government Facility* on the subject property. According to Subsection 02.02(C)(12), *Government Facility*, of Article 13, *Definitions*, of the Unified Development Code (UDC), a *Government Facility* is defined as "(a)n office of a governmental agency that provides administrative and/or direct services to the public…" In this case, the applicant's proposed use falls under this classification, which is permitted by-right within a Commercial (C) District. When reviewing the proposed site plan against these standards, it appears to generally conform with the exception of the variance(s) and exception(s) being requested as outlined in the *Variances and Exceptions Requested by the Applicant* section of this case memo.

VARIANCES AND EXCEPTIONS BY THE APPLICANT

As stated above, the applicant's request conforms to the majority of the City's codes; however, staff has identified the following variance(s) and exception(s):

- (1) Architectural Standards.
 - (a) <u>Four-Sided Architecture.</u> According to Subsection 06.02(C)(5), of Article 05, of the General Overlay District Development Standards of the Unified Development Code (UDC), "(a)ll buildings shall be architecturally finished on

all four (4) sides utilizing the same materials, detailing, articulation and features." In this case, the proposed building exceeds the wall length requirement, "...the maximum wall length shall not exceed three (3) times the wall height." This will require a *variance* from the Planning and Zoning Commission pending a recommendation from the Architectural Review Board (ARB).

- (b) <u>Stone</u>. According to Subsection 06.02(C)(1)(a)(1), General Overlay District Standards, of Article 05, District Development Standards, of the Unified Development Code (UDC), "(a) minimum of 20.00% natural or quarried stone is required on all building façades." In this case the applicant has <u>not</u> met this requirement on the north and west building façades. This will require a variance from the Planning and Zoning Commission.
- (c) <u>Masonry Material</u>. According to Subsection 06.02(C)(1)(a)(1), General Overlay District Standards, of Article 05, District Development Standards, of the Unified Development Code (UDC), a minimum of 90.00% masonry material must be utilized on each building façade. In this case the applicant has <u>not</u> met this requirement on the north and west building façades. This will require a variance from the Planning and Zoning Commission.
- (d) <u>Tilt-Up Wall</u>. According to Section 06.01(C)(1), General Overlay District Standards, of Article 05, District Development Standards, of the Unified Development Code (UDC), concrete tilt-up walls are not a permitted material. The applicant is proposing the use of tilt-up wall construction for the building, and the amount of exposed tilt-up wall is 24.90% (on the west building elevation) and 58.60% (on the north building elevation). This will require a variance from the Planning and Zoning Commission.
- (e) <u>Roof Pitch</u>. According to Subsection 04.01(A)(1), General Commercial District Standards, of Article 05, District Development Standards, of the Unified Development Code (UDC), "(a)II structures shall have the option of being constructed with either a pitched (*minimum of a 6:12 roof pitch*), parapet, or mansard roof system as long as the roof system is enclosed on all sides." In this case, the applicant is doing a pitched roof system where the canopies have a 4:12 pitch. This will require an exception from the Planning and Zoning Commission.
- (2) <u>Landscape Buffer</u>. According to Subsection 05.01, Landscape Buffers, of Article 08, Landscape and Fence Standards, of the Unified Development Code (UDC), a landscape buffer shall have a "...minimum of one (1) canopy tree and one (1) accent tree...per 50-linear feet..." Given this, the applicant is required to have eight (8) canopy and eight (8) accent trees. That being said, the applicant is requesting not to plant the canopy trees and have 16 accent trees due to overhead power lines. This will require an *exception* from the Planning and Zoning Commission.
- (3) <u>Driveway Spacing</u>. According to Figure 2.4: Minimum Driveway Spacing and Corner Clearance, of Chapter 2, Streets, of the Engineering Department's Standards of Design and Construction Manual, driveways must be 100-feet apart. In this case, the applicant is adding an additional drive along E. Yellow Jacket Lane that is less than 100-feet to another existing drive. This will require a variance from the Planning and Zoning Commission.

According to Subsection 09, *Exceptions and Variances*, of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC), "...an applicant may request the Planning and Zoning Commission grant variances and exceptions to the provisions contained in the Unified Development Code (UDC), where unique or extraordinary conditions exist or where strict adherence to the technical requirements of the Unified Development Code (UDC) would create an undue hardship." In addition, the code requires that the applicant provide compensatory measures that directly offset the requested variances and exceptions. The applicant has indicated the following as compensatory measures: [1] providing a 15-foot landscape buffer in lieu of a ten (10) foot, and [2] providing 31.40% landscaping in lieu of the required 20.00%. Requests for exceptions and variances to the Unified Development Code (UDC) are discretionary decisions for the Planning and Zoning Commission. Staff should note that a supermajority vote (*e.g. six [6] out of the seven [7] commissioners*) -- *with a minimum of four (4) votes in the affirmative --* is required for the approval of a variance or exception.

CONFORMANCE WITH OURHOMETOWN VISION 2040 COMPREHENSIVE PLAN

According to the Future Land Use Plan contained in the OURHometown Vision 2040 Comprehensive Plan, the subject property is situated within the <u>Central District</u> and is designated for <u>Public</u> land uses. According to the <u>District Strategies</u> this land use designation should "... support the existing and proposed residential developments and should be compatible in scale with the adjacent residential structures." That being said, the subject property is located within a cluster of <u>Public</u> and

<u>Quasi-Public</u> land uses. Given this, the proposed request is in conformance with the Future Land Use Map contained in the OURHometown Vision 2040 Comprehensive Plan.

ARCHITECTURAL REVIEW BOARD (ARB) RECOMMENDATION

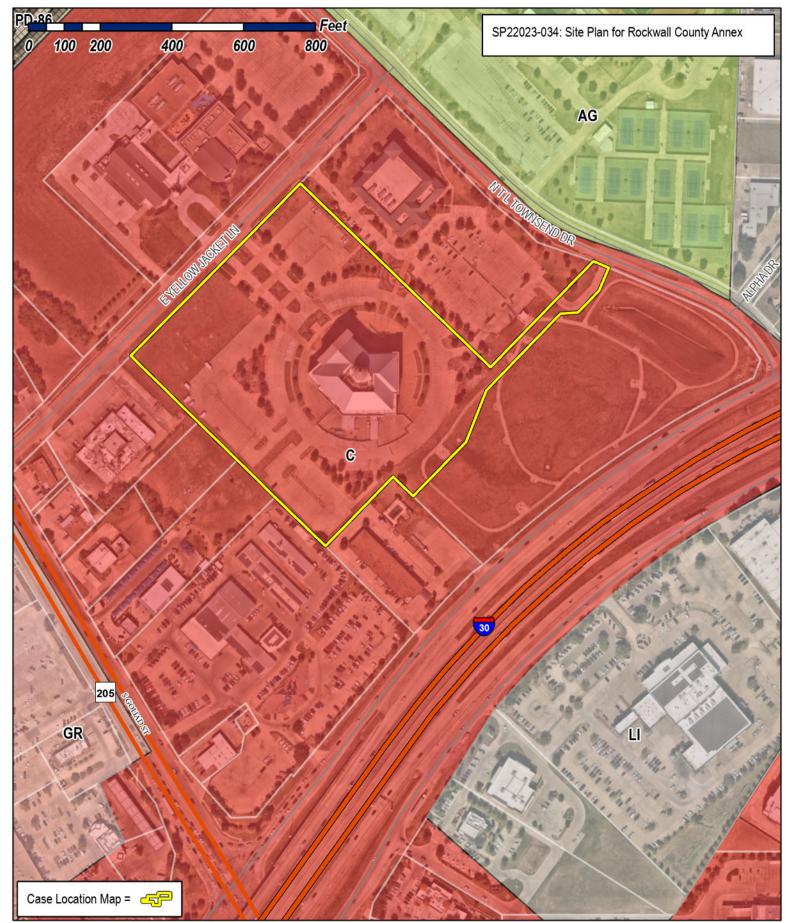
On November 1, 2023 the Architecture Review Board (ARB) reviewed the building elevations provided by the applicant. The ARB requested the applicant provide a material sample board and provide material variation on the north and west facades. The applicant has made the requested changes on the north façade, which will be reviewed by the ARB prior to the November 14, 2023 meeting.

CONDITIONS OF APPROVAL

If the Planning and Zoning Commission chooses to approve the applicant's <u>Site Plan</u> for the construction of a *Government Facility* on the *subject property*, then staff would propose the following conditions of approval:

- (1) All staff comments provided by the Planning, Engineering and Fire Department must be addressed prior to the submittal of engineering plans.
- (2) Any construction resulting from the approval of this <u>Site Plan</u> shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

| DEVELOPMENT APPLICATIO City of Rockwall Planning and Zoning Department 385 S. Goliad Street Rockwall, Texas 75087 | | | PLAN NOTI CITY SIGN DIRE CITY | FF USE ONLY NNING & ZONING CASE NO. E: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE 'UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE IED BELOW. SCTOR OF PLANNING: 'ENGINEER: |
|---|---|---|--|---|
| r | APPROPRIATE BOX BELOW TO INDICATE THE TYPE (| | | |
| PLATTING APPLICATION FEES: MASTER PLAT (\$100.00 + \$15.00 ACRE) 1 PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) 1 FINAL PLAT (\$300.00 + \$20.00 ACRE) 1 REPLAT (\$300.00 + \$20.00 ACRE) 1 AMENDING OR MINOR PLAT (\$150.00) PLAT REINSTATEMENT REQUEST (\$100.00) | | D ZONII | ng Ch/ Eific US Eveloi A <i>pplic</i> Remo | CATION FEES: ANGE (\$200.00 + \$15.00 ACRE) ¹ SE PERMIT (\$200.00 + \$15.00 ACRE) ^{1 & 2} PMENT PLANS (\$200.00 + \$15.00 ACRE) ¹ CATION FEES: VVAL (\$75.00) REQUEST/SPECIAL EXCEPTIONS (\$100.00) ² |
| SITE PLAN APPLICATION FEES: | | | AMOUNT. | THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE. WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT JCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING |
| PROPERTY INFO | RMATION [PLEASE PRINT] | | | |
| ADDRESS | | all, TX 750 | 37 | |
| SUBDIVISION | Rockwall County Courthouse Add | dition | | LOT 1 BLOCK A |
| GENERAL LOCATION | Grass area 300 ft NW of County | Clerk Build | ling | |
| ZONING, SITE PL | AN AND PLATTING INFORMATION [PLEA | SE PRINT] | | |
| CURRENT ZONING | Commercial | CURREN | NT USE | Commercial |
| PROPOSED ZONING | Commercial | PROPOSE | D USE | Commercial |
| ACREAGE 1.9 acres (Total Distrubed LOTS [CURRENT] 1 LOTS [PROPOSED] 1 | | LOTS [PROPOSED] 1 | | |
| REGARD TO ITS | <u>PLATS</u> : BY CHECKING THIS BOX YOU ACKNOWLEDGE APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF ENIAL OF YOUR CASE. | THAT DUE TO TH STAFF'S COMME | IE PASS ENTS BY | SAGE OF <u>HB3167</u> THE CITY NO LONGER HAS FLEXIBILITY WITH Y THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL |
| OWNER/APPLIC | ANT/AGENT INFORMATION [PLEASE PRINT/C | HECK THE PRIMA | RY CON | NTACT/ORIGINAL SIGNATURES ARE REQUIRED] |
| | Rockwall County | M APPLI | CANT | Parkhill |
| CONTACT PERSON | Frank New | CONTACT PE | RSON | Trenton Jones, Ben Sanchez |
| ADDRESS | 101 East Rusk St | ADD | RESS | 3000 Internet Blvd |
| | | | | Suite 550 |
| CITY, STATE & ZIP | Rockwall, TX 75087 | CITY, STATE | | |
| PHONE | 972-204-6000 | | | 972-987-1670 |
| E-MAIL | fnew@rockwallcountytexas.com | E | -Mail | tjones@parkhill.com, bsanchez@parkhill.com |
| NOTARY VERIFIC BEFORE ME, THE UNDER STATED THE INFORMATI | CATION [REQUIRED] RSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEAR ON ON THIS APPLICATION TO BE TRUE AND CERTIFIED TH | ed Ie following: | | [OWNER] THE UNDERSIGNED, WHO |
| \$ | TO COVER THE COST OF THIS APPLICATION, H | IAS BEEN PAID TO REE THAT THE CIT IS ALSO AUTHORI | THE CIT 'Y OF R(ZED AN | OCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE ID PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION |
| GIVEN UNDER MY HAND | AND SEAL OF OFFICE ON THIS THE DAY OF | | _ 20 | _ |
| | OWNER'S SIGNATURE | | | |
| NOTARY PUBLIC IN AND | FOR THE STATE OF TEXAS | | | MY COMMISSION EXPIRES |

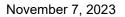




City of Rockwall Planning & Zoning Department 385 S. Goliad Street Rockwall, Texas 75087 (P): (972) 771-7745 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.







City of Rockwall Planning Department 385 S. Goliad Street Rockwall, Texas 75069

RE: Letter of Intent - Design Exceptions Request

Dear Mr. Lee:

Parkhill, as the representative for Rockwall County, previously submitted an application for site plan approval for the Rockwall County Courthouse Annex. The property is located at 1101 E. Yellow Jacket Lane Rockwall Texas, 75087. The application has been identified as case number SP2023-034.

The project consists of adding a Courthouse Annex Building, parking, utilities, and connection to the existing Rockwall County complex. As discussed previously with the city of Rockwall Planning Department, Parkhill was aware that multiple design exceptions would be necessary as part of this Site Plan Submission. Per our previous discussions with the city of Rockwall Planning Department, we would like to submit the following design exception requests:

- Articulation Standards (Subsection 04.01. C. of Article 05, UDC)
 - Building footprint is nearly at maximum building size allowed. There is no primary building entrance along East Yellow Jacket, our main façade faces in toward the existing parking.
- Exterior Walls consist of 90% Masonry (Subsection 06.02. C. of Article 05, UDC)
 - Total of 60% Masonry provided. Design intent is to closely relate to the adjacent County courthouse and library
- At least 20% Natural quarried stone on each façade (Subsection 06.02. C. of Article 05, UDC)
 - o Providing 18.8%, 33%, 41.5%, and 6.4% to the façades, and a total percentage of 25.4%
- The minimum roof pitch for this zoning district is 6:12. (Subsection 04.01, of Article 05, UDC)
 - Mansard roof pitch to be 6:12, front overhangs to be 4:12.
- Landscape Exception requested to substitute 8 Accent Trees for the 8 Canopy Trees required along East Yellow Jacket Lane due to the existing overhead power line in right of way (Subsection 05.01.B of Article 8, UDC). The two proposed compensatory measures include:
 - 15-foot wide landscape buffer provided along East Yellow Jacket Lane instead of the ordinance required 10-foot wide buffer.
 - 31.4% (24,711 SF) of landscape area provided instead of the ordinance required 20% (15,729 SF).
- Driveway Spacing (Section 02.06, Standards of Design and Construction)
 - Seeking an exception from the driveway spacing requirement of 200 feet along Yellow Jacket Lane, to a spacing of 85 ft.
- 20ft minimum depth for all parking
 - Seeking an exception to the 20ft depth requirement for the parking lot area south of the proposed building, to 18 feet. The existing parking spaces in this area are 18ft x 9ft.

Please feel free to contact me if you have any questions regarding the applications for the Site Plan of the Rockwall County Courthouse Annex.

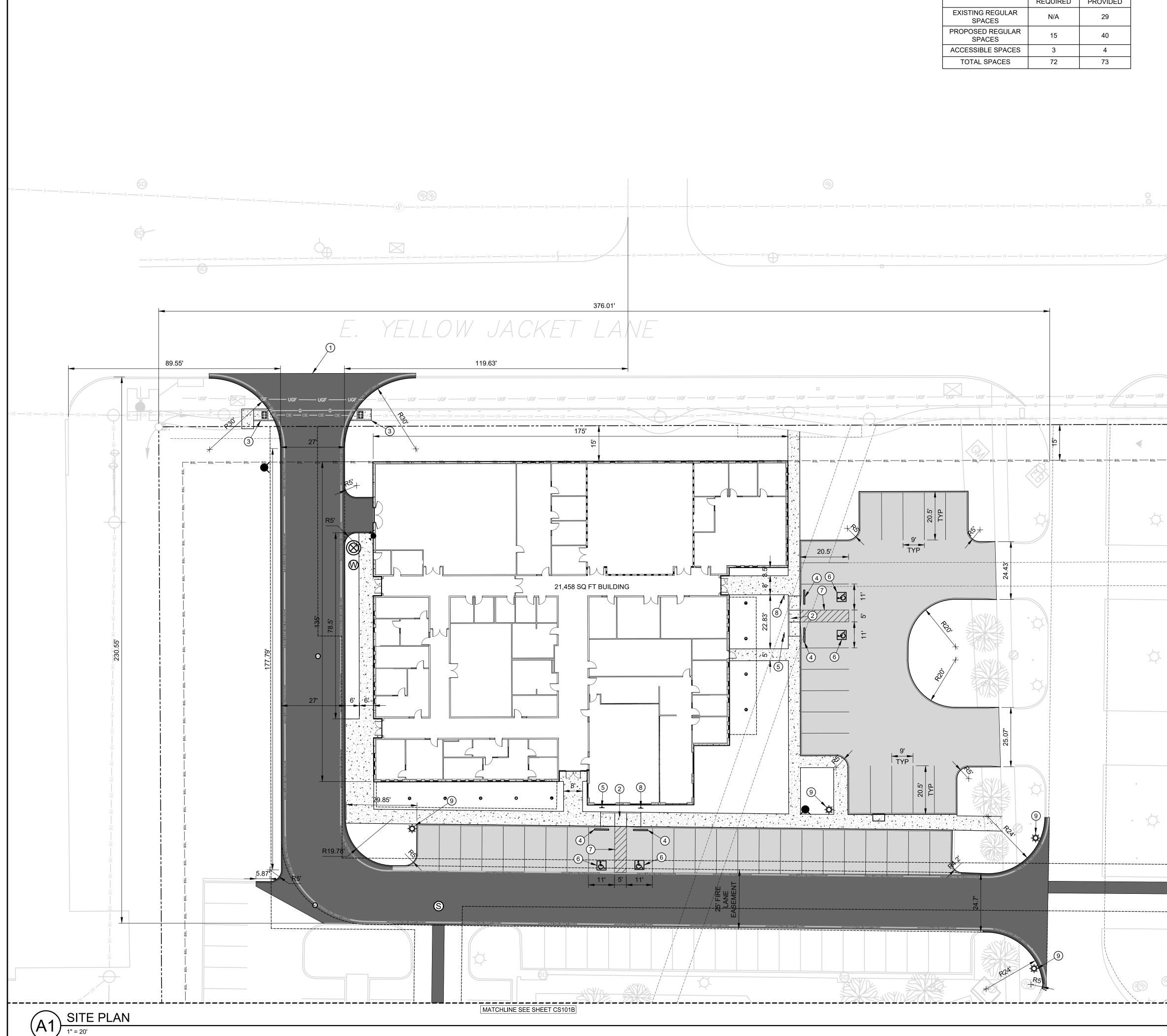
Sincerely,

PARKHILL

Sany, P.E. By_

Ben Sanchez, PE Civil Engineer Authorized Representative/Applicant for Rockwall County

Enclosures Cc: Files



| PARKING LOT COUNT | | | |
|----------------------------|----------|----------|--|
| | REQUIRED | PROVIDED | |
| EXISTING REGULAR SPACES | N/A | 29 | |
| PROPOSED REGULAR SPACES | 15 | 40 | |
| ACCESSIBLE SPACES | 3 | 4 | |
| TOTAL SPACES | 72 | 73 | |
| | | | |

KEY NOTES

- AS INDICATED BY: (00) 1. DRIVEWAY - SEE DETAIL B2/CS502
- 2. PARALLEL CURB RAMP SEE DETAIL B4/CS501
- 3. STRAIGHT HANDICAP RAMP AT RADIUS SEE DETAIL B1/CS501
- 4. PARKING BLOCK SEE DETAIL B3/CS501 5. HANDICAP SIGN WITH "VAN ACCESSIBLE" PLACARD - SEE DETAIL A4/CS502
- 6. HANDICAP MARKING SEE DETAIL A3/CS502
- 7. ACCESS AISLE MARKING SEE DETAIL A2/CS502
- 8. HANDICAP SIGN SEE DETAIL A1/CS502 9. RELOCATED LIGHT POLE - SEE DEMOLITION PLANS. COORDINATE WITH ELECTRICAL.

SITE PLAN NOTES

- A. FIRE LANE MARKING SHALL BE 6" WIDE RED BACKGROUND STRIPE WITH 4" WHITE LETTERS USING 3/4" STROKE STATING "NO PARKING FIRE LANE". PAINT EVERY 25' ON CENTER ALONG THE FIRE LANE. PLACE FIRE LANE MARKING ON THE VERTICAL SURFACE OF THE CURB WHEN PRESENT OR ON THE PARKING SURFACE WHEN NOT.
- B. FIRE LANE MARKING SHOWN IS REPRESENTATIONAL. FIRE LANE MARKING SHALL BE A MINIMUM OF 20' APART OR 26' APART WHEN ADJACENT TO BUILDINGS OVER 30' HIGH. FIRE LANE MARKING SHALL BE PAINTED ON A CURB FACE WHERE THE REPRESENTATIONAL MARKING IS SHOWN NEXT TO A CURB. COORDINATE FIRE LANE MARKINGS WITH CITY OF ROCKWALL FIRE MARSHAL PRIOR TO INSTALLATION.
- C. INSTALL FIRE APPARATUS ACCESS ROADS AND MAKE SERVICEABLE PRIOR TO THE START OF BUILDING FRAMING. D. STRIPING WIDTH = 4". STRIPE COLOR = WHITE, HANDICAP AND MEDIAN ISLAND STRIPES (YELLOW). PLACE DIAGONAL STRIPES (45°) AT 24" ON
- CENTER. E. CALL THE ONE CALL SYSTEM (811) PRIOR TO CONSTRUCTION. F. LOCATE AND PROTECT EXISTING UTILITIES AND STRUCTURES DURING CONSTRUCTION, AND REPAIR ANY DAMAGES TO EXISTING FEATURES AT CONTRACTOR'S EXPENSE.
- G. ALL CONSTRUCTION SHALL BE ACCORDANCE WITH THE LATEST CITY OF ROCKWALL DESIGN STANDARDS, REQUIREMENTS AND SPECIFICATIONS, UNLESS OTHERWISE NOTED ON THE PLANS.
- H. FOLLOW BEST MANAGEMENT PRACTICES (BMP'S) AND COMPLY WITH EPA & TCEQ STORM WATER POLLUTION PREVENTION PLAN (SWPPP) REQUIREMENTS.
- EARTHWORK AND BACKFILL WITHIN THE LIMITS OF EXISTING AND PROPOSED PAVEMENT SHALL BE COMPACTED IN MAXIMUM 8" LIFTS TO 95% MODIFIED PROCTOR (ASTM D-1557), WITHIN 2% OF OPTIMUM MOISTURE CONTENT, PRIOR TO PLACEMENT OF IMPROVEMENTS. DOWEL SIDEWALKS INTO PAVEMENT AT TIE-INS TO EXISTING SLABS. AND TO DRIVEWAY PAVEMENTS. INSTALL EXPANSION JOINT
- MATERIAL WHERE PAVEMENT ABUTS EXISTING STRUCTURES FOR ISOLATION PURPOSES. K. ALL DIMENSIONS ARE BACK OF CURB TO BACK OF CURB, FACE OF
- BUILDING, OR PROPERTY LINE, UNLESS OTHERWISE NOTED. CONTRACTOR IS TO SCHEDULE A PRE-PAVING MEETING WITH THE ENGINEER AT LEAST 7 DAYS PRIOR TO ANY PAVING.

LEGEND

Q

| | PROPERTY LINE |
|--------------------|---|
| BSL | BUILDING SETBACK LINE |
| FRE LAKE NO PARANO | FIRE LANE MARKING - SEE DETAIL A5/CS501 & NOTE THIS SHEET |
| | EXISTING EASEMENT |
| | SIDEWALK - SEE DETAIL CS503 |
| | 6" HEAVY DUTY CONCRETE PAVEMENT - SEE DETAIL A3/CS501 |
| | 5" STANDARD DUTY CONCRETE PAVEMENT - SEE DETAIL A1/CS501 |
| | |
| | |

SIGNATURE BLOCK

APPROVED: I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the _____day of ______.

WITNESS OUR HANDS, this __ day of _____, ____.

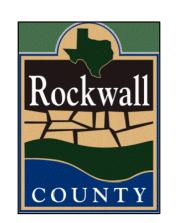
Planning & Zoning Comission, Chairman Director of Planing and Zoning

Parkhill

THIS DOCUMENT IS RELEASED ON 10/19/23 FOR THE PURPOSE OF INTERIM REVIEW UNDER THE AUTHORITY OF BENITO SANCHEZ, P.E., TEXAS LICENSE #87889. IT IS NOT TO BE USED FOR REGULATORY APPROVAL, CONSTRUCTION, BIDDING OR PERMIT PURPOSES. PARKHILL, SMITH & COOPER, INC. F-560

Parkhill.com

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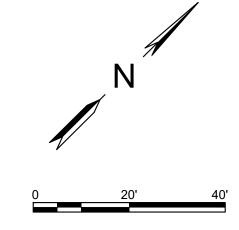


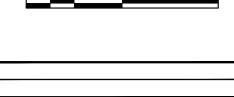
CLIENT **Rockwall County**

1111 E Yellowjacket Lane Rockwall, TX 75037

PROJECT NO. 11987.22

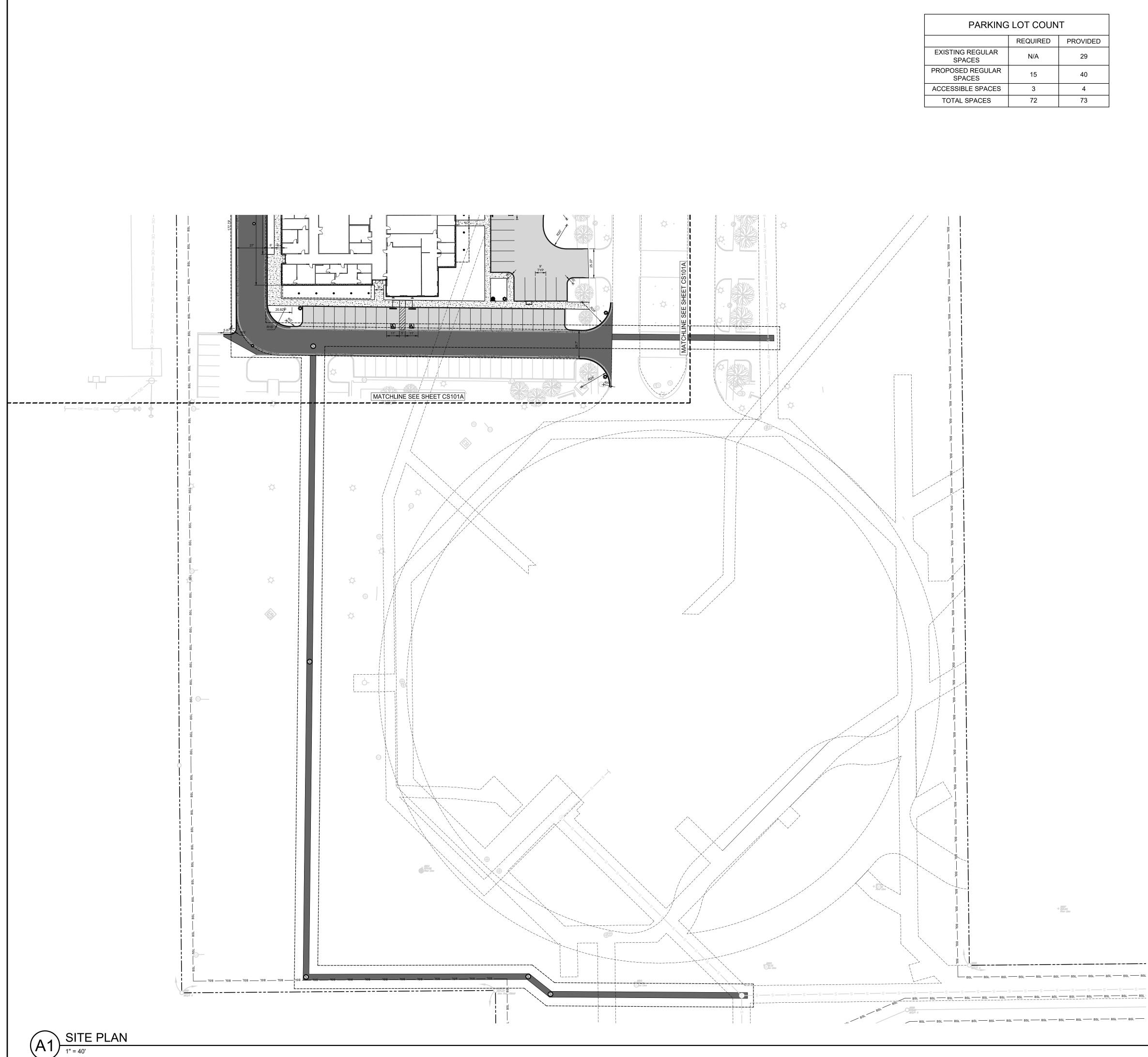






| 2 | 11/07/2023 | Site Plan Re-Submittal #1 |
|---|------------|---------------------------|
| 1 | 10/20/2023 | Site Plan Submittal |
| # | DATE | DESCRIPTION |

Site Plan **CS101A**



| PARKING LOT COUNT | | | |
|----------------------------|----------|----------|--|
| | REQUIRED | PROVIDED | |
| EXISTING REGULAR SPACES | N/A | 29 | |
| PROPOSED REGULAR SPACES | 15 | 40 | |
| ACCESSIBLE SPACES | 3 | 4 | |
| TOTAL SPACES | 72 | 73 | |

KEY NOTES

- AS INDICATED BY: 🔘 1. DRIVEWAY - SEE DETAIL XX/CS501
- 2. PARALLEL CURB RAMP SEE DETAIL B4/CS501
- 3. STRAIGHT HANDICAP RAMP AT RADIUS SEE DETAIL B1/CS501
- 4. PARKING BLOCK SEE DETAIL B3/CS501 5. HANDICAP SIGN WITH "VAN ACCESSIBLE" PLACARD - SEE DETAIL
- A4/CS502
- 6. HANDICAP MARKING SEE DETAIL A3/CS502 7. ACCESS AISLE MARKING - SEE DETAIL A2/CS502
- 8. HANDICAP SIGN SEE DETAIL A1/CS502
- 9. RELOCATED LIGHT POLE SEE DEMOLITION PLANS. COORDINATE WITH ELECTRICAL.

SITE PLAN NOTES

- A. FIRE LANE MARKING SHALL BE 6" WIDE RED BACKGROUND STRIPE WITH 4" WHITE LETTERS USING 3/4" STROKE STATING "NO PARKING FIRE LANE". PAINT EVERY 25' ON CENTER ALONG THE FIRE LANE. PLACE FIRE LANE MARKING ON THE VERTICAL SURFACE OF THE CURB WHEN PRESENT OR ON THE PARKING SURFACE WHEN NOT.
- B. FIRE LANE MARKING SHOWN IS REPRESENTATIONAL. FIRE LANE MARKING SHALL BE A MINIMUM OF 20' APART OR 26' APART WHEN ADJACENT TO BUILDINGS OVER 30' HIGH. FIRE LANE MARKING SHALL BE PAINTED ON A CURB FACE WHERE THE REPRESENTATIONAL MARKING IS SHOWN NEXT TO A CURB. COORDINATE FIRE LANE MARKINGS WITH CITY OF ROCKWALL FIRE MARSHAL PRIOR TO INSTALLATION.
- C. INSTALL FIRE APPARATUS ACCESS ROADS AND MAKE SERVICEABLE PRIOR TO THE START OF BUILDING FRAMING. D. STRIPING WIDTH = 4". STRIPE COLOR = WHITE, HANDICAP AND MEDIAN
- ISLAND STRIPES (YELLOW). PLACE DIAGONAL STRIPES (45°) AT 24" ON CENTER. E. CALL THE ONE CALL SYSTEM (811) PRIOR TO CONSTRUCTION.
- F. LOCATE AND PROTECT EXISTING UTILITIES AND STRUCTURES DURING CONSTRUCTION, AND REPAIR ANY DAMAGES TO EXISTING FEATURES AT CONTRACTOR'S EXPENSE.
- G. ALL CONSTRUCTION SHALL BE ACCORDANCE WITH THE LATEST CITY OF ROCKWALL DESIGN STANDARDS, REQUIREMENTS AND SPECIFICATIONS, UNLESS OTHERWISE NOTED ON THE PLANS.
- H. FOLLOW BEST MANAGEMENT PRACTICES (BMP'S) AND COMPLY WITH EPA & TCEQ STORM WATER POLLUTION PREVENTION PLAN (SWPPP) REQUIREMENTS.
- I. EARTHWORK AND BACKFILL WITHIN THE LIMITS OF EXISTING AND PROPOSED PAVEMENT SHALL BE COMPACTED IN MAXIMUM 8" LIFTS TO 95% MODIFIED PROCTOR (ASTM D-1557), WITHIN 2% OF OPTIMUM MOISTURE CONTENT, PRIOR TO PLACEMENT OF IMPROVEMENTS.
- J. DOWEL SIDEWALKS INTO PAVEMENT AT TIE-INS TO EXISTING SLABS, AND TO DRIVEWAY PAVEMENTS. INSTALL EXPANSION JOINT MATERIAL WHERE PAVEMENT ABUTS EXISTING STRUCTURES FOR ISOLATION PURPOSES.
- K. ALL DIMENSIONS ARE BACK OF CURB TO BACK OF CURB, FACE OF BUILDING, OR PROPERTY LINE, UNLESS OTHERWISE NOTED.
- L. CONTRACTOR IS TO SCHEDULE A PRE-PAVING MEETING WITH THE ENGINEER AT LEAST 7 DAYS PRIOR TO ANY PAVING.

LEGEND

| | PROPERTY LINE |
|-----|-----------------------|
| BSL | BUILDING SETBACK LINE |

FIRE LANE MARKING - SEE DETAIL A5/CS501 & NOTE THIS SHEET EXISTING EASEMENT

SIDEWALK - SEE DETAIL CS503

6" HEAVY DUTY CONCRETE PAVEMENT - SEE DETAIL A3/CS501 5" STANDARD DUTY CONCRETE PAVEMENT - SEE DETAIL A1/CS501



+ 2007 + 200.01 Flow Line

SIGNATURE BLOCK

APPROVED:

approved by the Planning & Zoning Commission of the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the _____day of ______, ____. WITNESS OUR HANDS, this __ day of _____, ____.

Planning & Zoning Comission, Chairman Director of Planing and Zoning



THIS DOCUMENT IS RELEASED ON 10/19/23 FOR THE PURPOSE OF INTERIM REVIEW UNDER THE AUTHORITY OF BENITO SANCHEZ, P.E., TEXAS LICENSE #87889. IT IS NOT TO BE USED FOR REGULATORY APPROVAL, CONSTRUCTION, BIDDING OR PERMIT PURPOSES. PARKHILL, SMITH & COOPER, INC. F-560

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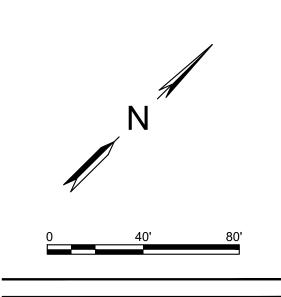


CLIENT **Rockwall County**

1111 E Yellowjacket Lane Rockwall, TX 75037

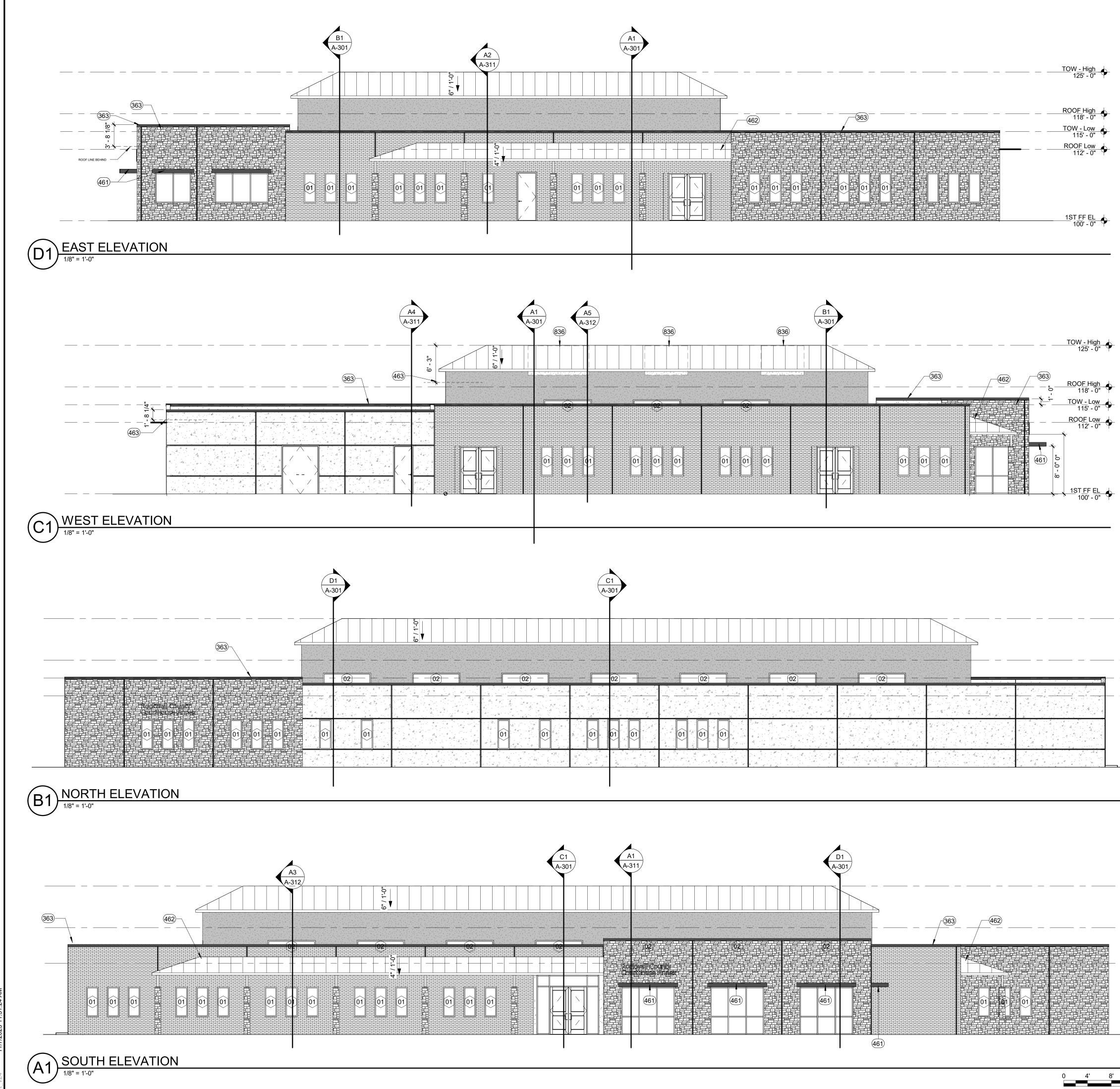
PROJECT NO. 11987.22

KEY PLAN



| 2 | 11/07/2023 | Site Plan Re-Submittal #1 |
|---|------------|---------------------------|
| 1 | 10/20/2023 | Site Plan Submittal |
| # | DATE | DESCRIPTION |

Site Plan **CS101B**



| 02 - | |
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| | |
| | |

GENERAL NOTES

ALL ROOF MOUNTED EQUIPMENT TO BE MOUNTED ON "ROOF HIGH" Α. LEVEL BEHIND STANDING SEAM ROOF PARAPET. ROOF PARAPET TO BE COMPLETELY ENCLOSED, AT UPPER/WOER ROOFS. INTERIOR FACE OF ROOF HIGH PARAEPT TO MATCH STUCCO ON EXTERIOR FACE.



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PARKHILL

10/20/2023

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KEY NOTES AS INDICATED BY: (#)---

- 363 PREFIN MTL COPING
- ALUMINUM CANOPY 461 462
- STANDING SEAM METAL CANOPY ROOF LINE BEHIND PARAPET/PARAPET HEIGHT 463
- 836 ROOFTOP MECH EQUIP. SCREENED BEHIND ROOF

<u>LEGEND</u>

ADHERED VENEER BRICK OVER CONCRETE TILT PANEL. - Acme Pacific Clay - Calico or comparable color

ADHERED VENEER STONE OVER CONCRETE TILT PANEL. - Natural Stone Veneers - Ashlar pattern - Heritage Manor or comparable color

CONCRETE TILT PANEL w/ELASTOMERIC COATING. - TremGard HB - Oyster Shell or comparable color

STUCCO - Dryvit - 522 Lite Gray or comparable color

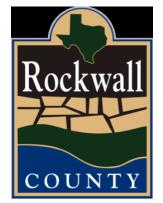
STANDING SEAM METAL ROOF - Awntech - Black k or comparable color

GLAZING

FACADE SURFACE AREA <u>TOW - High</u> 125' - 0" EAST: Concrete Tilt = 0 sf Thin Brick = 1,109 sf (43.4%) = 1,061 sf (41.5%) Thin Stone Stucco $= 385 \, \text{sf}$ (15.1%) ROOF High 118' - 0" = 2,555 sf (100%) Total WEST: = 620 sf (24.9%) Concrete Tilt ROOF Low 112' - 0" = 1,321 sf (53.2%) Thin Brick = 160 sf (6.4%) Thin Stone $= 385 \, \text{sf}$ (15.5%) Stucco Total = 2,486 sf (100%) NORTH: Concrete Tilt = 1,855 sf (58.6%) 1<u>ST FF EL</u> 100' - 0" Thin Brick = 0 sf = 594 sf (18.8%) Thin Stone = 720 sf (22.6%) Stucco = 3,169 sf (100%) Total SOUTH: Concrete Tilt = 0 sf = 1630 sf (46.5%) Thin Brick = 1155 sf (33%) Thin Stone $= 720 \, \text{sf}$ (20.5%) Stucco = 3,505sf (100%) Total _____TO<u>W - High</u>_____ 125' - 0"

ROOF High 118' - 0" - 10/20/2023 Site Plan ROOF Low 112' - 0" # DATE DESCRIPTION CASE NUMBER: SP-2023-034 SIGNATURE BLOCK Exterior 1ST FF EL 100' - 0" APPROVED: I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the _____ day of ______, ____. **Elevations** WITNESS OUR HANDS, this __ day of _____, ____. **A-201** Planning & Zoning Comission, Chairman Director of Planing and Zoning



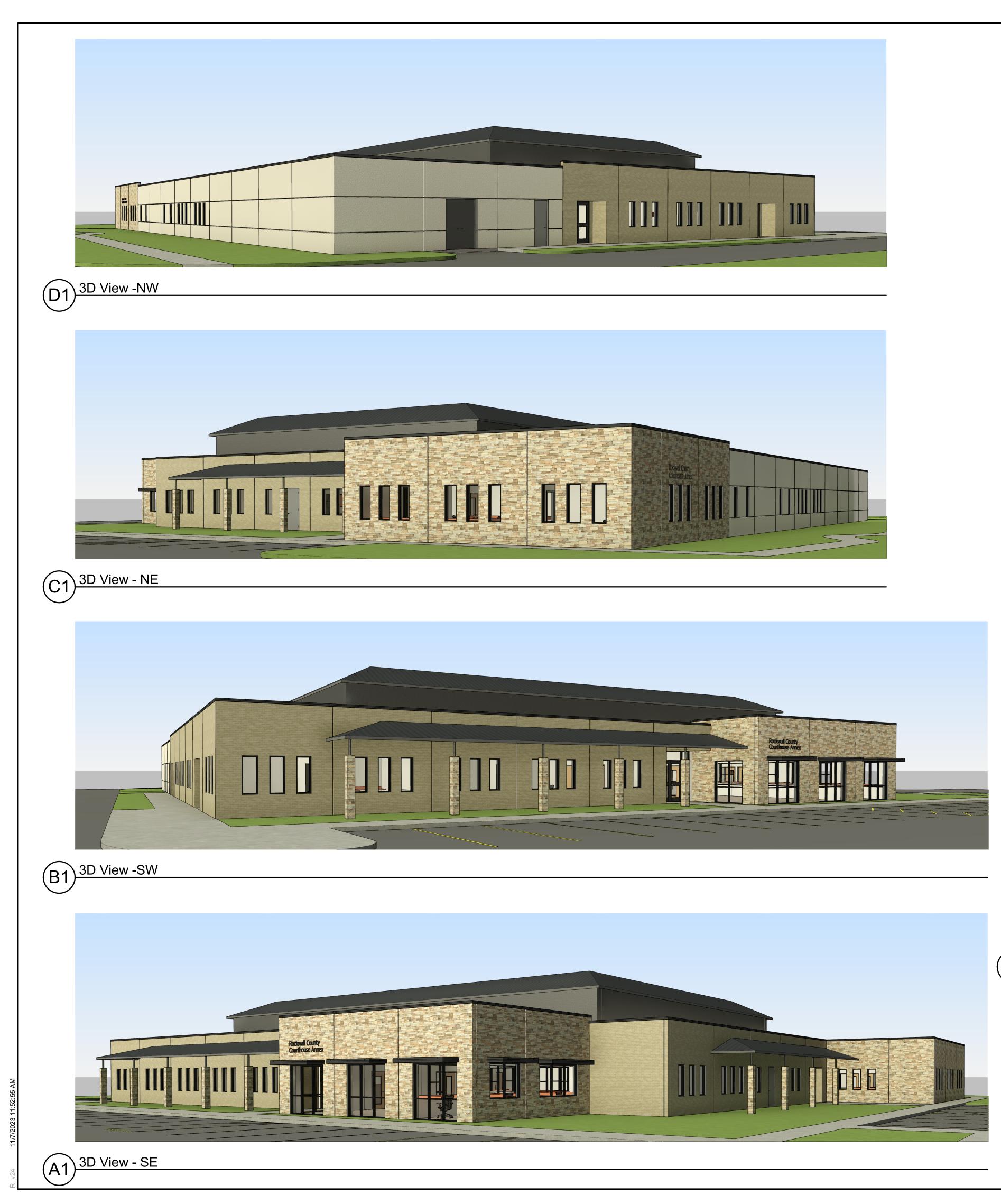


CLIENT Rockwall County

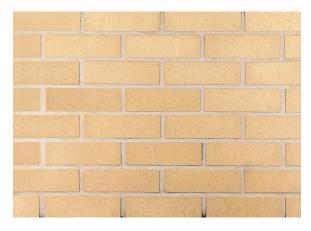
1111, E Yellow Jacket Ln Rockwall, TX 75037

ROCKWALL COUNTY ANNEX

PROJECT NO. 11987.22



ADHERED VENEER BRICK OVER CONCRETE TILT PANEL. - Acme Pacific Clay - Chino or comparable color



ADHERED VENEER STONE OVER CONCRETE TILT PANEL. - Natural Stone Veneers - Heritage Manor or comparable color



CONCRETE TILT PANEL w/ELASTOMERIC COATING. - TremGard HB - Oyster Shell or comparable color



MOST POPULAR COLORS

OYSTER SHELL

STUCCO

WHITE

- Tremco - Dark Bronze or comparable color

STANDING SEAM METAL ROOF Black or comparable color FLAT ROOF BEHIND PARAPET

TPO - Light Gray or comparable color



Parkhill

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PARKHILL

10/20/2023

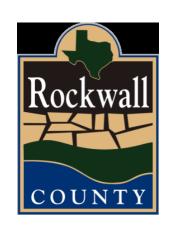
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Annex

County

Rockwall

ROOM SCHEDULE ROOM NUMBER ROOM NAME AREA Department AUDITOR 170 CIRCULATION 631 SF AUDITOR 172 DIRECTOR 199 SF AUDITOR 171 MANAGER 123 SF AUDITOR 173 SUPERVISOR 163 SF AUDITOR 174 SUPERVISOR 161 SF AUDITOR 170C WORKSTATION 64 SF AUDITOR 170A WORKSTATION 64 SF AUDITOR 170E 62 SF WORKSTATION AUDITOR 170D 62 SF WORKSTATION AUDITOR 170F WORKSTATION 62 SF AUDITOR 170B WORKSTATION 64 SF 1,655 SF CIRCULATION 101 CIRCULATION 2,501 SF CIRCULATION 140 CIRCULATION 549 SF 100 CIRCULATION ENTRY 161 SF 3,211 SF COMMON/SUPPORT 163 BREAK ROOM 485 SF COMMON/SUPPORT 91 SF 105 DATA COMMON/SUPPORT 141E ELEC 132 SF COMMON/SUPPORT ELECTRICAL 166 126 SF FIRE RISER COMMON/SUPPORT 141F 64 SF COMMON/SUPPORT 106 91 SF JAN COMMON/SUPPORT 161 MAIL 210 SF COMMON/SUPPORT 102 MEETING 167 SF COMMON/SUPPORT MEN'S RR 260 SF 103 COMMON/SUPPORT 121 RESTROOM 82 SF 144 STAFF RESTROOM 85 SF COMMON/SUPPORT 143 COMMON/SUPPORT STAFF RESTROOM 85 SF COMMON/SUPPORT 142 WELLNESS ROOM 104 SF COMMON/SUPPORT 104 WOMEN'S RR 266 SF 2,249 SF ELECTIONS 150 CIRCULATION 348 SF ELECTIONS DIRECTOR 154 196 SF ELECTIONS 151 ELECTIONS STORAGE 2,516 SF 153 ELECTIONS SUPERVISOR 145 SF ELECTIONS 152 SUPERVISOR 145 SF ELECTIONS 150C WORKSTATION 64 SF 64 SF ELECTIONS 150D WORKSTATION ELECTIONS 150E WORKSTATION 64 SF ELECTIONS 64 SF 150A WORKSTATION ELECTIONS 150B WORKSTATION 64 SF 3,670 SF ENVIRONMENTAL HEALTH 130 CIRCULATION 215 SF ENVIRONMENTAL HEALTH 133 DIRECTOR 201 SF ENVIRONMENTAL HEALTH 132 SUPERVISOR 144 SF ENVIRONMENTAL HEALTH 131 WORKSTATION 83 SF 643 SF CIRCULATION 133 SF GIS 135 GIS 137 DIRECTOR 193 SF GIS 136 SUPERVISOR 112 SF 438 SF INDIGENT HEALTH 122 CIRCULATION 231 SF INDIGENT HEALTH 123 DIRECTOR 147 SF 107 SF INDIGENT HEALTH 120 LOBBY INDIGENT HEALTH 122S STORAGE 88 SF 124 107 SF INDIGENT HEALTH WORKSTATION 681 SF



| CLIENT | |
|-----------------|--|
| Rockwall County | |
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1111, E Yellow Jacket Ln Rockwall, TX 75037

PROJECT NO. 11987.22

| ROC | CKWALL COU | NTY ANNEX |
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| | | |
| - | 10/20/2023 | Site Plan |
| # | DATE | DESCRIPTION |

CASE NUMBER:

SP-2023-034

3D Views **A-900**

SIGNATURE BLOCK

MULTI-PURPOSE

MULTI-PURPOSE

STORAGE

TAX OFFICE

Grand total: 64

VETERAN SERVICES

VETERAN SERVICES

160S

160

134

112

116

115

162

117

114

113

111

110

125

126

APPROVED: I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the __ day of _____, ____. WITNESS OUR HANDS, this __ day of _____.

CHAIR STORAGE

MULTI-PURPOSE

BACK OF HOUSE

STORAGE

DIRECTOR

MANAGER

RECEIVING

STORAGE

WAITING

SUPERVISOR

CIRCULATION

DIRECTOR

TRANSACTION DESKS

TRANSACTION DESKS

174 SF

2,020 SF

2,194 SF

999 SF 999 SF

204 SF

208 SF

127 SF

315 SF

674 SF

161 SF

488 SF

420 SF

1.148 SF

3,745 SF

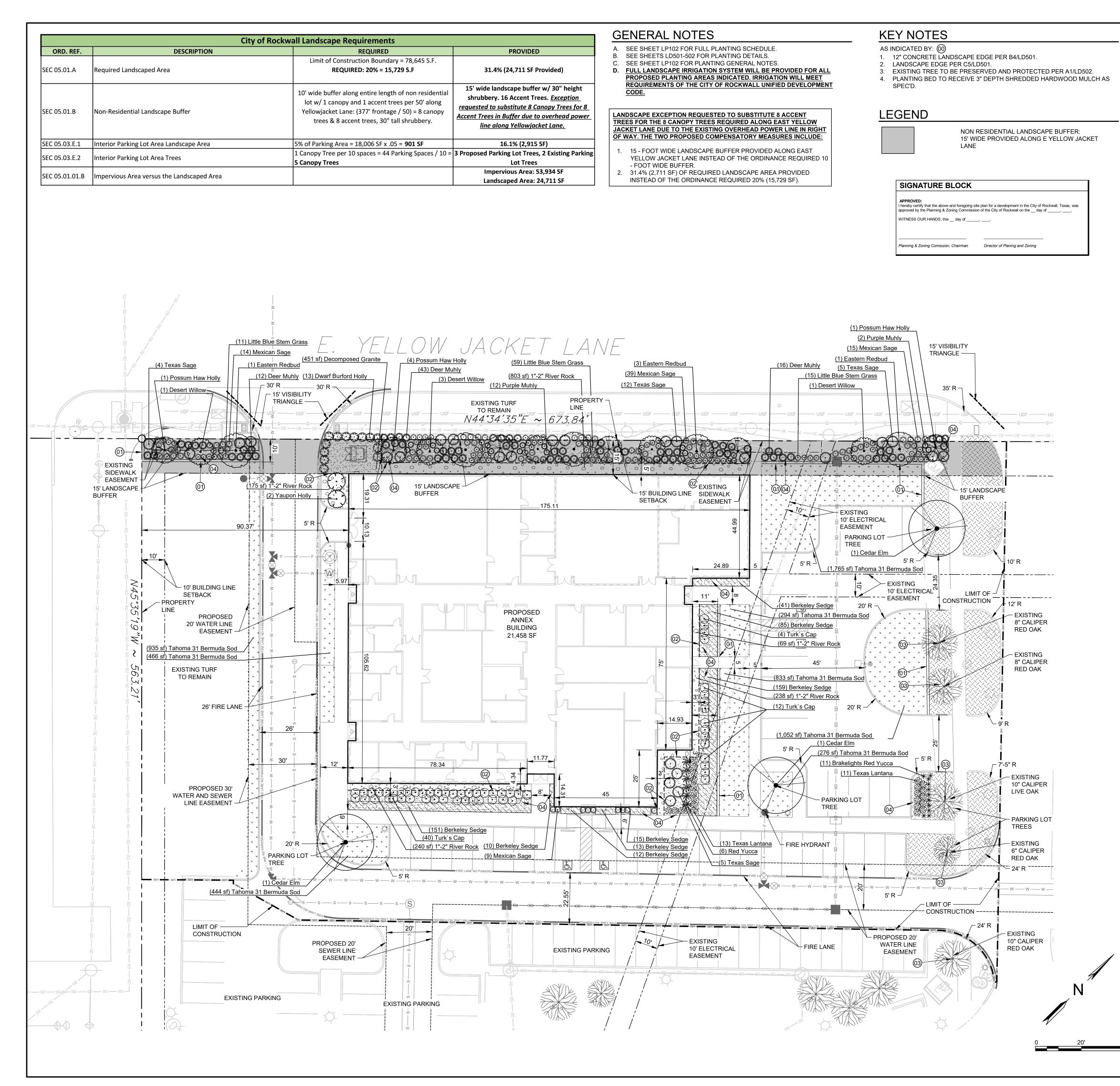
258 SF

204 SF

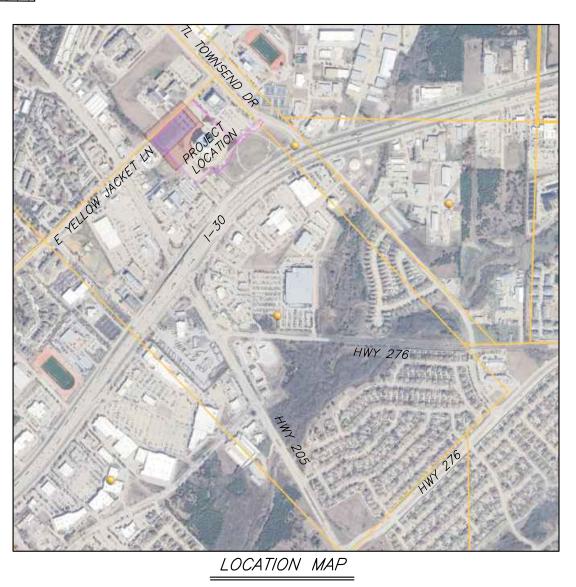
461 SF

19,946 SF

Planning & Zoning Comission, Chairman Director of Planing and Zoning



| ABBREVIATE | | NT SCHEDULE |
|--|------------|---|
| ACCENT TREES | <u>QTY</u> | COMMON / BOTANICAL NAME |
| | 5 | DESERT WILLOW CHILOPSIS LINEARIS |
| | 5 | EASTERN REDBUD CERCIS CANADENSIS |
| | 2 | YAUPON HOLLY ILEX VOMITORIA |
| | 6 | POSSUM HAW HOLLY ILEX DECIDUA |
| CANOPY TREES | <u>QTY</u> | COMMON / BOTANICAL NAME |
| | 3 | CEDAR ELM ULMUS CRASSIFOLIA |
| SHRUBS | <u>QTY</u> | COMMON / BOTANICAL NAME |
| × | 6 | RED YUCCA HESPERALOE PARVIFLORA |
| * | 11 | BRAKELIGHTS RED YUCCA HESPERALOE PARVIFLORA `BRAKELIGH |
| Contraction of the second seco | 13 | DWARF BURFORD HOLLY ILLEX CORNUTA 'BURFORDII NANA' |
| SUNUVURI MARINA MARINA | 26 | TEXAS SAGE LEUCOPHYLLUM LANGMANIAE `LYNN`S |
| WULLE MANNE | 77 | MEXICAN SAGE SALVIA LEUCANTHA |
| ORNAMENTAL GRASSES | <u>QTY</u> | COMMON / BOTANICAL NAME |
| | 71 | DEER MUHLY MUHLENBERGIA RIGENS |
| (| 14 | PURPLE MUHLY MUHLENBERGIA RIGIDA `NASHVILLE` TM |
| ↓ • } >~~ | 85 | LITTLE BLUE STEM GRASS SCHIZACHYRIUM SCOPARIUM |
| PERENNIALS | QTY | COMMON / BOTANICAL NAME |
| સંસ્ટ | 24 | TEXAS LANTANA LANTANA URTICOIDES |
| \bigcirc | 56 | TURK`S CAP MALVAVISCUS DRUMMONDII |
| ORNAMENTAL GRASS AREA | <u>QTY</u> | COMMON / BOTANICAL NAME |
| | 486 | BERKELEY SEDGE CAREX DIVULSA |
| GROUND COVERS | QTY | COMMON / BOTANICAL NAME |
| | 451 SF | DECOMPOSED GRANITE DECOMPOSED GRANITE |
| | 1,525 SF | 1"-2" RIVER ROCK 1"-2" RIVER ROCK |
| | 5,141 SF | SHREDDED HARDWOOD MULCH SHREDDED HARDWOOD MULCH |
| SOD/SEED | QTY | COMMON / BOTANICAL NAME |
| | 6,065 SF | TAHOMA 31 BERMUDA SOD CYNODON DACTYLON 'TAHOMA 31' |
| | 3,380 SF | EXISTING PLANTING BED EXISTING PLANTING BED |

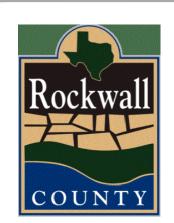




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Parkhill.com

Rockwall County Annex



CLIENT Rockwall County

1111 E Yellowjacket Lane Rockwall, TX 75037

PROJECT NO. 11987.22

KEY PLAN Lot 1, Block A, 12.79 Ac. Rockwall County Courthouse Addition Plat Cabinet "H" Slide 131 Case Number: SP2023-034 Proposed Land Use: Commercial

Designer Information: Name: Parkhill Address: 3000 Internet Blvd Suite 550, Frisco, Texas 75034 Phone Number: 972-987-1670

Owner Contact Information Name: Rockwall County Address: 101 East Rusk Street, Rockwall, Texas, 75087 Phone Number: 972-204-6000

| 2 | 11/07/2023 | Site Plan Re-Submittal #1 |
|---|------------|---------------------------|
| 1 | 10/20/2023 | Site Plan Submittal |
| # | DATE | DESCRIPTION |

Landscape Plan LP101

| PLANT SCHED | ULE | | | | |
|--|------------|-------------------------|---|----------------|-------------|
| ACCENT TREES | <u>QTY</u> | COMMON NAME | BOTANICAL NAME | CONTAINER SIZE | CALIPER |
| | 5 | DESERT WILLOW | CHILOPSIS LINEARIS | 25 GAL | 2"CAL |
| (·) | 5 | EASTERN REDBUD | CERCIS CANADENSIS | 25 GAL | 2"CAL |
| | 2 | YAUPON HOLLY | ILEX VOMITORIA | 15 GAL | N/A |
| | 6 | POSSUM HAW HOLLY | ILEX DECIDUA | 15 GAL | N/A |
| CANOPY TREES | QTY | COMMON NAME | BOTANICAL NAME | CONTAINER SIZE | CALIPER |
| | 3 | CEDAR ELM | ULMUS CRASSIFOLIA | B & B | 4"CAL |
| SHRUBS | <u>QTY</u> | COMMON NAME | BOTANICAL NAME | <u>CONT</u> | <u>SIZE</u> |
| × | 6 | RED YUCCA | HESPERALOE PARVIFLORA | 5 GAL | |
| * | 11 | BRAKELIGHTS RED YUCCA | HESPERALOE PARVIFLORA `BRAKELIGHTS` TM | 5 GAL | |
| erter en | 13 | DWARF BURFORD HOLLY | ILLEX CORNUTA 'BURFORDII NANA' | 7 GAL | 30" HT. |
| $\overline{\mathbf{O}}$ | 26 | TEXAS SAGE | LEUCOPHYLLUM LANGMANIAE `LYNN`S LEGACY` | 7 GAL | 30" HT. |
| State of the state | 77 | MEXICAN SAGE | SALVIA LEUCANTHA | 5 GAL | |
| ORNAMENTAL GRASSES | <u>QTY</u> | COMMON NAME | BOTANICAL NAME | CONT | <u>SIZE</u> |
| O | 71 | DEER MUHLY | MUHLENBERGIA RIGENS | 5 GAL | |
| $oldsymbol{eta}$ | 14 | PURPLE MUHLY | MUHLENBERGIA RIGIDA `NASHVILLE` TM | 5 GAL | |
| \diamond | 85 | LITTLE BLUE STEM GRASS | SCHIZACHYRIUM SCOPARIUM | 5 GAL | |
| PERENNIALS | <u>QTY</u> | COMMON NAME | BOTANICAL NAME | CONT | <u>SIZE</u> |
| | 24 | TEXAS LANTANA | LANTANA URTICOIDES | 1 GAL. | |
| \odot | 56 | TURK`S CAP | MALVAVISCUS DRUMMONDII | 1 GAL. | |
| ORNAMENTAL GRASS AREA | QTY | COMMON NAME | BOTANICAL NAME | CONT | |
| | 486 | BERKELEY SEDGE | CAREX DIVULSA | 1 GAL | |
| GROUND COVERS | <u>QTY</u> | COMMON NAME | BOTANICAL NAME | CONT | |
| | 451 SF | DECOMPOSED GRANITE | DECOMPOSED GRANITE | 3" DEPTH | |
| | 1,525 SF | 1"-2" RIVER ROCK | 1"-2" RIVER ROCK | 4" DEPTH | |
| | 5,141 SF | SHREDDED HARDWOOD MULCH | SHREDDED HARDWOOD MULCH | 3" DEPTH | |
| SOD/SEED | QTY | COMMON NAME | BOTANICAL NAME | CONT | |
| * * * * * * * * * * | 6,065 SF | TAHOMA 31 BERMUDA SOD | CYNODON DACTYLON 'TAHOMA 31' | SOLID SOD | |

PLANTING GENERAL NOTES

<u>SIZE</u>

6` - 8` HT

6` - 8` HT

6` HT.

6` HT.

SIZE

12`-14` HT.

A. ALL MATERIALS AND WORKMANSHIP SHALL CONFORM TO THE CITY OF ROCKWALL

STANDARDS. B. THE LANDSCAPE CONTRACTOR SHALL REFER TO THE CONTRACT AND

SPECIFICATIONS FOR REQUIREMENTS NOT LISTED HEREIN. C. THE CONTRACTOR SHALL LOCATE AND VERIFY THE EXISTENCE OF ALL UTILITIES PRIOR TO STARTING WORK.

D. THE CONTRACTOR SHALL SUPPLY ALL PLANT MATERIALS IN QUANTITIES

- SUFFICIENT TO COMPLETE THE PLANTING PLAN SHOWN ON ALL DRAWINGS. PLANT COUNTS AND SQUARE FOOTAGES ARE PROVIDED AS A COURTESY ONLY. E. ALL PLANT MATERIAL SHALL CONFORM TO THE GUIDELINES ESTABLISHED BY THE CURRENT AMERICAN STANDARD FOR NURSERY STOCK, PUBLISHED BY THE
- AMERICAN ASSOCIATION OF NURSERYMEN OR EQUIVALENT. F. IN THE CASE OF A DISCREPANCY BETWEEN THE CONTAINER SIZE CALLED OUT IN
- PLANT LIST AND THE CALIPER AND HEIGHT OF PLANT MATERIAL, THE SPECIFIED TREE MUST MEET THE CALIPER AND HEIGHT REQUIREMENTS SPECIFIED, EVEN IF THE LARGER CONTAINER SIZE IS REQUIRED TO MEET THESE SPECIFICATIONS AT NO ADDITIONAL COST TO THE OWNER.
- G. ALL PLANTS TO BE GROWN AS SPECIFIED. NO CONTAINER GROWN STOCK WILL BE ACCEPTED IF IT IS ROOT BOUND. H. WITH CONTAINER GROWN STOCK, THE CONTAINER SHALL BE REMOVED AND THE
- PLANT BALL SHALL BE CUT THROUGH THE SURFACE IN TWO VERTICAL LOCATIONS. I. LANDSCAPE CONTRACTOR SHALL LOCATE THE SOURCE OF AND SELECT ALL
- PLANTS FOR APPROVAL BY THE PROJECT LANDSCAPE ARCHITECT. J. ALL PLANT MATERIALS SHALL BE APPROVED PRIOR TO DELIVERY AT THE
- NURSERIES OR SUPPLIERS BY THE PROJECT LANDSCAPE ARCHITECT.
- K. IF ANY SOURCE OF PLANTS IS LOCATED FURTHER THAN 30 MILES FROM THE PROJECT SITE THE CONTRACTOR WILL BE REQUIRED TO PAY TIME AND TRAVEL EXPENSES INCURED BY THE PROJECT LANDSCAPE ARCHITECT.
- L. AT THE OPTION OF THE LANDSCAPE ARCHITECT , PHOTOS OF ALL PLANT MATERIAL SHOWING CONTAINER SIZE, HEIGHT AND CALIPER CAN BE SUBMITTED FOR APPROVAL.
- M. ALL PLANTS TAGGED AS APPROVED AT NURSERY OR SUPPLIER SHALL BEAR THE SAME TAG WHEN DELIVERED ON SITE.
- N. THE RIGHT TO REJECT PLANT MATERIALS DELIVERED TO THE SITE THAT DO NOT BEAR APPROVAL TAGS IS RESERVED BY THE PROJECT LANDSCAPE ARCHITECT. O. IN AREAS WHERE PAVING SUBGRADES AND BUILDING PADS EXTEND INTO PLANT BED AREAS, 6 INCH HOLES SHALL BE DRILLED EVERY 3 FEET AND FILLED WITH 1 INCH DIAMETER GRAVEL TO PROVIDE PERCOLATION AND DRAINAGE FOR THE PLANTING BED. HOLES SHALL BE DRILLED THROUGH IMPROVED SUBGRADES INTO
- EXISTING SITE SOILS BUT NO DEEPER THAN FOUR FEET. P. ALL PLANTING BEDS TO RECEIVE 2 INCHES OF BACK TO EARTH COMPOST PER SQUARE FOOT AND 1 POUND OF A 4(N):1(P):2(K) RATIO FERTILIZER PER 100 SQUARE
- FEET. BOTH MATERIALS SHALL BE INCORPORATED INTO THE SOIL TO A DEPTH OF 12 INCHES. Q. ALL FINAL PLANTING BED GRADES IN AREAS WHERE ORGANIC AND/OR INORGANIC
- MULCH IS BEING APPLIED SHOULD BE 3 OR 4 INCHES BELOW ADJACENT HARD SURFACES ACCORDING TO MULCH DEPTH INDICATED ON PLANS.
- R. NO PLANT SHALL BE PUT INTO THE GROUND BEFORE ROUGH GRADING IS COMPLETE AND APPROVED BY THE PROJECT LANDSCAPE ARCHITECT.
- S. ALL PLANTS SHALL BEAR THE SAME RELATIONSHIP TO FINISHED GRADE AS THE PLANT'S ORIGINAL GRADE BEFORE DIGGING OR AS ESTABLISHED IN CONTAINER.
- T. ALL PLANTS SHALL BE INSTALLED AS PER DETAILS. U. ALL PLANTS SHALL BE WATERED THOROUGHLY TWICE DURING THE FIRST 24 HOUR PERIOD AFTER PLANTING. ALL PLANTS SHALL THEN BE WATERED WEEKLY OR
- MORE OFTEN AS NEEDED DURING THE FIRST GROWING SEASON. V. ALL PLANTING BEDS SHALL RECEIVE ORGANIC AND/OR INORGANIC MULCH MATERIALS AS NOTED ON PLANS.
- W. THE DAY PRIOR TO PLANTING, THE LOCATION OF ALL TREES AND SHRUBS SHALL
- BE STAKED FOR APPROVAL BY THE LANDSCAPE ARCHITECT. X. THE CONTRACTOR SHALL PRUNE ALL BRANCHES 6 FEET ABOVE FINISH GRADE ON
- ALL DECIDUOUS TREES 12 FEET OR TALLER. Y. AREAS TO BE FILLED WITH INORGANIC MULCHES WITH A DIAMETER LESS THAN 1/4 INCH IN SIZE SHALL BE COMPACTED TO 85% PROCTOR DENSITY BEFORE MULCH IS PLACED.
- Z. THE SITE SHALL BE FINE GRADED PRIOR TO ANY PLANT INSTILLATION. ANY AREAS DISTURBED BY PLANTING SHALL BE REGRADED AND SMOOTHED PRIOR TO GRASS PLANTING.
- AA. SOD SHALL BE USED AROUND DRAIN INLETS (5' BUFFER) AND IN AREAS WHERE THE SLOPE EXCEEDS 20% (1:5) UNLESS THE AREA IS A PLANTING BED.

SIGNATURE BLOCK

APPROVED: I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the _____day of ______, ____. WITNESS OUR HANDS, this __ day of _____, ____.

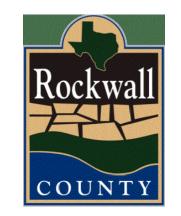
Planning & Zoning Comission, Chairman Director of Planing and Zoning



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Parkhill.com





CLIENT **Rockwall County**

1111 E Yellowjacket Lane Rockwall, TX 75037

PROJECT NO. 11987.22

KEY PLAN Lot 1, Block A, 12.79 Ac. Rockwall County Courthouse Addition Plat Cabinet "H" Slide 131 Case Number: SP2023-034 Proposed Land Use: Commercial

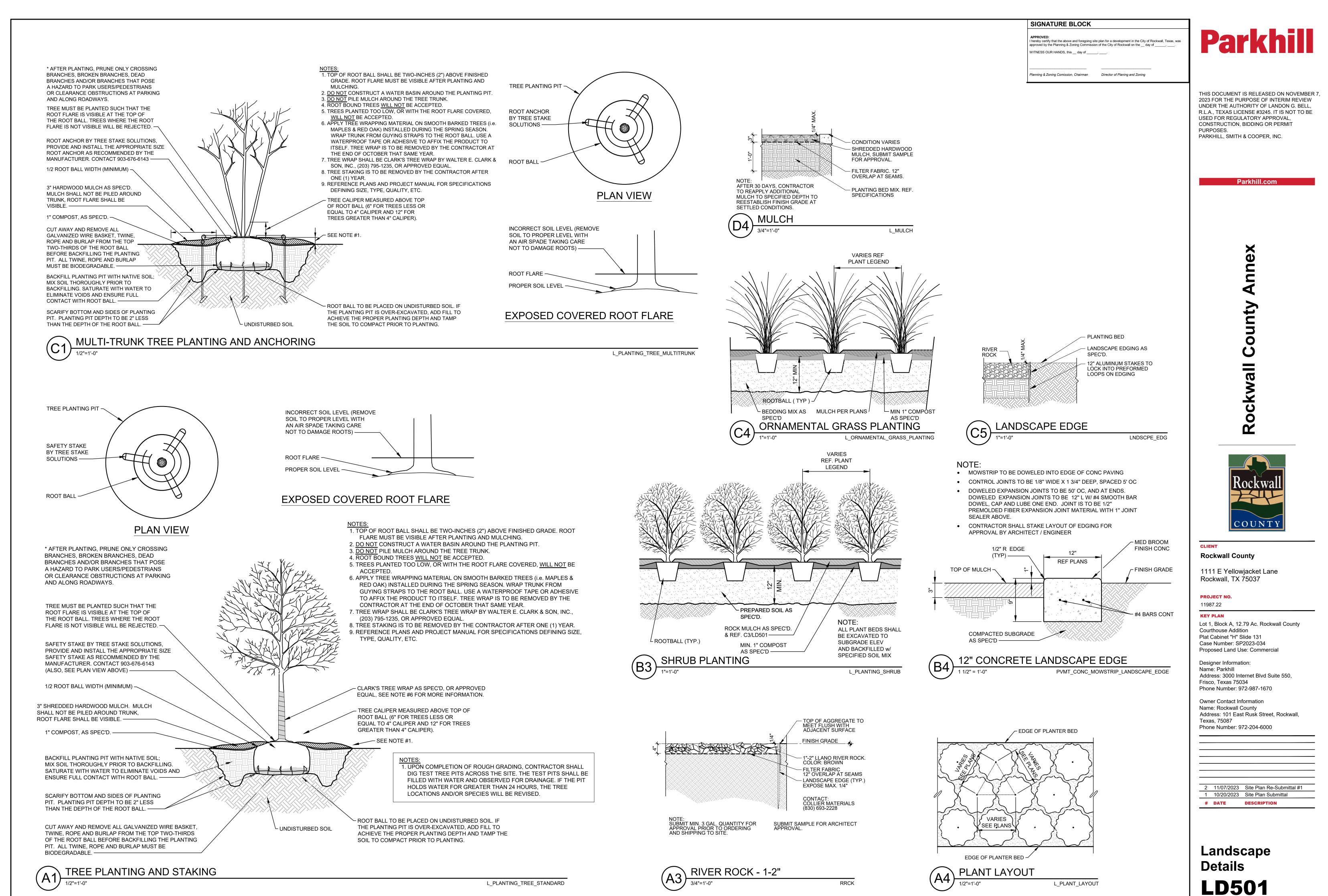
Designer Information: Name: Parkhill Address: 3000 Internet Blvd Suite 550, Frisco, Texas 75034 Phone Number: 972-987-1670

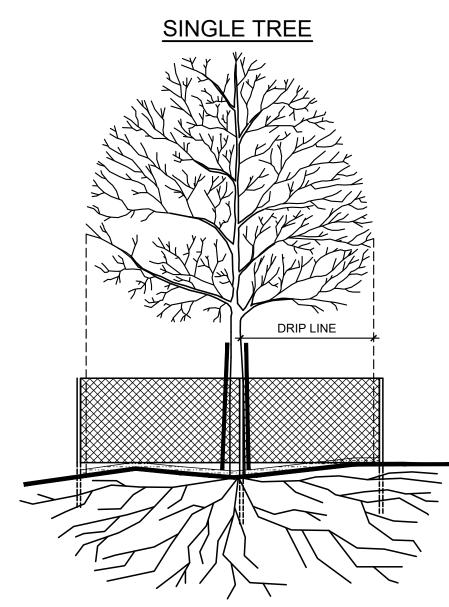
Owner Contact Information Name: Rockwall County Texas, 75087

Address: 101 East Rusk Street, Rockwall, Phone Number: 972-204-6000

| 2 | 11/07/2023 | Site Plan Re-Submittal #1 |
|---|------------|---------------------------|
| 1 | 10/20/2023 | Site Plan Submittal |
| # | DATE | DESCRIPTION |

Planting Notes & Schedule LP102





*CRITICAL ROOT ZONE:

THE AREA OF UNDISTURBED NATURAL SOIL AROUND A TREE DEFINED BY A CONCENTRIC CIRCLE WITH A RADIUS TO THE DISTANCE FROM THE TREE TRUNK TO THE OUTERMOST PORTION OF THE DRIP LINE.

DRIP LINE:

A VERTICAL LINE RUN THROUGH THE OUTERMOST PORTION OF THE CANOPY OF A TREE AND EXTENDING TO THE GROUND.

PROTECTIVE FENCING:

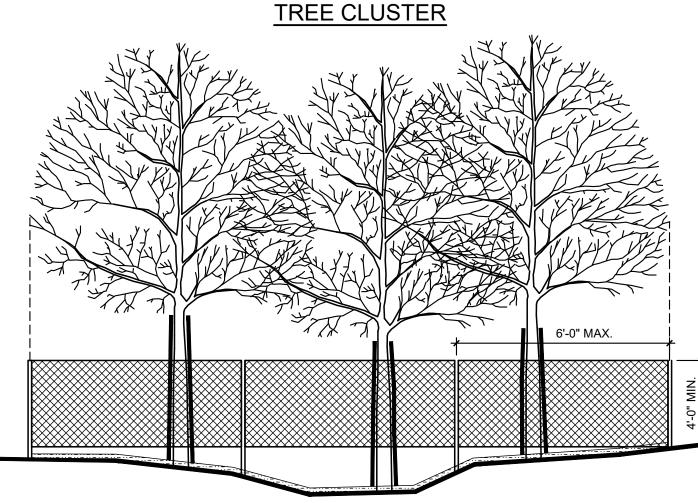
ORANGE VINYL CONSTRUCTION FENCING, CHAIN LINK FENCING, SNOW FENCING, OR OTHER SIMILAR FENCING AS SPECIFIED AT LEAST FOUR FEET (4') HIGH AND SUPPORTED AT A MAXIMUM OF SIX FOOT (6') INTERVALS BY APPROVED METHOD SUFFICIENT ENOUGH TO KEEP THE FENCE UPRIGHT AND IN PLACE. THIS FENCING SHALL BE OF A HIGHLY VISIBLE MATERIAL.

TREE PROTECTION NOTES

BORING:

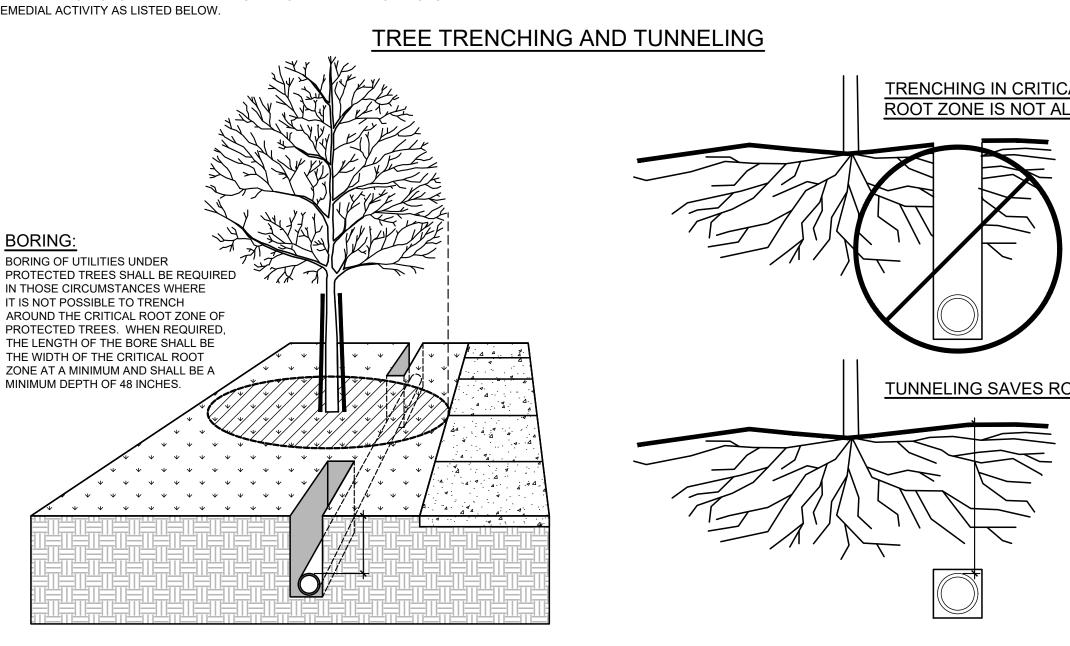
BORING OF UTILITIES UNDER

- A. THE CONTRACTOR SHALL PROTECT THE TREE AND PLANT PROTECTION ZONE AT ALL TIMES FROM COMPACTION OF THE SOIL: DAMAGE OF ANY KIND TO TRUNKS. BARK, BRANCHES, LEAVES AND ROOTS OF ALL PLANTS; AND CONTAMINATION OF THE SOIL, BARK OR LEAVES WITH CONSTRUCTION MATERIALS, DEBRIS, SILT, FUELS, OILS, AND ANY CHEMICALS SUBSTANCE, NOTIFY THE OWNER'S REPRESENTATIVE OF ANY SPILLS, COMPACTION OR DAMAGE AND TAKE CORRECTIVE ACTION IMMEDIATELY USING METHODS APPROVED BY THE OWNER'S REPRESENTATIVE.
- B. THE CONTRACTOR SHALL NOT ENGAGE IN ANY CONSTRUCTION ACTIVITY WITHIN THE TREE AND D. TRUNK PROTECTION ONLY WHERE FENCE IS NOT CONSTRUCTIBLE: PROTECT THE TRUNK OF EACH PLANT PROTECTION ZONE WITHOUT THE APPROVAL OF THE OWNER'S REPRESENTATIVE INCLUDING: OPERATING, MOVING OR STORING EQUIPMENT; STORING SUPPLIES OR MATERIALS; LOCATING TEMPORARY FACILITIES INCLUDING TRAILERS OR PORTABLE TOILETS AND SHALL NOT PERMIT EMPLOYEES TO TRAVERSE THE AREA TO ACCESS ADJACENT AREAS OF THE PROJECT OR USE THE AREA FOR LUNCH OR ANY OTHER WORK BREAKS. PERMITTED ACTIVITY, IF ANY, WITHIN THE TREE AND PLANT PROTECTION AREA MAYBE INDICATED ON THE DRAWINGS ALONG WITH ANY REQUIRED REMEDIAL ACTIVITY AS LISTED BELOW.



*THE FOLLOWING ACTIVITIES ARE PROHIBITED WITHIN THE LIMITS OF THE CRITICAL ROOT ZONE OF ANY TREES TO REMAIN.

- 1. MATERIAL STORAGE: NO STORAGE OR PLACEMENT OF MATERIALS INTENDED FOR USE IN CONSTRUCTION OR WASTE MATERIALS ACCUMULATED DUE TO EXCAVATION OR DEMOLITION SHALL BE PLACED WITHIN THE LIMITS OF THE CRITICAL ROOT ZONE OF ANY PROTECTED TREE. EQUIPMENT CLEANING/LIQUID DISPOSAL: NO EQUIPMENT SHALL BE CLEANED OR OTHER LIQUIDS, INCLUDING, WITHOUT LIMITATION, PAINT, OIL, SOLVENTS, ASPHALT, CONCRETE, MORTAR OR SIMILAR MATERIALS DEPOSITED OR ALLOWED TO FLOW INTO THE CRITICAL ROOT ZONE OF A PROTECTED TREE. 2. TREE ATTACHMENTS: NO SIGNS, WIRES OR OTHER ATTACHMENTS, OTHER THAN THOSE OF A PROTECTIVE NATURE, SHALL
- BE ATTACHED TO ANY PROTECTED TREE. 3. VEHICULAR TRAFFIC: NO VEHICULAR AND/OR CONSTRUCTION EQUIPMENT TRAFFIC OR PARKING SHALL TAKE PLACE
- WITHIN THE CRITICAL ROOT ZONE OF ANY PROTECTED TREE OTHER THAN ON EXISTING STREET PAVEMENT. THIS RESTRICTION DOES NOT APPLY TO SINGLE INCIDENT ACCESS WITHIN THE CRITICAL ROOT ZONE FOR PURPOSES OF ESTABLISHING THE BUILDING PAD AND ASSOCIATED LOT GRADING, VEHICULAR TRAFFIC NECESSARY FOR ROUTINE UTILITY MAINTENANCE, EMERGENCY RESTORATION OF UTILITY SERVICE, OR ROUTINE MOWING OPERATIONS. 4. GRADE CHANGES: PAVING WITHIN THE DRIP LINE SHALL BE APPROVED PRIOR TO CONSTRUCTION BY THE OWNER'S
- REPRESENTATIVE. 5. IMPERVIOUS PAVING: NO PAVING WITH ASPHALT, CONCRETE OR OTHER IMPERVIOUS MATERIAL SHALL BE PLACED WITHIN THE LIMITS OF THE CRITICAL ROOT ZONE.
- 6. ROOT PRUNING: ALL ROOTS ONE INCHES OR LARGER IN DIAMETER WHICH ARE EXPOSED AS A RESULT OF TRENCHING OR OTHER EXCAVATION SHALL BE CUT OFF SQUARE WITH A SHARP MEDIUM TOOTH SAW AND COVERED WITH PRUNING COMPOUND WITHIN TWO HOURS OF INITIAL EXPOSURE.
 - C. TREE BRANCHES THAT INTERFERE WITH THE CONSTRUCTION MAY BE TIED BACK OR PRUNED TO CLEAR ONLY TO THE POINT NECESSARY TO COMPLETE THE WORK. OTHER BRANCHES SHALL ONLY BE REMOVED WHEN SPECIFICALLY INDICATED BY THE OWNER'S REPRESENTATIVE. TYING BACK OR TRIMMING OF ALL BRANCHES AND THE CUTTING OF ROOTS SHALL BE IN ACCORDANCE WITH ACCEPTED ARBORICULTURAL PRACTICES (ANSI A300, PART 8) AND BE PERFORMED UNDER SUPERVISION OF AN ARBORIST.
 - TREE TO REMAIN BY COVERING IT WITH A RING OF 8 FOOT LONG 2 INCH X 6 INCH PLANKS LOOSELY BANDED ONTO THE TREE WITH 3 STEEL BANDS. STAPLE THE BANDS TO THE PLANKS AS NECESSARY TO HOLD THEM SECURELY IN PLACE THROUGHOUT THE CONSTRUCTION PERIOD. REMOVE TRUNK PROTECTION UPON SUBSTANTIAL COMPLETION.



TREE TRENCHING AND TUNNELING NOTES

TYPICAL TREE PROTECTION

A. IN THE EVENT THAT CONSTRUCTION ACTIVITY IS UNAVOIDABLE WITHIN THE TREE AND PLANT PROTECTION AREA, NOTIFY THE OWNER'S REPRESENTATIVE AND SUBMIT A DETAILED WRITTEN PLAN OF ACTION FOR APPROVAL. THE PLAN SHALL INCLUDE: A STATEMENT DETAILING THE REASON FOR THE ACTIVITY INCLUDING WHY OTHER AREAS ARE NOT SUITED; A DESCRIPTION OF THE PROPOSED ACTIVITY; THE TIME PERIOD FOR THE ACTIVITY, AND A LIST OF REMEDIAL ACTIONS THAT WILL REDUCE THE IMPACT ON THE TREE AND PLANT PROTECTION AREA FROM THE ACTIVITY. REMEDIAL ACTIONS SHALL INCLUDE BUT SHALL NOT BE LIMITED TO THE FOLLOWING: IN GENERAL, DEMOLITION AND EXCAVATION WITHIN THE DRIP LINE OF TREES AND SHRUBS SHALL PROCEED WITH EXTREME CARE EITHER BY THE USE OF HAND TOOLS, DIRECTIONAL BORING AND OR AIR KNIFE EXCAVATION WHERE INDICATED OR WITH OTHER LOW IMPACT EQUIPMENT THAT WILL NOT CAUSE DAMAGE TO THE TREE, ROOTS OR SOIL.

B. WHEN ENCOUNTERED, EXPOSED ROOTS, 1 INCHES AND LARGER IN DIAMETER SHALL BE WORKED AROUND IN A MANNER THAT DOES NOT BREAK THE OUTER LAYER OF THE ROOT SURFACE (BARK). THESE ROOTS SHALL BE COVERED IN WOOD CHIPS AND SHALL BE MAINTAINED ABOVE PERMANENT WILT POINT AT ALL TIMES. ROOTS ONE INCH AND LARGER IN DIAMETER SHALL NOT BE CUT WITH OUT THE APPROVAL OF THE OWNERS REPRESENTATIVE. EXCAVATION SHALL BE TUNNELED UNDER THESE ROOTS WITHOUT CUTTING THEM. IN THE AREAS WHERE ROOTS ARE ENCOUNTERED, WORK SHALL BE PERFORMED AND SCHEDULED TO CLOSE EXCAVATIONS AS QUICKLY AS POSSIBLE OVER EXPOSED ROOTS.

A1

1/2" - 1'-0"

FRENCHING IN CRITICAL ROOT ZONE IS NOT ALLOWED

TUNNELING SAVES ROOTS

PLANT DET 6_REV

SIGNATURE BLOCK

I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, wa approved by the Planning & Zoning Commission of the City of Rockwall on the ____day of _____, ___ WITNESS OUR HANDS, this __ day of _____, ____.

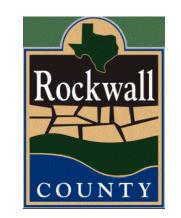
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Parkhill.com





CLIENT **Rockwall County**

1111 E Yellowjacket Lane Rockwall, TX 75037

PROJECT NO. 11987.22

KEY PLAN

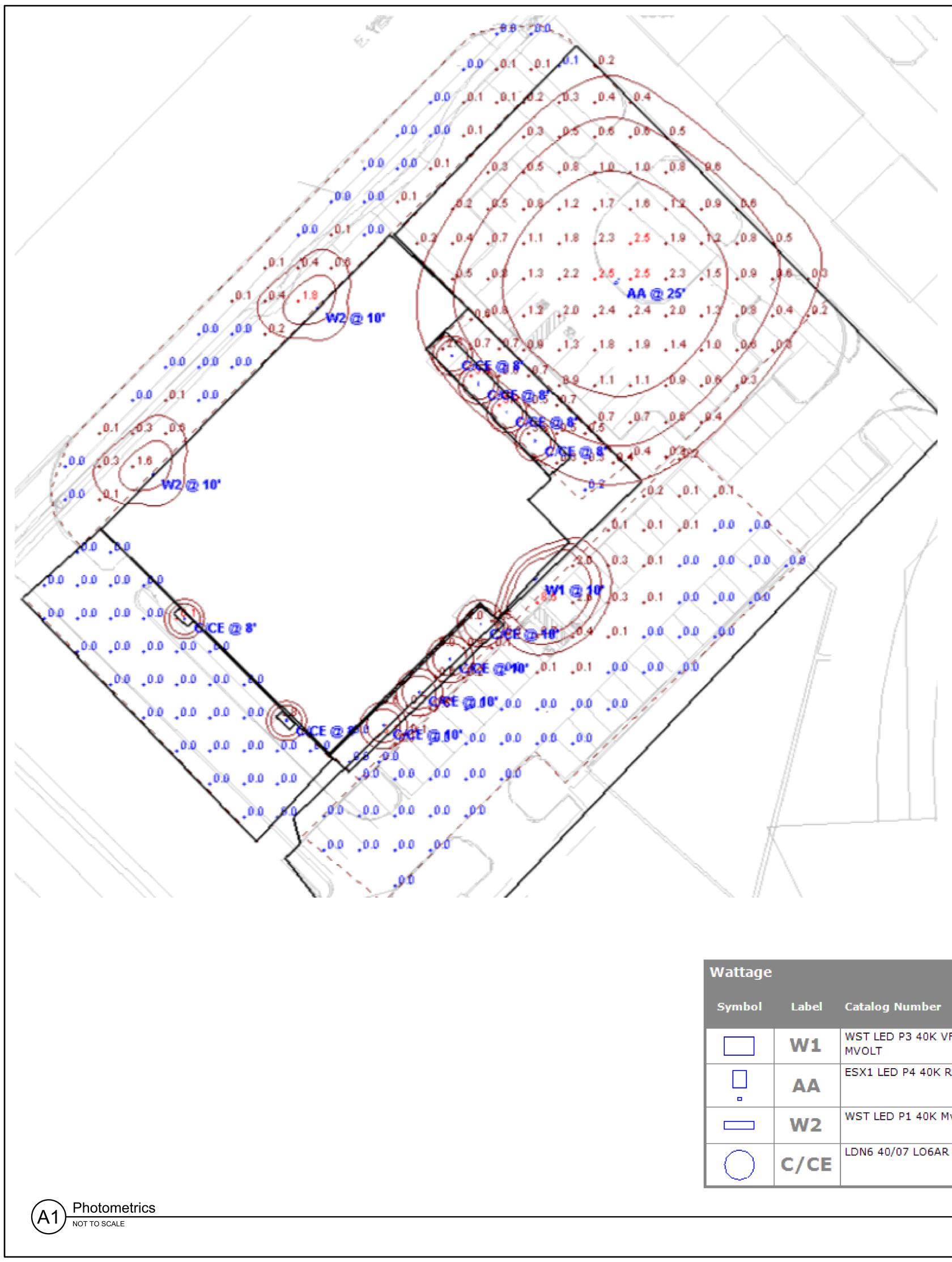
Lot 1, Block A, 12.79 Ac. Rockwall County Courthouse Addition Plat Cabinet "H" Slide 131 Case Number: SP2023-034 Proposed Land Use: Commercial

Designer Information: Name: Parkhill Address: 3000 Internet Blvd Suite 550, Frisco, Texas 75034 Phone Number: 972-987-1670

Owner Contact Information Name: Rockwall County Address: 101 East Rusk Street, Rockwall, Texas, 75087 Phone Number: 972-204-6000

| # | DATE | DESCRIPTION |
|---|------------|---------------------------|
| 1 | 10/20/2023 | Site Plan Submittal |
| 2 | 11/07/2023 | Site Plan Re-Submittal #1 |
| | | |

Landscape Details LD502



A:\2022\11987.22\03_DSGN\01_DWG\150_ELEC\E-100-11987.DWG, 10/19/2023 2:03 PM, jpi

Statistics

| Statistics | | | | | |
|--------------------------------|--------|--------|--------|---------|---------|
| Description | Avg | Max | Min | Max/Min | Avg/Min |
| Existing Parking Lot | 0.3 fc | 8.5 fc | 0.0 fc | N/A | N/A |
| New Parking Lot | 1.0 fc | 2.5 fc | 0.1 fc | 25.0:1 | 10.0:1 |
| Existing Parking Lot Canopy | 0.7 fc | 3.1 fc | 0.0 fc | N/A | N/A |
| FIRELANE ROAD | 0.3 fc | 6.1 fc | 0.0 fc | N/A | N/A |
| Front Canopy | 1.2 fc | 3.9 fc | 0.2 fc | 19.5:1 | 6.0:1 |
| Yellow Jacket Lane Sidewalk | 0.2 fc | 1.8 fc | 0.0 fc | N/A | N/A |

| Wattage | | | | | | | |
|------------|-------|----------------------------|--|--------------------|----------------------|-------------------|---------|
| Symbol | Label | Catalog Number | Description | Lumens Per Lamp | Light Loss Factor | Manufacturer | Wattage |
| | W1 | WST LED P3 40K VF MVOLT | WST LED, Performance package 3, 4000 K, visual comfort forward throw, MVOLT | 6609 | 0.8 | Lithonia Lighting | 50 |
| | AA | ESX1 LED P4 40K R5 | ESX LED Area Luminaire Size 1 P4 Lumen Package 4000K CCT Type R5 Distribution | 26273 | 0.8 | Lithonia Lighting | 189.98 |
| | W2 | WST LED P1 40K Mvolt | WPX1 LED wallpack 1500lm 4000K color temperature 120-277 Volts | 1568 | 0.8 | Lithonia Lighting | 11.47 |
| \bigcirc | C/CE | LDN6 40/07 LO6AR LD | 6IN LDN, 4000K, 750LM, CLEAR, MATTE DIFFUSE REFLECTOR, CRI80 | 679 | 0.8 | Lithonia Lighting | 8.91 |

GENERAL NOTES

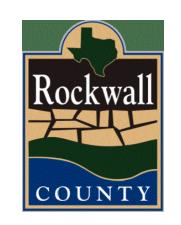
A. REFER TO CIVIL SITE PLAN FOR INFORMATION REQUIRED FOR SECTION 2.1 (PROVIDE SITE DATA TABLE)





Parkhill.com

Rockwall County Anne



сцелт Rockwall County

1111 E Yellowjacket Lane Rockwall, TX 75037

PROJECT NO. 11987.22

KEY PLAN

Lot 1, Block A, 12.79 Ac. Rockwall County Courthouse Addition Plat Cabinet "H" Slide 131 Case Number: N/A Proposed Land Use: Commercial

Designer Information: Name: Parkhill Address: 3000 Internet Blvd Suite 550, Frisco, Texas 75034 Phone Number: 972-987-1670

Owner Contact Information Name: Rockwall County Address: 101 East Rusk Street, Rockwall, Texas, 75087 Phone Number: 972-204-6000

1 10/20/2023 Site Plan Submittal

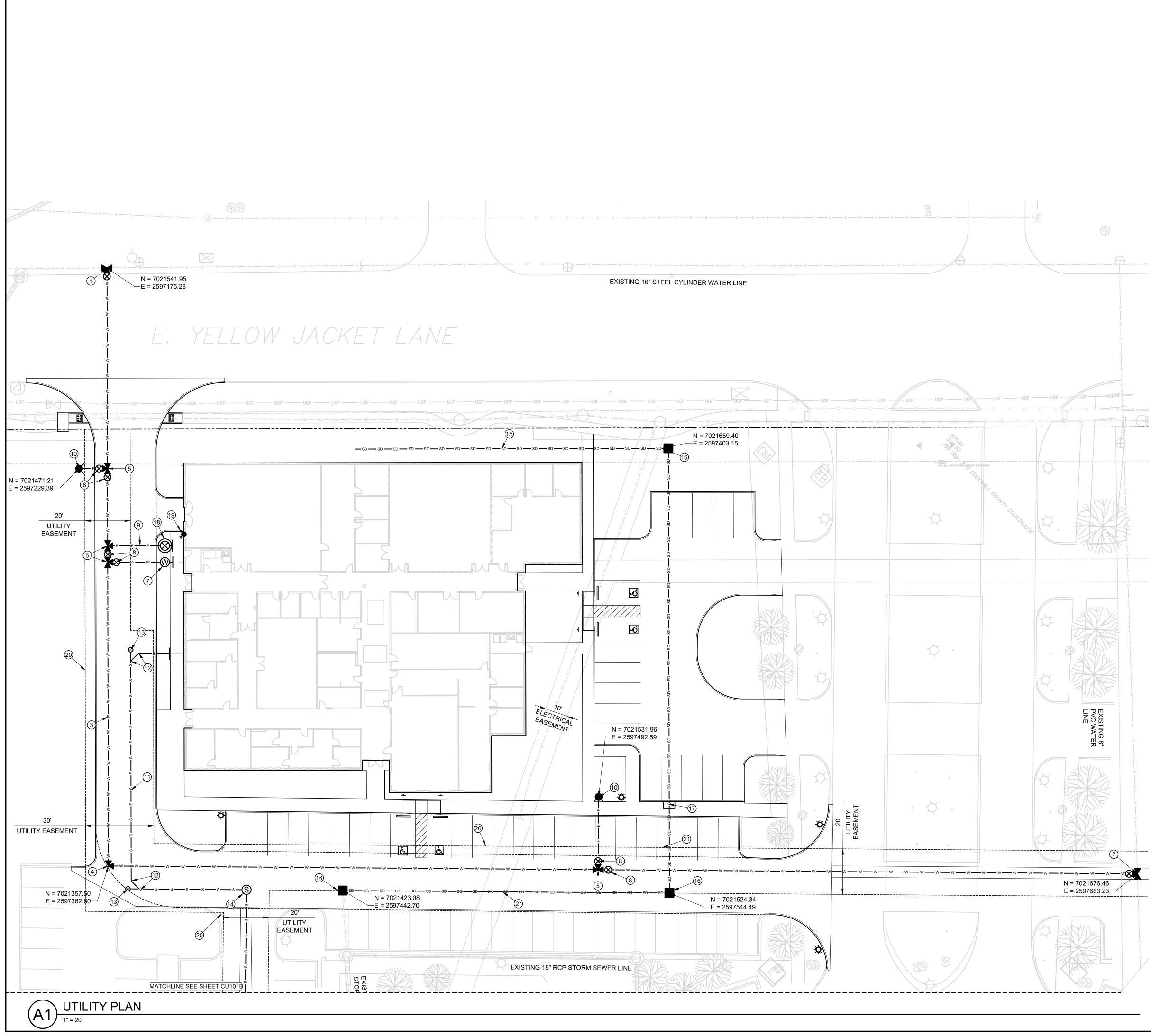
DATE

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DESCRIPTION

Electrical Photometrics **E-101**



KEY NOTES

- AS INDICATED BY: (00)
- 1. 16"x6" TAPPING SLEEVE AND VALVE 2. 8" X 6" TAPPING SLEEVE AND VALVE
- 3. 6" C-900 PVC WATER LINE
- 4. 6"x6" 90° BEND 5. 6"x6" TEE
- 6. 6" X 2 ¹/₂ " TEE
- 7. WATER METER
- 8. 6" GATE VALVE 9. 6" C-900 DR-14 PVC FIRE PROTECTION LINE
- 10. FIRE HYDRANT
- 11. 6" SDR-26 SANITARY SEWER LINE
- 12. 6" 45° BEND 13. CLEANOUT
- 14. 5' SANITARY SEWER MANHOLE
- 15. 12" HDPE STORM 16. X"XX" JUNCTION BOX
- 17. 5' CURB INLET
- 18. POST INDICATOR VALVE SEE DETAIL XX/CU50X
- 19. WALL MOUNTED FIRE DEPARTMENT CONNECTION 20. 24" RCP STORM

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UTILITY NOTES

- A. THE EXISTING UTILITIES, ABOVE GROUND AND UNDER GROUND, INDICATED ON THESE PLANS HAVE BEEN LOCATED FROM REFERENCE INFORMATION SUPPLIED BY OTHERS. VERIFY, BOTH HORIZONTALLY AND VERTICALLY, THE LOCATIONS OF ALL EXISTING UTILITIES, APPURTENANCES, OR OTHER FEATURES, PRIOR TO CONSTRUCTION. TAKE ALL NECESSARY PRECAUTIONS TO PROTECT ALL EXISTING UTILITIES, APPURTENANCES, AND ANY OTHER FEATURES ENCOUNTERED, AND NOTIFY THE ENGINEER PROMPTLY OF ANY CONFLICTS WITH THE WORK.
- B. REPAIR DAMAGE TO UTILITIES CAUSED BY CONTRACTOR, AT CONTRACTOR'S EXPENSE.
- C. PRIVATE FIRE HYDRANTS MUST BE COATED RED BY THE MANUFACTURER. PRESSURE INDICATOR RINGS ARE TO BE INSTALLED. THE DEVELOPER OR CONTRACTOR IS REQUIRED TO PAY FOR THE FLOW TEST TO DETERMINE THE PRESSURE.
- D. WATER LINE IS TO BE PVC C-900 DR-14 AFTER THE GATE VALVE HEADING TO THE FIRE HYDRANT OR FDC.
- E. COORDINATE FIRE LINE INSPECTIONS WITH THE FIRE MARSHAL'S OFFICE XXX-XXX-XXXX. FIELD VERIFY ALL DIMENSIONS AND GRADES TO CONFIRM POSITIVE
- FLOW OF ALL NEW AND EXISTING SANITARY SEWER LINES PRIOR TO CONSTRUCTION. NOTIFY THE ENGINEER OF ANY DISCREPANCIES WITH EXISTING OR NEW CONDITIONS. G. ALL WORK WITHIN THE PUBLIC RIGHT OF WAY SHALL CONFORM TO
- CITY OF ROCKALL STANDARDS AND ALL APPLICABLE CODES. H. DRY UTILITY ONE LINES SHOWN IN RESPECTIVE DISCIPLINE

LEGEND

DRAWINGS.

---- PROPERTY LINE -s-s- EXISTING SANITARY SEWER LINE WITH MANHOLE -w-w EXISTING WATER LINE WITH VALVE **EXISTING FIRE HYDRANT** -sd-sd- EXISTING STORM SEWER LINE

- -sd-sd- NEW STORM SEWER LINE
- G-G- NEW GAS LINE WITH METER
- -T-T- NEW TELECOMMUNICATIONS LINE
- -E-E-E- NEW ELECTRIC LINE
- -F-F-F- NEW PVC C900 DR-14 FIRE PROTECTION WATER LINE
- NEW FIRE HYDRANT
- ----- NEW UTILITY EASEMENT



APPROVED: I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the _____day of ______. WITNESS OUR HANDS, this __ day of _____, ____.

Planning & Zoning Comission, Chairman Director of Planing and Zoning

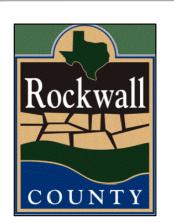
Parkhill

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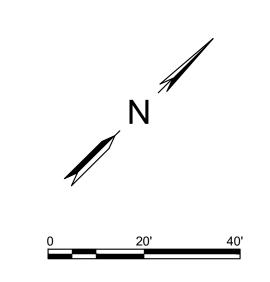
CLIENT **Rockwall County**

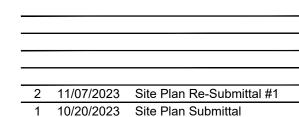
1111 E Yellowjacket Lane Rockwall, TX 75037

PROJECT NO. 11987.22



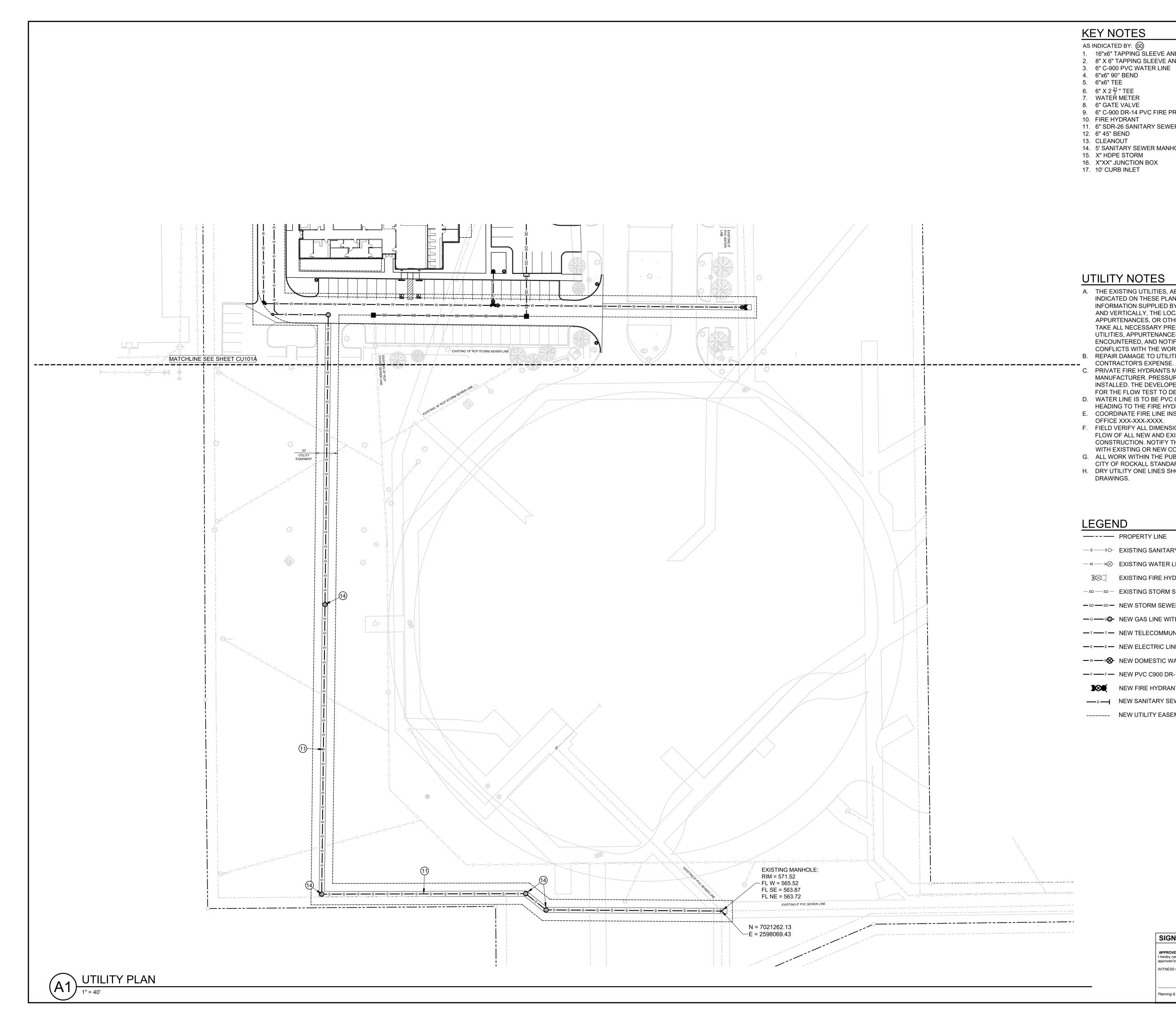
DATE





DESCRIPTION

Utility Plan CU101A



KEY NOTES

- AS INDICATED BY: (00)
- 1. 16"x6" TAPPING SLEEVE AND VALVE 2. 8" X 6" TAPPING SLEEVE AND VALVE
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- 14. 5' SANITARY SEWER MANHOLE
- 15. X" HDPE STORM 16. X"XX" JUNCTION BOX
- 17. 10' CURB INLET

UTILITY NOTES

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- C. PRIVATE FIRE HYDRANTS MUST BE COATED RED BY THE MANUFACTURER. PRESSURE INDICATOR RINGS ARE TO BE INSTALLED. THE DEVELOPER OR CONTRACTOR IS REQUIRED TO PAY FOR THE FLOW TEST TO DETERMINE THE PRESSURE.
- D. WATER LINE IS TO BE PVC C-900 DR-14 AFTER THE GATE VALVE HEADING TO THE FIRE HYDRANT OR FDC. E. COORDINATE FIRE LINE INSPECTIONS WITH THE FIRE MARSHAL'S
- OFFICE XXX-XXX-XXXX. F. FIELD VERIFY ALL DIMENSIONS AND GRADES TO CONFIRM POSITIVE FLOW OF ALL NEW AND EXISTING SANITARY SEWER LINES PRIOR TO CONSTRUCTION. NOTIFY THE ENGINEER OF ANY DISCREPANCIES WITH EXISTING OR NEW CONDITIONS.
- G. ALL WORK WITHIN THE PUBLIC RIGHT OF WAY SHALL CONFORM TO CITY OF ROCKALL STANDARDS AND ALL APPLICABLE CODES.
- H. DRY UTILITY ONE LINES SHOWN IN RESPECTIVE DISCIPLINE DRAWINGS.

LEGEND

| | PROPERTY LINE |
|--------------------|---|
| ssO- | EXISTING SANITARY SEWER LINE WITH MANHOLE |
| — w — w⊗- | EXISTING WATER LINE WITH VALVE |
| ¥8Ú | EXISTING FIRE HYDRANT |
| — SD — SD — | EXISTING STORM SEWER LINE |
| — SD — SD — | NEW STORM SEWER LINE |
| — G — G G - | NEW GAS LINE WITH METER |
| — T — T — | NEW TELECOMMUNICATIONS LINE |
| — E — E — | NEW ELECTRIC LINE |
| -w-w | NEW DOMESTIC WATER LINE WITH VALVE |
| — F — F — | NEW PVC C900 DR-14 FIRE PROTECTION WATER LINE |
| XXX | NEW FIRE HYDRANT |
| s | NEW SANITARY SEWER SERVICE LINE |
| | NEW UTILITY EASEMENT |

| SIGNATURE BLOCK |
|-----------------|
|-----------------|

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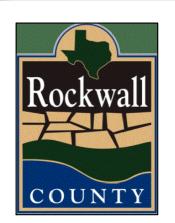
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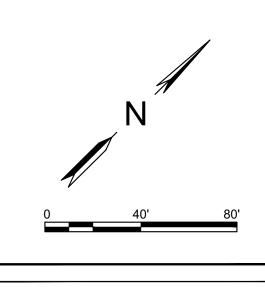


CLIENT **Rockwall County**

1111 E Yellowjacket Lane Rockwall, TX 75037

PROJECT NO. 11987.22

KEY PLAN



| # | DATE | DESCRIPTION |
|---|------------|---------------------------|
| 1 | 10/20/2023 | Site Plan Submittal |
| 2 | 11/07/2023 | Site Plan Re-Submittal #1 |
| | | |

Utility Plan CU101B



CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION CASE MEMO

PLANNING AND ZONING DEPARTMENT 385 S. GOLIAD STREET • ROCKWALL, TX 75087 PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

| TO: | Planning and Zoning Commission |
|--------------|--------------------------------------|
| DATE: | November 14, 2023 |
| APPLICANT: | Leslie Ford; Ofi Chito |
| CASE NUMBER: | SP2023-035; Site Plan for McDonald's |

SUMMARY

Discuss and consider a request by Leslie Ford of Ofi Chito on behalf of Michael Hampton of Creekside Commons Crossing, LP for the approval of a <u>Site Plan</u> for a Restaurant, Greater than 2,000 SF, with Drive-Through or Drive-In (i.e. McDonald's) on a 1.251- acre tract of land identified as a portion of Lot 3 and all of Lot 2, Block A, Creekside Commons Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the SH-205 Overlay (SH-205 OV) District, generally located north of the northeast corner of the intersection of S. Goliad Street [SH-205] and FM-549, and take any action necessary.

BACKGROUND

On May 19, 1986, the subject property was annexed into the City of Rockwall by *Ordinance No.* 86-37 [*Case No* A1986-005]. On March 4, 2013, the City Council approved a zoning change from an Agricultural (AG) District to a Commercial (C) District [*Case No.* Z2013-002; Ordinance No. 13-03] for a 45.5601-acre tract of land. On June 7, 2021, the City Council approved a preliminary plat [*Case No.* P2021-027] for a 14-lot commercial development (*i.e.* Lots 1-14, Block A, Creekside Commons Addition), which includes the subject property. On November 7, 2022, the City Council approved a final plat that establish the subject property as a portion of Lot 3 and all of Lot 2, Block A, Creekside Commons Addition. The subject property has remained vacant since its annexation.

PURPOSE

On October 20, 2023, the applicant -- Leslie Ford of Ofi Chito -- submitted an application requesting the approval of a <u>Site</u> <u>Plan</u> for the purpose of constructing a Restaurant, Greater than 2,000 SF, with Drive-Through or Drive-In on the subject property.

ADJACENT LAND USES AND ACCESS

The subject property is generally located southeast of the intersection of S. Goliad Street [SH-205] and S. FM-549. The land uses adjacent to the subject property are as follows:

- <u>North</u>: Directly north of the subject property is the remainder of the Creekside Commons Addition, which is zoned for Commercial (C) District land uses and is vacant. Beyond this is S. FM-549, which is identified as a *Minor Collector* on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Following this is Somerset Park Subdivision, which is a 309-lot single-family residential master planned community that is zoned Planned Development District 63 (PD-63) for Single-Family 10 (SF-10) land uses.
- <u>South</u>: Directly south of the subject property a 1.50-acre parcel of land (*i.e. Lot 1, Block A, Creekside Commons Addition*), developed with a convenience store with gasoline sales (*i.e. 7-11*) that is zoned Commercial (C) District. Beyond this is S. Goliad Street [*SH-205*], which is identified as a P6D (*i.e. principal arterial, six [6] lane, divided roadway*) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Following this is a vacant 6.9998-acre tract of land (*i.e. Tract 10-1 of the W. W. Ford Survey, Abstract No. 80*) that is zoned General Retail (GR) District. Beyond this is S. FM-549, which is classified

as a A4D (*i.e. major arterial, four [4] lane, divided roadway*) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan.

- <u>East</u>: Directly east of the subject property is remainder of the Creekside Commons Addition, which is zoned for Commercial (C) District land uses and is vacant. Adjacent to the property line of the Creekside Commons Addition is the corporate limits of the City of Rockwall, followed by an unincorporated area with single-family homes.
- <u>West</u>: Directly west of the subject property is S. Goliad Street [*SH-205*], which is identified as a P6D (*i.e. principal arterial, six* [6] lane, divided roadway) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this is a 6.9998-acre vacant tract of land (*i.e. Tract 10-01 of the W. W. Ford Survey, Abstract No. 80*) that is zoned General Retail (GR) District. Beyond this is the Oaks of Buffalo Way Subdivision, which consists of 58 single-family residential lots on 109.57-acres that is zoned Single-Family Estate 1.5 (SFE-1.5) District.

DENSITY AND DIMENSIONAL REQUIREMENTS

According to Section 01, Land Use Schedule, of Article 04, Permissible Uses, of the Unified Development Code (UDC), a Restaurant, Greater than 2,000 SF, with Drive-Through or Drive-In is permitted by-right in a Commercial (C) District. The submitted site plan, landscape plan, photometric plan, and building elevations generally conform to the technical requirements contained within the Unified Development Code (UDC) for a property located within a Commercial (C) District with the exception of the item(s) noted in the Variances and Exceptions Requested by the Applicant section of this case memo. A summary of the density and dimensional requirements for the subject property are as follows:

| Ordinance Provisions | Zoning District Standards | Conformance to the Standards |
|----------------------------------|---|--------------------------------|
| Minimum Lot Area | 10,000 SF | X=1.251-acres; In Conformance |
| Minimum Lot Frontage | 60-Feet | X= 202.06-feet; In Conformance |
| Minimum Lot Depth | 100-Feet | X=269.59-feet; In Conformance |
| Minimum Front Yard Setback | 15-Feet | X>15-feet; In Conformance |
| Minimum Rear Yard Setback | 10-Feet | X>10-feet; In Conformance |
| Minimum Side Yard Setback | 10-Feet | X>10-feet; In Conformance |
| Maximum Building Height | 60-Feet | X=20.3-feet; In Conformance |
| Max Building/Lot Coverage | 60% | X=8.01%; In Conformance |
| Minimum Number of Parking Spaces | 1 Parking Space/100 SF (Restaurant) 44 Required Parking Spaces | X=45; In Conformance |
| Minimum Landscaping Percentage | 20% | X=21.3%; In Conformance |
| Maximum Impervious Coverage | 85-90% | X=78.7%; In Conformance |

CONFORMANCE WITH THE CITY'S CODES

The applicant is requesting to construct a *Restaurant, Greater than 2,000 SF, with Drive-Through or Drive-In* on the subject property. According to Subsection 02.02(F)(29), *Restaurant with Drive Through or Drive-In*, of Article 13, *Definitions*, of the Unified Development Code (UDC), a *Restaurant with Drive Through or Drive-In* is defined as "(a) place of business whose primary source of revenue is derived from the sale of prepared food to the general public for consumption on-premise or off-premises and/or in a personal vehicle or where facilities are provided on the premises that encourages the serving and consumption of food in a personal vehicle on or near the restaurant premises." In this case, the applicant's proposed use falls under this classification, which is permitted by-right within a Commercial (C) District. When reviewing the proposed site plan against these standards, it appears to generally conform with the exception of the variance(s) and exception(s) being requested as outlined in the *Variances and Exceptions Requested by the Applicant* section of this case memo.

VARIANCES AND EXCEPTIONS BY THE APPLICANT

As stated above, the applicant's request conforms to the majority of the City's codes; however, staff has identified the following variance(s) and exception(s):

(1) Architectural Standards.

- (a) <u>Four-Sided Architecture.</u> According to Subsection 06.02(C)(5), of Article 05, of the General Overlay District Development Standards of the Unified Development Code (UDC), "(a)II buildings shall be architecturally finished on all four (4) sides utilizing the same materials, detailing, articulation and features. In this case, the proposed building does not meet the primary articulation standards. This will require a variance from the Planning and Zoning Commission.
- (b) <u>Roof Design</u>. According to Subsection 06.02(C)(1), General Overlay District Standards, of Article 05, District Development Standards, of the Unified Development Code (UDC), "(a)II structures that have a building footprint of less than 6,000 SF shall be constructed with a pitched roof." In this case, the proposed building is less than 6,000 SF and utilizing a parapet system. This will require a variance from the Planning and Zoning Commission.

According to Subsection 09, *Exceptions and Variances*, of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC), "...an applicant may request the Planning and Zoning Commission grant variances and exceptions to the provisions contained in the Unified Development Code (UDC), where unique or extraordinary conditions exist or where strict adherence to the technical requirements of the Unified Development Code (UDC) would create an undue hardship." In addition, the code requires that the applicant provide compensatory measures that directly offset the requested variances and exceptions. The applicant has indicated the following as compensatory measures: [1] increased masonry and stone percentages (*i.e. stone percentages that are 14.44% - 21.48% over the required 20.00% and masonry percentages that are up to ten [10.00%] percent over the required 90.00%*), [2] increased architectural elements (*i.e. spandrel glass, awnings, and cornice*) -- staff should note that this is <u>not a compensatory measure because it is required by the General Overlay District Standards --</u>, [3] increased landscape percentage (*i.e. 1.30% more than is required*), and [4] a bench and planters. Requests for exceptions and variances to the Unified Development Code (UDC) are discretionary decisions for the Planning and Zoning Commission. Staff should note that a supermajority vote (*e.g. six [6] out of the seven [7] commissioners*) -- with a minimum of *four (4) votes in the affirmative* -- is required for the approval of a variance or exception.

CONFORMANCE WITH OURHOMETOWN VISION 2040 COMPREHENSIVE PLAN

According to the Future Land Use Plan contained in the OURHometown Vision 2040 Comprehensive Plan, the subject property is situated within the <u>South Central Residential District</u> and is designated for <u>Commercial</u> land uses. According to the *District Strategies* this land use designation should "... support the existing and proposed residential developments and should be compatible in scale with the adjacent residential structures." In this case, the applicant is proposing a *Restaurant, Greater than 2,000 SF, with Drive-Through or Drive-In*. Based on this, the applicant's land use appears to conform with the Comprehensive Plan; however, Chapter 09, *Non-Residential*, of the OURHometown Vision 2040 Comprehensive Plan states as one (1) of the architectural policies the community should "... encourage high quality and inspiring architecture throughout the City..." More specifically the OURHometown Vision 2040 Comprehensive Plan states on all nonresidential buildings should be subdivided with vertical breaks -- *or "articulated" in architectural terms* --, and architectural elements should be incorporated to reflect a scale and rhythm that is more traditional of a small-town." In this case, the applicant is requesting exceptions to the building articulation requirements. These exceptions appear to conflict with the goals for non-residential buildings contained in the Comprehensive Plan. Based on this the applicant's proposal <u>does not</u> appear to meet the vision of the Comprehensive Plan.

ARCHITECTURAL REVIEW BOARD (ARB) RECOMMENDATION

On November 1, 2023 the Architecture Review Board (ARB) reviewed the building elevations provided by the applicant. The ARB requested the applicant provide a material sample board, to match the materials of the adjacent building, and increase the building articulation. The applicant has provided the material sample board and generally matched the materials of the adjacent building; however, the building articulation does not meet the requirements of the *General Commercial District Standards* and the *General Overlay District Standards*. This will be reviewed by the ARB prior to the November 14, 2023 meeting.

CONDITIONS OF APPROVAL

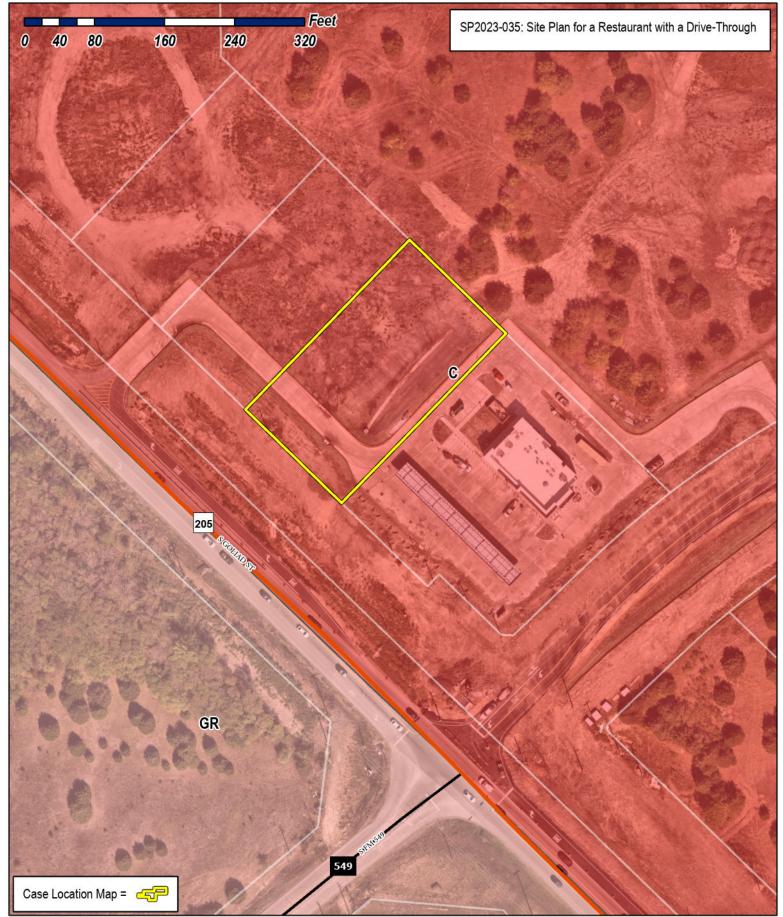
If the Planning and Zoning Commission chooses to approve the applicant's <u>Site Plan</u> for the construction of a *Restaurant*, *Greater than 2,000 SF, with Drive-Through or Drive-In* on the *subject property*, then staff would propose the following conditions of approval:

- (1) All staff comments provided by the Planning, Engineering and Fire Department must be addressed prior to the submittal of engineering plans.
- (2) Any construction resulting from the approval of this <u>Site Plan</u> shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

| | DEVELOPMENT APPLICA City of Rockwall Planning and Zoning Department 385 S. Goliad Street Rockwall, Texas 75087 | | STAFF USE ONLY LANNING & ZONING CASE NO. IOTE: THE APPLICATION IS NOT CO ITY UNTIL THE PLANNING DIRECT IGNED BELOW. IRECTOR OF PLANNING: ITY ENGINEER: | | |
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| PLATTING APPLIC | (\$100.00 + \$15.00 ACRE) ¹ PLAT (\$200.00 + \$15.00 ACRE) ¹ | ZONING API | PLICATION FEES: CHANGE (\$200.00 + \$15.00 ACR CUSE PERMIT (\$200.00 + \$15.00 | E) 1) ACRE) ^{1 & 2} | |
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| PROPERTY INFO | ORMATION [PLEASE PRINT] | | | | |
| ADDRES | S To Be Assigned | | | | |
| SUBDIVISIO | N Creekside Commons | | LOT | BLOCK | Α |
| GENERAL LOCATIO | NWC of State Hwy 205 FM 549 | | | 具 調 長 義 | |
| ZONING, SITE P | LAN AND PLATTING INFORMATION [PLEAS | SE PRINT] | | | |
| CURRENT ZONIN | C - Commercial District in SH205 Overlay District | CURRENT L | ISE Vacant | | Contraction of the |
| PROPOSED ZONIN | G No change to base zoning designation requested | . PROPOSED L | SE McDonald's Restaurant | with Drive-Throug | yh |
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| REGARD TO ITS | D PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE 1 APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF DENIAL OF YOUR CASE. | THAT DUE TO THE P. STAFF'S COMMENTS | ASSAGE OF <u>HB3167</u> THE CITY NO 5 BY THE DATE PROVIDED ON THE |) LONGER HAS FLE) E DEVELOPMENT CA | Xibility With Lendar Will |
| | ANT/AGENT INFORMATION [PLEASE PRINT/CH | | | ARE REQUIRED] | |
| | Creekside Commons Crossing, LP | | IT Ofi Chito | | 14138- |
| CONTACT PERSON | Michael Hampton, Vice President | CONTACT PERSC | | | 132.5 |
| ADDRESS | 10755 Sandhill Road | ADDRES | S 3224 Collinsworth Stree | | |
| CITY, STATE & ZIP | Dallas, Texas 75238 | CITY, STATE & Z | P Fort Worth, TX 76107 | | 原調 |
| PHONE | 214-271-4630 | PHON | E 325-370-9965 | | |
| E-MAIL | mhampton@prudentdevelopment.com | E-MA | IL leslie@ofichito.com | | |
| BEFORE ME, THE UNDER | CATION [REQUIRED] RSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARE ION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE | | Humpton 100 | NER] THE UNDERS | IGNED, WHO |
| S OTO SE INFORMATION CONTAINE | I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION, A TO COVER THE COST OF THIS APPLICATION, H 2023 BY SIGNING THIS APPLICATION, I AGR D WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS | AS BEEN PAID TO THE EE THAT THE CITY OI S ALSO AUTHORIZED | CITY OF ROCKWALL ON THIS THE FROCKWALL (I.E. "CITY") IS AUTHOR AND PERMITTED TO SEPRODUCE | RIZED AND PERMITTEL | DAY OF D TO PROVIDE |
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| D | EVELOPMENT APPLICATION + CITY OF ROCKWALL + 385 St | OUTH GOLIAD STREE | T • ROCKWALL, TX 75087 • [P] (9 | 72) 771-7745 | |

| | DEVELOPMENT APPLICA City of Rockwall Planning and Zoning Department 385 S. Goliad Street Rockwall, Texas 75087 | | PLANN NOTE: CITY UI SIGNEL DIRECT | USE ONLY ING & ZONING CASE NO. THE APPLICATION IS NOT CONSID NTIL THE PLANNING DIRECTOR AN D BELOW. TOR OF PLANNING: NGINEER: | ERED ACCEF D CITY ENGI | PTED BY THE NEER HAVE |
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| PROPERTY INFO | RMATION [PLEASE PRINT] | | | | | |
| ADDRESS | To Be Assigned | | | | | |
| SUBDIVISION | Creekside Commons | | | LOT | BLOCK | Α |
| GENERAL LOCATION | NWC of State Hwy 205 FM 549 | | | | | |
| ZONING, SITE PL | AN AND PLATTING INFORMATION [PLEASE | E PRINT] | | | | |
| CURRENT ZONING | C - Commercial District in SH205 Overlay District | CURRENT | USE | Vacant | | |
| PROPOSED ZONING | No change to base zoning designation requested. | PROPOSED | USE | McDonald's Restaurant with | Drive-Throa | Jgh |
| ACREAGE | LOTS [CURRENT] | 1 | | LOTS [PROPOSED] | 1 | |
| REGARD TO ITS A | PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE TH APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF S ENIAL OF YOUR CASE. | HAT DUE TO THE STAFF'S COMMEN | PASSAI TS BY 7 | GE OF <u>HB3167</u> THE CITY NO LON THE DATE PROVIDED ON THE DEV | IGER HAS FL 'ELOPMENT (| exibility with Calendar will |
| OWNER/APPLIC | ANT/AGENT INFORMATION [PLEASE PRINT/CHE | ECK THE PRIMARY | CONT/ | | REQUIRED] | |
| | Creekside Commons Crossing, LP | | ANT | Ofi Chito | | 福田市 |
| CONTACT PERSON | Michael Hampton, Vice President | CONTACT PERS | ON | Leslie Ford | | |
| ADDRESS | 10755 Sandhill Road | ADDRE | ESS | 3224 Collinsworth Street | | |
| CITY, STATE & ZIP | Dallas, Texas 75238 | CITY, STATE & | ZIP | Fort Worth, TX 76107 | | |
| PHONE | 214-271-4630 | PHC | 1 | 325-370-9965 | | |
| E-MAIL | mhampton@prudentdevelopment.com | E-M | IAIL | leslie@ofichito.com | | |
| NOTARY VERIFIC BEFORE ME, THE UNDER STATED THE INFORMATION | CATION [REQUIRED] ISIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED ON ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE | FOLLOWING: | Heu | npton [owner] | THE UNDEF | rsigned, "Who |
| S DO STORE SUBMITTED IN CONJUNCT | AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; AL TO COVER THE COST OF THIS APPLICATION, HAS 2023. BY SIGNING THIS APPLICATION, I AGRE D WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSO AND SEAL OF OFFICE ON THIS THE OWNER'S SIGNATURE | S BEEN PAID TO TH E THAT THE CITY ALSO AUTHORIZE | IE CITY (OF ROC D AND | OF ROCKWALL ON THIS THE KWALL (I.E. "CITY") IS AUTHORIZED PERMITTE TO A REQUIST FOR MULIC INFORM NOTAT | AND PERMIT | DAY OF ED TO PROVIDE INFORMATION RIZZELL tate of Texas 03-23-2025 |
| NOTARY PUBLIC IN AND | FOR THE STATE OF TEXAS CULLY fm | ne | | MY COMMISSION EXPIRES | 03.29 | idios |

DEVELOPMENT APPLICATION . CITY OF ROCKWALL . 385 SOUTH GOLIAD STREET . ROCKWALL, TX 75087 . [P] (972) 771-7745





City of Rockwall Planning & Zoning Department 385 S. Goliad Street Rockwall, Texas 75087 (P): (972) 771-7745 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



November 9, 2023



City of Rockwall Planning and Zoning 385 S Goliad Street Rockwall, TX 75087

RE: McDonald's Variance – 550 FM 549, Rockwall, TX 75032

McDonald's is requesting a variance to the building articulation requirements as outlined in Subsection 04.01 of Article 05 of the City of Rockwall UDC. The ordinance requires that a five foot wall projection be added to the east and west sides of the building and this creates a hardship for this project due to the site size. To keep the aisle widths and turning radii required by the City of Rockwall Engineering Department, the building cannot project out any further than currently shown.

Attempts have been made to meet the intent of the ordinance by raising portions of the exterior walls three feet and bringing them out six additional inches from the adjacent wall portions. The building materials have been chosen to complement the nearby 7-11 and create a sense of cohesion and elevated finish design for the retail area. We have also added the following compensatory measures to our building and site to meet the requirements of the variance request:

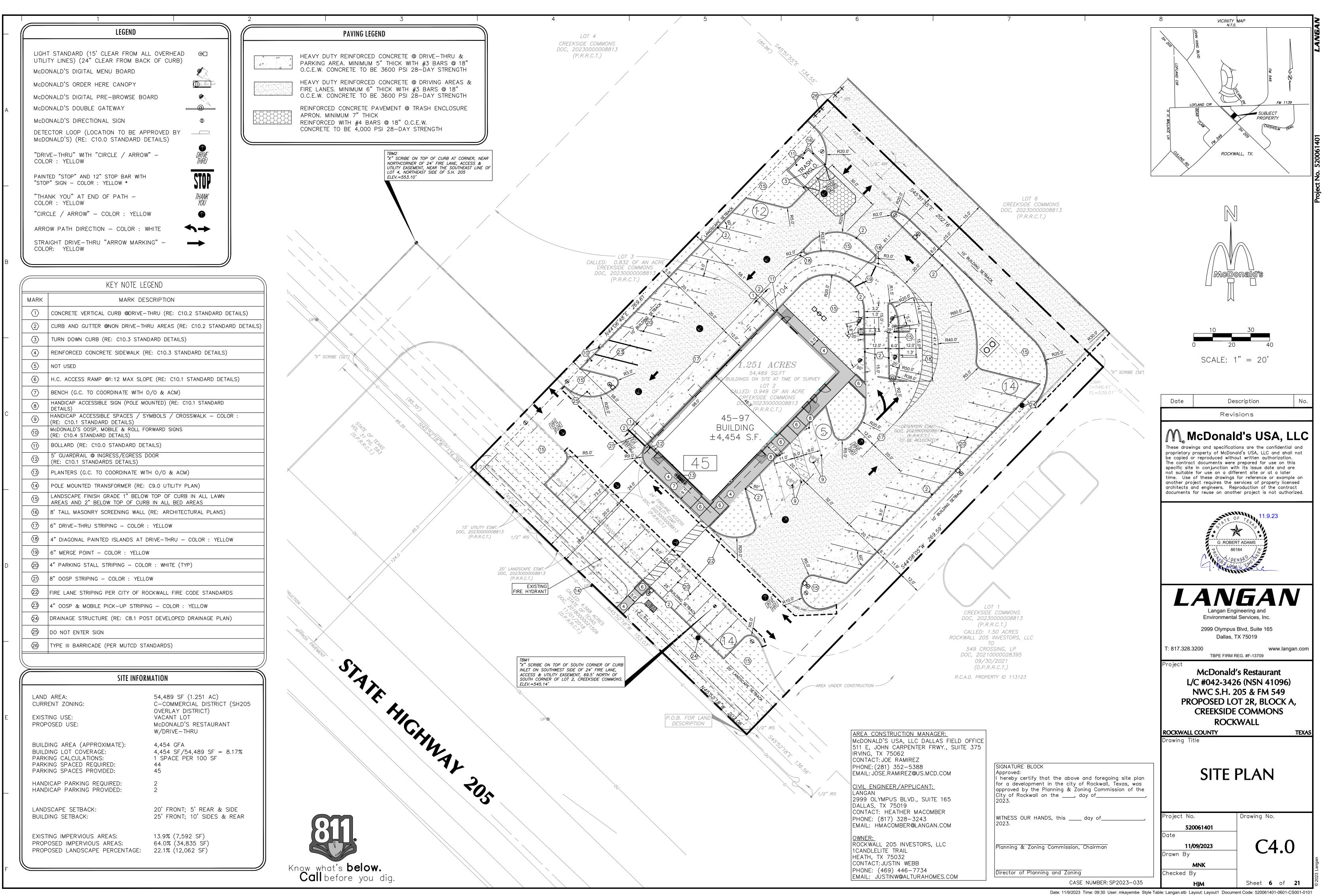
- 1. Increased masonry percentages: the building will be over 93% masonry through a mix of brick and natural limestone.
- 2. The building exterior will be comprised of 39.49% natural limestone, significantly in excess of the 20% requirement.
- 3. Many architectural elements have been added to the building, including awnings over many windows and doors, a large section of spandrel glass between the drive-thru windows, and a cornice line around the top of the entire building.
- 4. The site has increased landscaping percentages above and beyond the requirements set forth in each portion of Section 5.03 of the Rockwall development code. We have also added an outdoor bench and planters to create additional interest in the area immediately surrounding the building.

Please feel free to contact me with any questions or concerns.

Thank you for reviewing our request,

Leslie And

Leslie Ford Entitlements Consultant Ofi Chito, LLC 325-370-9965 leslie@ofichito.com

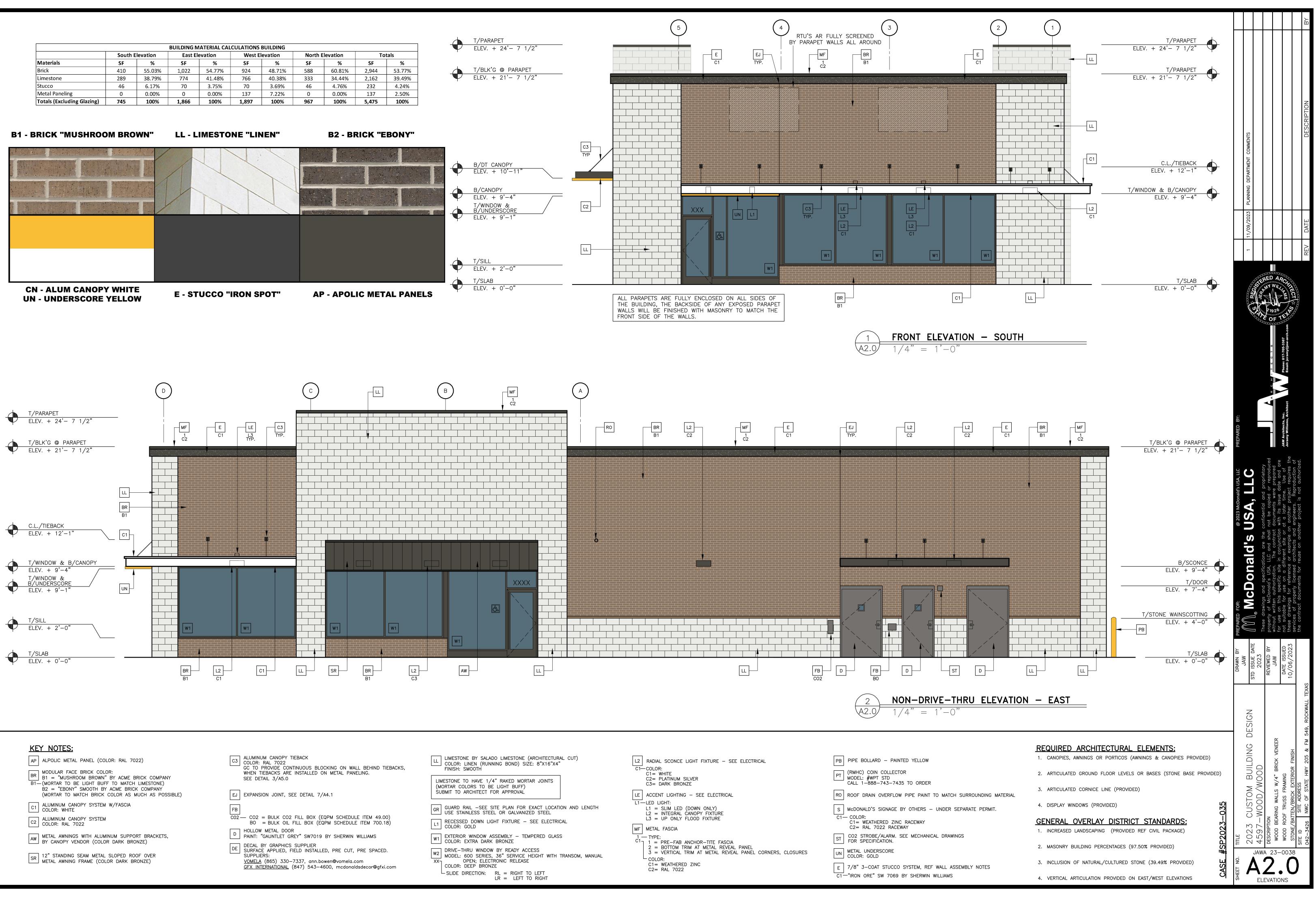


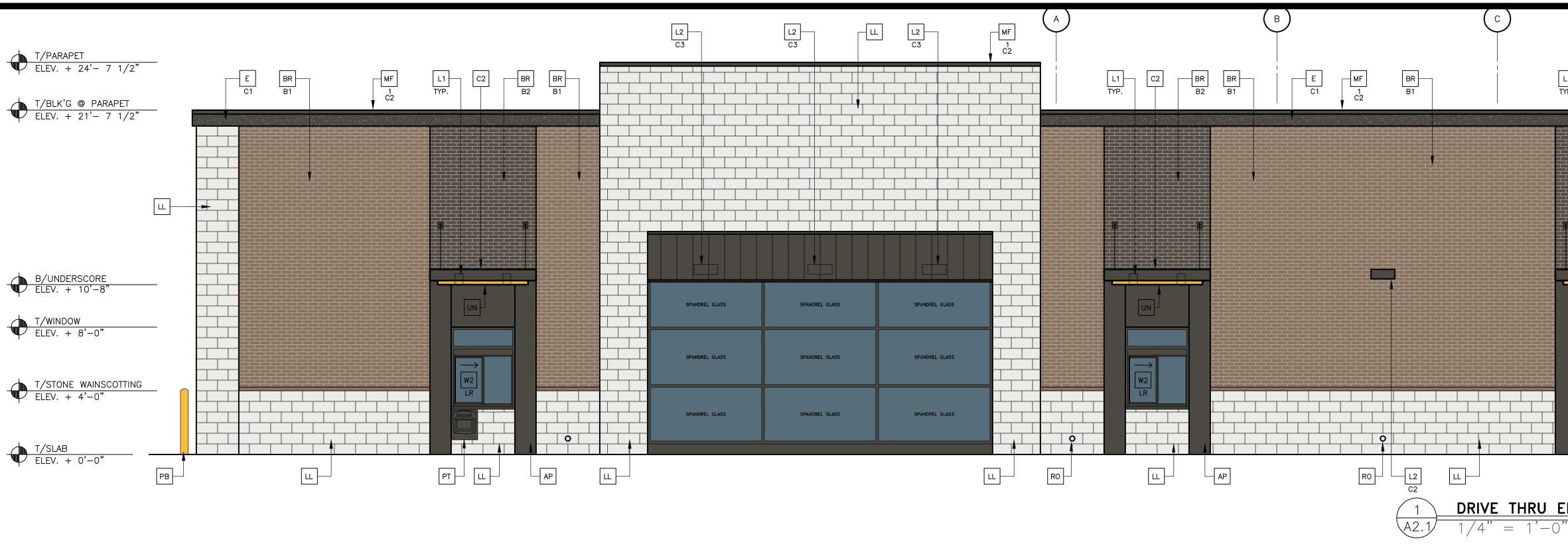
| | KEY NOTE LEGEND |
|---------------------|--|
| MARK | MARK DESCRIPTION |
| $\langle 1 \rangle$ | CONCRETE VERTICAL CURB @DRIVE-THRU (RE: C10.2 STANDARD DETAILS) |
| 2 | CURB AND GUTTER @NON DRIVE-THRU AREAS (RE: C10.2 STANDARD DETAILS |
| $\langle 3 \rangle$ | TURN DOWN CURB (RE: C10.3 STANDARD DETAILS) |
| $\langle 4 \rangle$ | REINFORCED CONCRETE SIDEWALK (RE: C10.3 STANDARD DETAILS) |
| (5) | NOT USED |
| 6 | H.C. ACCESS RAMP @1:12 MAX SLOPE (RE: C10.1 STANDARD DETAILS) |
| $\langle 7 \rangle$ | BENCH (G.C. TO COORDINATE WITH O/O & ACM) |
| <u>(8)</u> | HANDICAP ACCESSIBLE SIGN (POLE MOUNTED) (RE: C10.1 STANDARD DETAILS) |
| (9) | HANDICAP ACCESSIBLE SPACES / SYMBOLS / CROSSWALK – COLOR : (RE: C10.1 STANDARD DETAILS) |
| (10) | McDONALD'S OOSP, MOBILE & ROLL FORWARD SIGNS (RE: C10.4 STANDARD DETAILS) |
| (11) | BOLLARD (RE: C10.0 STANDARD DETAILS) |
| (12) | 5' GUARDRAIL @ INGRESS/EGRESS DOOR (RE: C10.1 STANDARDS DETAILS) |
| (13) | PLANTERS (G.C. TO COORDINATE WITH O/O & ACM) |
| (14) | POLE MOUNTED TRANSFORMER (RE: C9.0 UTILITY PLAN) |
| (15) | LANDSCAPE FINISH GRADE 1" BELOW TOP OF CURB IN ALL LAWN AREAS AND 2" BELOW TOP OF CURB IN ALL BED AREAS |
| (16) | 8' TALL MASONRY SCREENING WALL (RE: ARCHITECTURAL PLANS) |
| (17) | 6" DRIVE-THRU STRIPING - COLOR : YELLOW |
| (18) | 4" DIAGONAL PAINTED ISLANDS AT DRIVE-THRU - COLOR : YELLOW |
| (19) | 6" MERGE POINT - COLOR : YELLOW |
| 20> | 4" PARKING STALL STRIPING - COLOR : WHITE (TYP) |
| 21 | 8" OOSP STRIPING – COLOR : YELLOW |
| 22 | FIRE LANE STRIPING PER CITY OF ROCKWALL FIRE CODE STANDARDS |
| 23 | 4" OOSP & MOBILE PICK-UP STRIPING - COLOR : YELLOW |
| 24 | DRAINAGE STRUCTURE (RE: C8.1 POST DEVELOPED DRAINAGE PLAN) |
| 25 | DO NOT ENTER SIGN |
| 26 | TYPE III BARRICADE (PER MUTCD STANDARDS) |
| | |
| \geq | SITE INFORMATION |



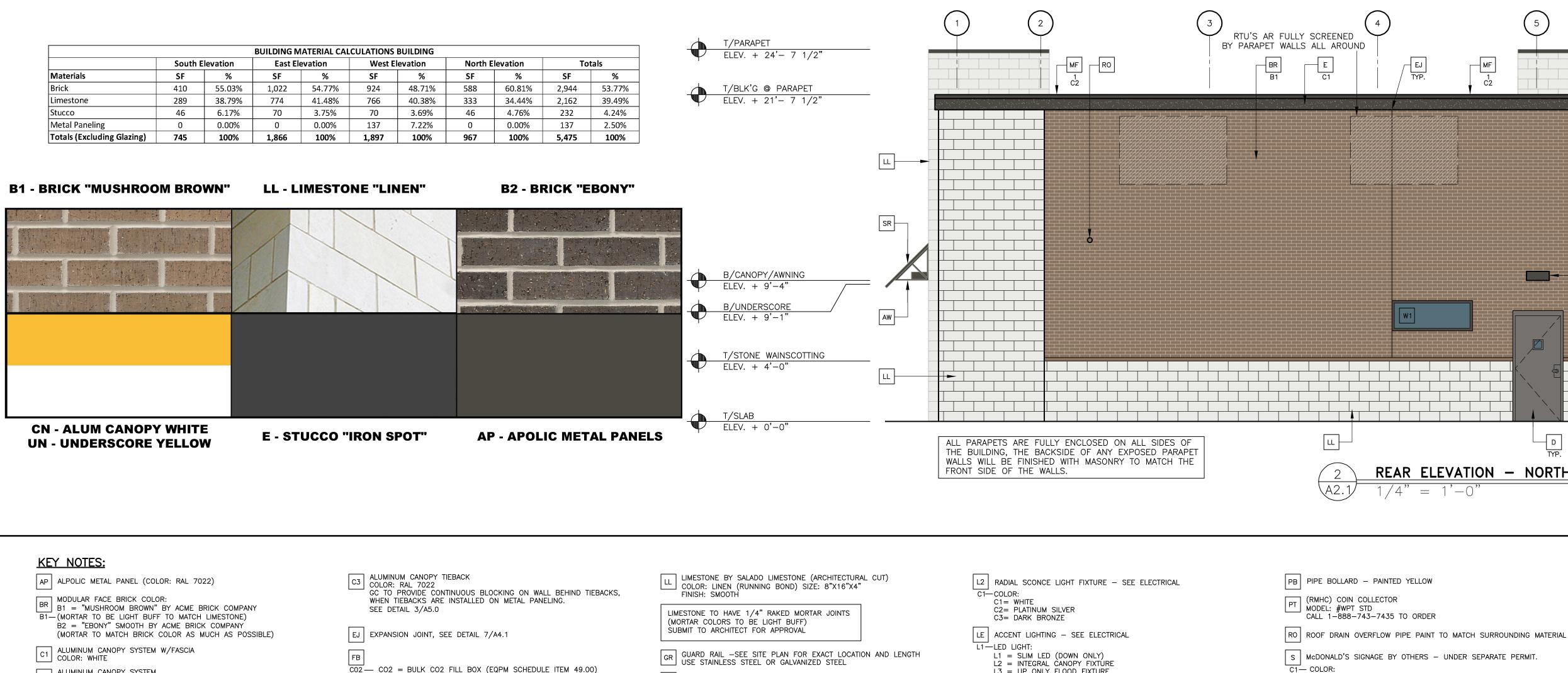
| | | | BUILDING M | IATERIAL CAL | CULATIONS | BUILDING | | | | Totals | |
|----------------------------|---------|----------|-------------------|--------------|------------------|----------|-----------------|--------|--------|--------|--|
| | South E | levation | East Ele | evation | West E | levation | North Elevation | | Totals | | |
| Materials | SF | % | SF | % | SF | % | SF | % | SF | % | |
| Brick | 410 | 55.03% | 1,022 | 54.77% | 924 | 48.71% | 588 | 60.81% | 2,944 | 53.77% | |
| Limestone | 289 | 38.79% | 774 | 41.48% | 766 | 40.38% | 333 | 34.44% | 2,162 | 39.49% | |
| Stucco | 46 | 6.17% | 70 | 3.75% | 70 | 3.69% | 46 | 4.76% | 232 | 4.24% | |
| Metal Paneling | 0 | 0.00% | 0 | 0.00% | 137 | 7.22% | 0 | 0.00% | 137 | 2.50% | |
| Totals (Excluding Glazing) | 745 | 100% | 1,866 | 100% | 1,897 | 100% | 967 | 100% | 5,475 | 100% | |

B1 - BRICK "MUSHROOM BROWN" LL - LIMESTONE "LINEN" **B2 - BRICK "EBONY" CN - ALUM CANOPY WHITE AP - APOLIC METAL PANELS E - STUCCO "IRON SPOT" UN - UNDERSCORE YELLOW**





| | | | BUILDING M | IATERIAL CAL | CULATIONS | BUILDING | | | | |
|----------------------------|---------|-----------------|------------|-------------------|-----------|----------|-----------------|--------|--------|--------|
| | South E | South Elevation | | East Elevation We | | levation | North Elevation | | Totals | |
| Materials | SF | % | SF | % | SF | % | SF | % | SF | % |
| Brick | 410 | 55.03% | 1,022 | 54.77% | 924 | 48.71% | 588 | 60.81% | 2,944 | 53.77% |
| Limestone | 289 | 38.79% | 774 | 41.48% | 766 | 40.38% | 333 | 34.44% | 2,162 | 39.49% |
| Stucco | 46 | 6.17% | 70 | 3.75% | 70 | 3.69% | 46 | 4.76% | 232 | 4.24% |
| Metal Paneling | 0 | 0.00% | 0 | 0.00% | 137 | 7.22% | 0 | 0.00% | 137 | 2.50% |
| Totals (Excluding Glazing) | 745 | 100% | 1,866 | 100% | 1,897 | 100% | 967 | 100% | 5,475 | 100% |



| KEY NOTES: | | |
|--|--|-----------------|
| AP ALPOLIC METAL PANEL (COLOR: RAL 7022) | C3 ALUMINUM CANOPY TIEBACK C0LOR: RAL 7022 | LL |
| BR MODULAR FACE BRICK COLOR: B1 = "MUSHROOM BROWN" BY ACME BRICK COMPANY | GC TO PROVIDE CONTINUOUS BLOCKING ON WALL BEHIND TIEBACKS, WHEN TIEBACKS ARE INSTALLED ON METAL PANELING. SEE DETAIL 3/A5.0 | <u> </u> |
| B1— (MORTAR TO BE LIGHT BUFF TO MATCH LIMESTONE) B2 = "EBONY" SMOOTH BY ACME BRICK COMPANY (MORTAR TO MATCH BRICK COLOR AS MUCH AS POSSIBLE) | EJ EXPANSION JOINT, SEE DETAIL 7/A4.1 | LIN (M SU |
| C1 ALUMINUM CANOPY SYSTEM W/FASCIA C0LOR: WHITE | FB | GR |
| C2 ALUMINUM CANOPY SYSTEM COLOR: RAL 7022 | C02 – C02 = BULK C02 FILL BOX (EQPM SCHEDULE ITEM 49.00) B0 = BULK OIL FILL BOX (EQPM SCHEDULE ITEM 700.18) | L1 |
| AW METAL AWNINGS WITH ALUMINUM SUPPORT BRACKETS, BY CANOPY VENDOR (COLOR DARK BRONZE) | D HOLLOW METAL DOOR PAINT: "GAUNTLET GREY" SW7019 BY SHERWIN WILLIAMS | W1 |
| SR 12" STANDING SEAM METAL SLOPED ROOF OVER METAL AWNING FRAME (COLOR DARK BRONZE) | DECAL BY GRAPHICS SUPPLIER SURFACE APPLIED, FIELD INSTALLED, PRE CUT, PRE SPACED. SUPPLIERS: <u>VOMELA</u> (865) 330-7337, ann.bowen@vomela.com <u>GFX_INTERNATIONAL</u> (847) 543-4600, mcdonaldsdecor@gfxi.com | w2 XX- |

RECESSED DOWN LIGHT FIXTURE - SEE ELECTRICAL COLOR: GOLD

EXTERIOR WINDOW ASSEMBLY - TEMPERED GLASS COLOR: EXTRA DARK BRONZE

DRIVE-THRU WINDOW BY READY ACCESS MODEL: 600 SERIES, 36" SERVICE HEIGHT WITH TRANSOM, MANUAL OPEN; ELECTRONIC RELEASE COLOR: DEEP BRONZE

L SLIDE DIRECTION: RL = RIGHT TO LEFT LR = LEFT TO RIGHT

MF METAL FASCIA - TYPE: C^{1} 1 = PRE-FAB ANCHOR-TITE FASCIA 2 = BOTTOM TRIM AT METAL REVEAL PANEL

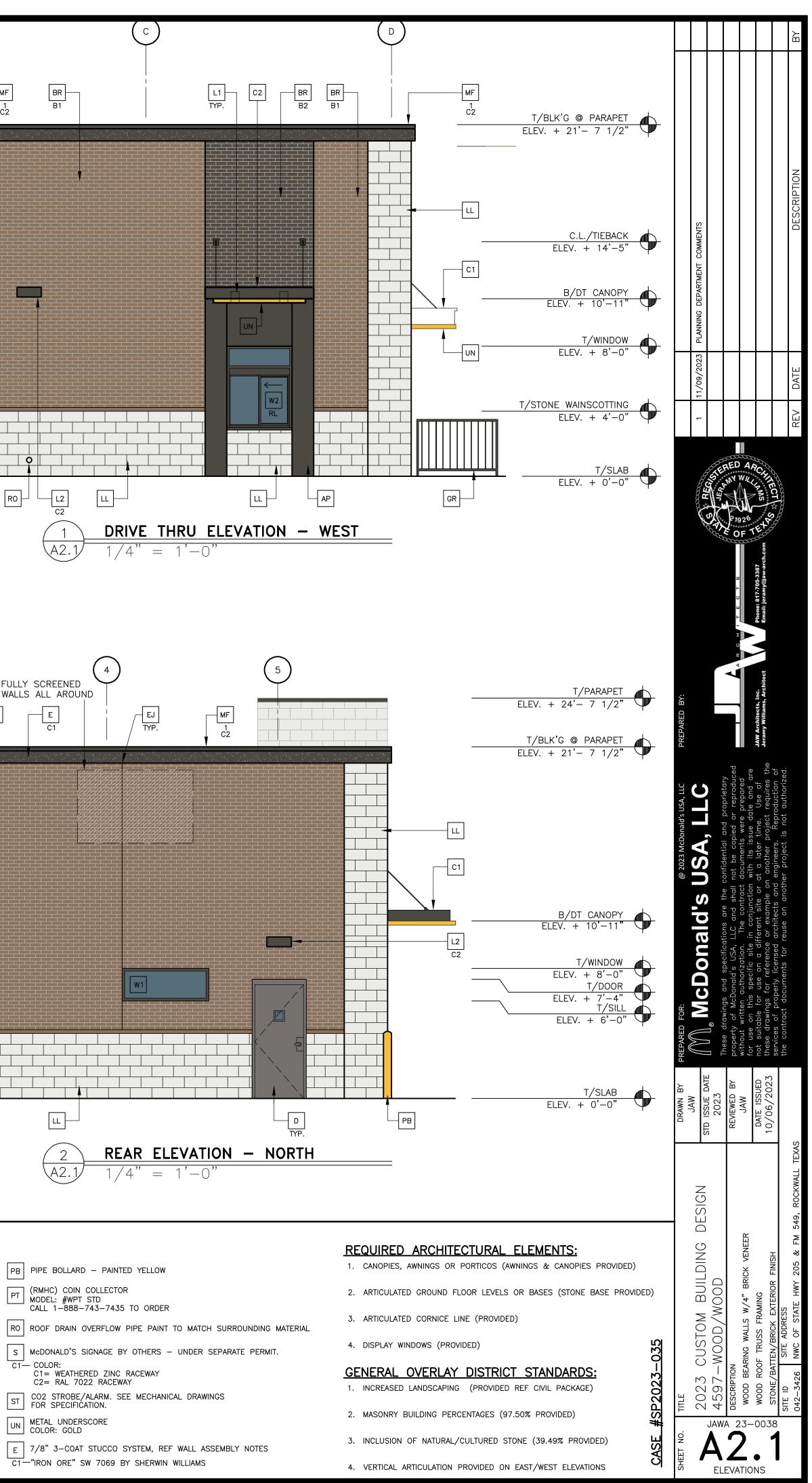
L3 = UP ONLY FLOOD FIXTURE

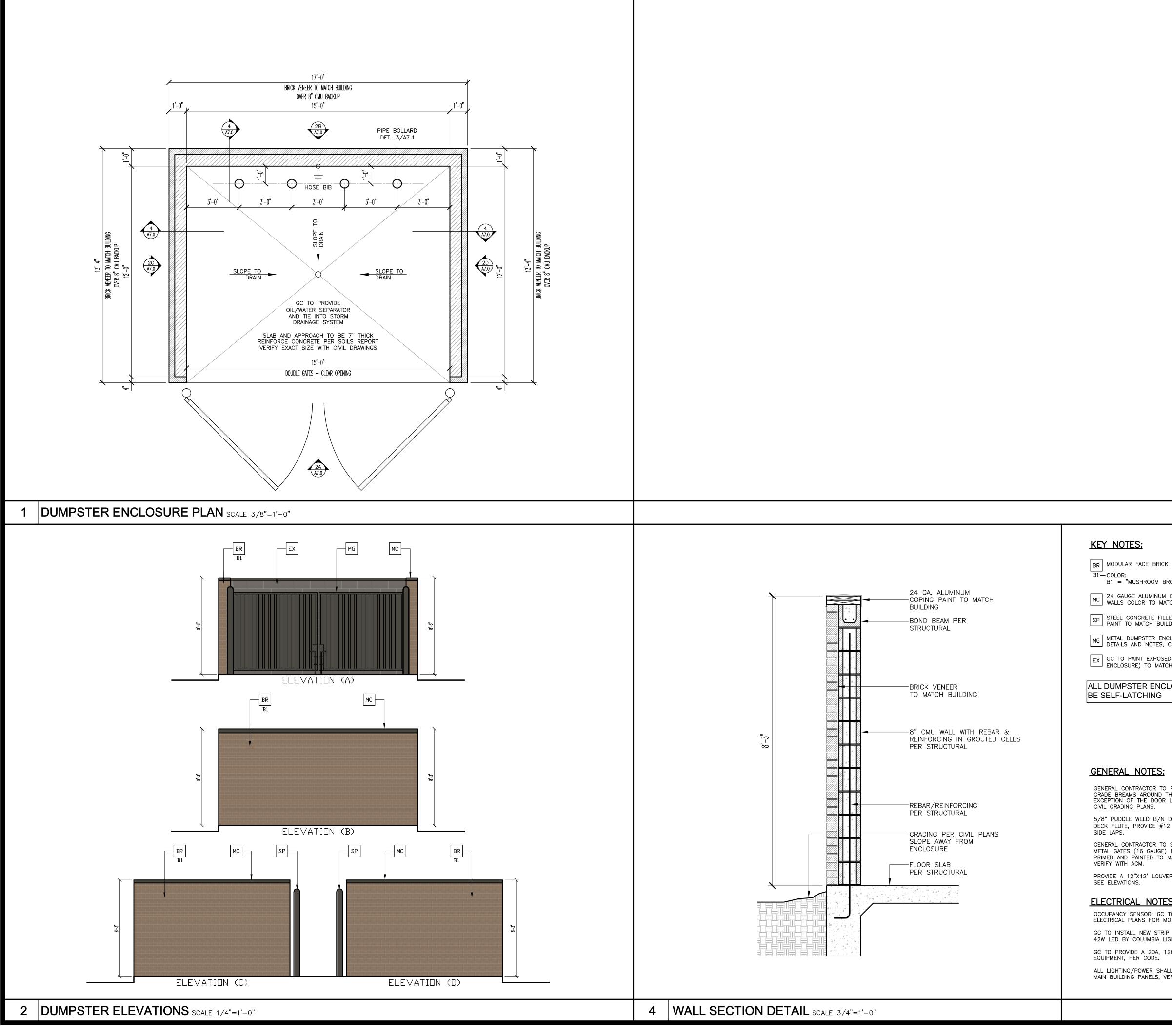
C2= RAL 7022

3 = VERTICAL TRIM AT METAL REVEAL PANEL CORNERS, CLOSURES - COLOR: C1= WEATHERED ZINC

UN METAL UNDERSCORE COLOR: GOLD E 7/8" 3-COAT STUCCO SYSTEM, REF WALL ASSEMBLY NOTES C1-"IRON ORE" SW 7069 BY SHERWIN WILLIAMS

C2= RAL 7022 RACEWAY





| | | | | | | BΥ |
|------------------|--|------------------------|---|--|---|---|
| | PLANNING DEPARTMENT COMMENTS | | | | | DESCRIPTION |
| | | + | | | | |
| | 11 /06/23 | | | | | EV DATE |
| | | Þ | | 200 | | REV |
| | PREPARED BY: | | AED A. AED A | JAW Architects, Inc. Jeramy Williams, Architect Email: jeramy@aw-arch.com | | |
| | | | | | services of properly licensed architects and engineers. Reproduction of the contract documents for reuse on another project is not authorized. | |
| | DRAWN BY | STD ISSUE DATE 2023 | REVIEWED BY JAW | DATE ISSUED 10/06/2023 | | |
| CASE #SP2023-035 | TITLE 2023 CLISTOM BLIILDING DESIGN | 4597-WOOD/WOOD | ESCRIPTION WOOD BEARING WALLS W/4" BRICK VENEER | WOOD ROOF TRUSS FRAMING | | NWC OF STATE HWY 205 & FM 549, ROCKWALL TEXAS |

B1 = "MUSHROOM BROWN" BY AMCE BRICK COMPANY MC 24 GAUGE ALUMINUM COPING OVER CMU ENCLOSURE WALLS COLOR TO MATCH "MF-C2" RAL 7022

SP STEEL CONCRETE FILLED POST PAINT TO MATCH BUILDING TRIM COLOR RAL 7022

MG METAL DUMPSTER ENCLOSURE ENTRY GATES, REF DETAILS AND NOTES, COLOR RAL 7022

EX GC TO PAINT EXPOSED CMU BLOCK (INSIDE ENCLOSURE) TO MATCH RAL 7022

ALL DUMPSTER ENCLOSURE GATES ARE TO BE SELF-LATCHING

GENERAL NOTES:

GENERAL CONTRACTOR TO PROVIDE 6 INCHES OF EXPOSED GRADE BREAMS AROUND THE STORAGE BUILDING WITH THE EXCEPTION OF THE DOOR LOCATION, COORDINATE WITH THE CIVIL GRADING PLANS. 5/8" PUDDLE WELD B/N DECK & ALL ANGLE TYPICAL IN EACH DECK FLUTE, PROVIDE #12 SCREWS @ 6" O.C. AT ALL DECK S

GENERAL CONTRACTOR TO SUPPLY AND INSTALL CORRUGATED METAL GATES (16 GAUGE) F-DECKING, ALL METAL TO BE PRIMED AND PAINTED TO MATCH THE BUILDING TRIM COLOR,

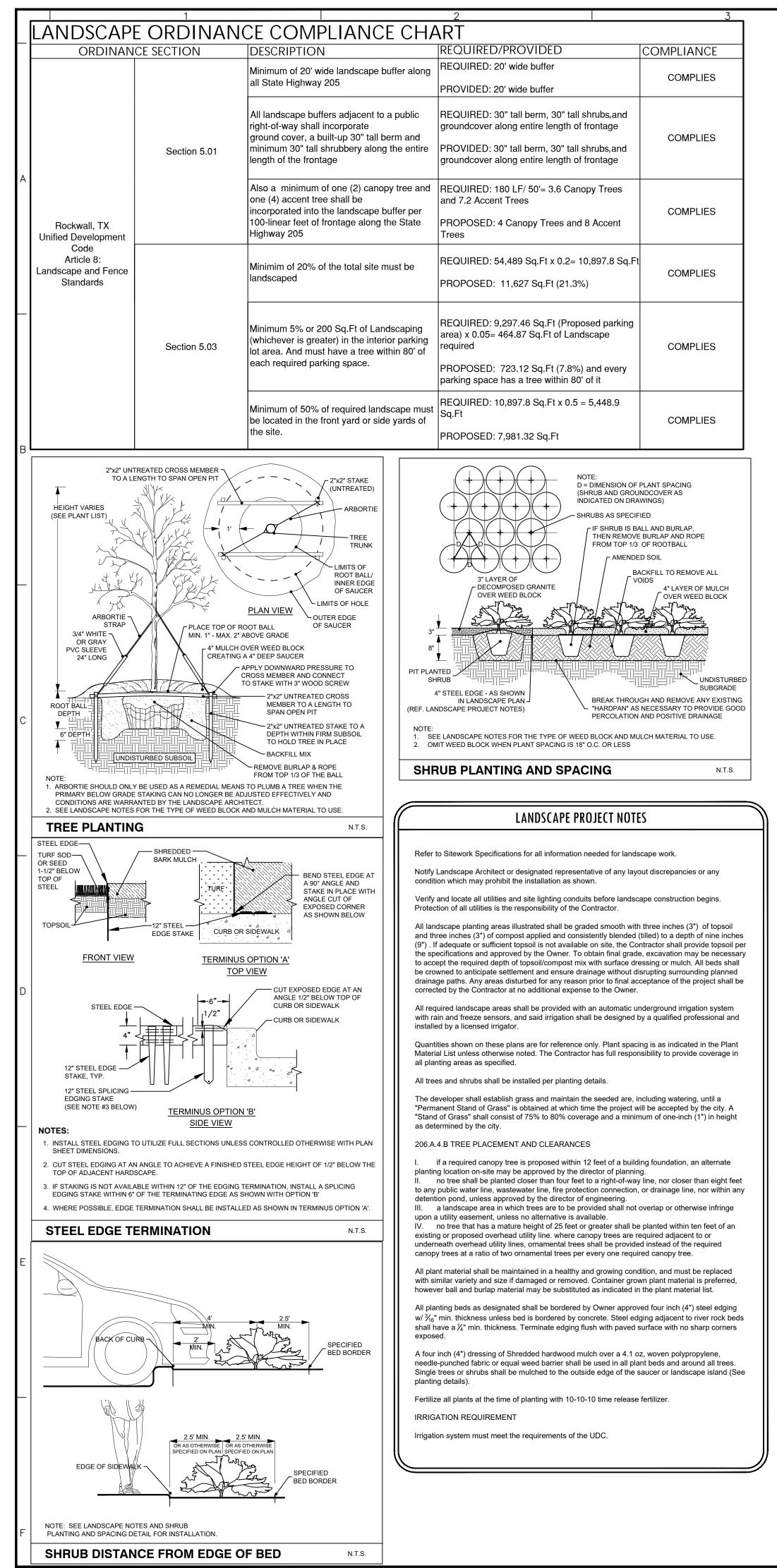
PROVIDE A 12"X12' LOUVER VENT IN HOLLOW METAL DOOR,

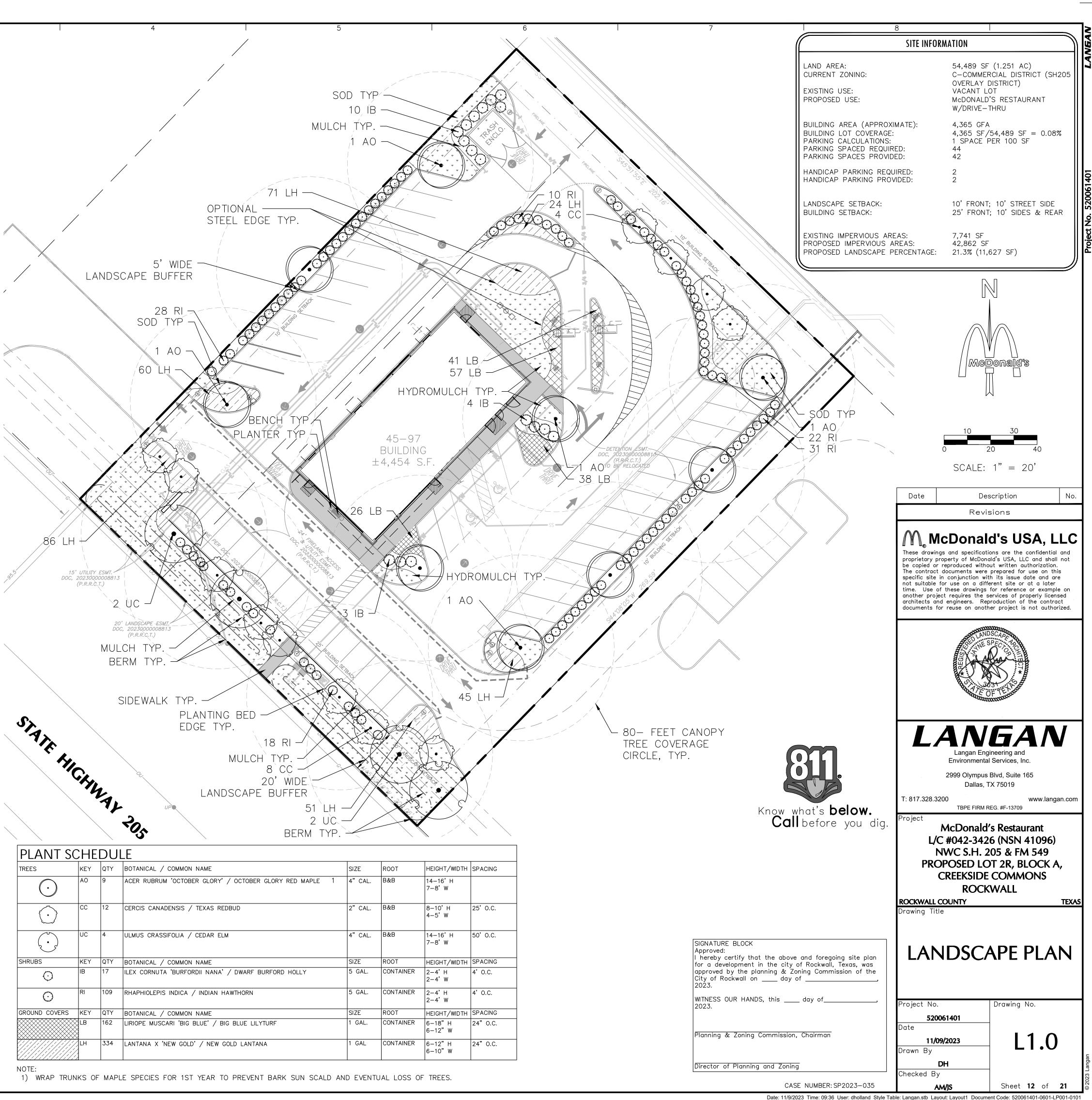
ELECTRICAL NOTES:

OCCUPANCY SENSOR: GC TO PROVIDE A WALL MOUNTED OCCUPANCY SENSOR, REF ELECTRICAL PLANS FOR MORE INFORMATION. GC TO INSTALL NEW STRIP LIGHT FIXTURE, PER MANF.'S RECOMMENDATIONS. F25 -42W LED BY COLUMBIA LIGHTING #LCL4-40ML-EDU.

GC TO PROVIDE A 20A, 120V, RECEPTACLE WITHIN 25 FEET OF THE HVAC

ALL LIGHTING/POWER SHALL BE CONNECTED TO AN APPROPRIATE CIRCUIT IN THE MAIN BUILDING PANELS, VERIFY CIRCUITING PRIOR TO ROUGH-IN.





| REES | KEY | QTY | BOTANICAL / COMMON NAME | SIZE | ROOT | HEIGHT/WIDTH | SPACING |
|--------------|-----|-----|---|---------|-----------|--------------------|----------|
| \bigcirc | AO | 9 | ACER RUBRUM 'OCTOBER GLORY' / OCTOBER GLORY RED MAPLE 1 | 4" CAL. | B&B | 14-16'H 7-8'W | |
| \bigcirc | сс | 12 | CERCIS CANADENSIS / TEXAS REDBUD | 2" CAL. | B&B | 8-10' H 4-5' W | 25' O.C. |
| (·, | UC | 4 | ULMUS CRASSIFOLIA / CEDAR ELM | 4" CAL. | B&B | 14-16' H 7-8' W | 50' O.C. |
| HRUBS | KEY | QTY | BOTANICAL / COMMON NAME | SIZE | ROOT | HEIGHT/WIDTH | SPACING |
| \bigcirc | IB | 17 | ILEX CORNUTA 'BURFORDII NANA' / DWARF BURFORD HOLLY | 5 GAL. | CONTAINER | 2-4' H 2-4' W | 4' O.C. |
| \odot | RI | 109 | RHAPHIOLEPIS INDICA / INDIAN HAWTHORN | 5 GAL. | CONTAINER | 2-4' H 2-4' W | 4' O.C. |
| ROUND COVERS | KEY | QTY | BOTANICAL / COMMON NAME | SIZE | ROOT | HEIGHT/WIDTH | SPACING |
| | LB | 162 | LIRIOPE MUSCARI 'BIG BLUE' / BIG BLUE LILYTURF | 1 GAL. | CONTAINER | 6-18"H 6-12"W | 24" O.C. |
| | LH | 334 | LANTANA X 'NEW GOLD' / NEW GOLD LANTANA | 1 GAL | CONTAINER | 6-12"H 6-10"W | 24" O.C. |

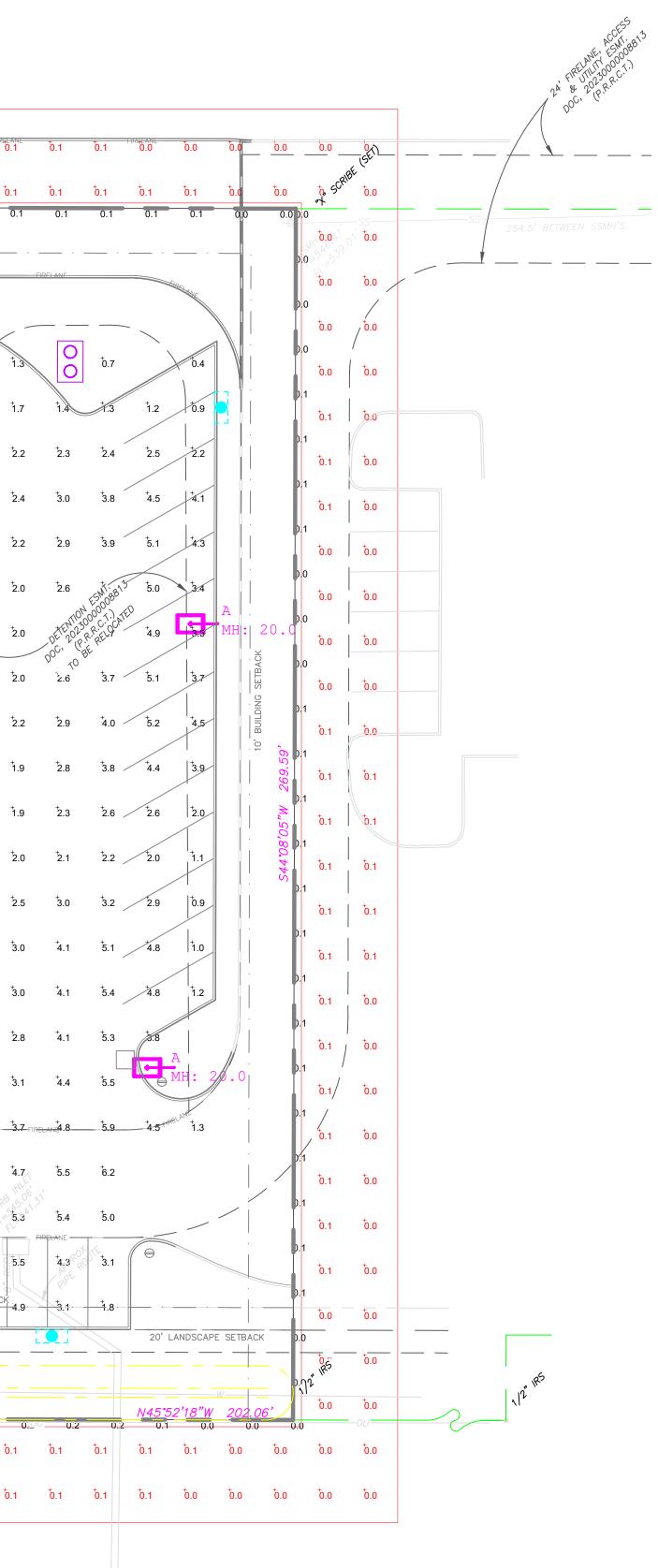
| Label ADJACENT PROPERTY READINGS PAVED SURFACE READINGS | CalcType Illuminance Illuminance | Units Fc Fc | Avg 0.07 3.16 | Max 0.2 8.8 | Min 0.0 0.3 | Avg/Min N.A. 10.53 | Max/M N.A. 29.33 |
|---|---|---|---|--|--|---|------------------------|
| Calculation Summary | | | | | | | |
| | UTUT 100°C, T.) 15. 2012 R.R. 00°C, 16. R.R. 20'C, 2012 R.R.C. 20'C, 2012 R.R.C. | | | | | | |
| [†] 0.0 [†] 0.0 | $\begin{array}{c ccccccccccccccccccccccccccccccccccc$ | | [†] 0.2 [†] 0.1 [†] 0.1 [†] 0.1 [†] 0.1 | | [†] 0.1 [†] 0.0 [†] 0.0 [†] 0.0 | to.o to.o to.o to.o to.o to.o to.o | |
| | | 0.2 0.2 0.2 0.2 | 0.2 0. <u>0</u> 0 | 0.2 0.2 0.1 | | 0.0 | |
| | E. W | МН: _20_0 МН: _20_0 МИ | | | LANDSCAPE SETBACK | 2.0 - 0.0 - 0.0 - 0.0 - 0.0 | |
| •.0 •.0 •.0 | 0.0 0.1 . 25 BUILDING LIVE PER DCC, 20230000008813 (P.R. | | NG SETBACK 4.9 3. | 2E | · · · | to.1 to.0 0.1 0.0 0.0 | |
| EIRELANE FIRELA | $\begin{array}{c ccccccccccccccccccccccccccccccccccc$ | 4 3.3 3.5 3.8 E FIRELAINE | ⁺ 4.4 ⁵ ,3 ⁵ .5 ^{GRELANE} | | |).1 [†] 0.1 [†] 0.0).1 | |
| ō.o | $\dot{1}$ | 6 ACCE\$53 [‡] 2.4 [‡] 2.7 ESMT. 000008813 | [†] 3.6 [†] 4.7 [†] 5. | 5 [†] 6.2 | | 0.1 0.1 0.0 | |
| TREL ANE FIG ELANE FIGELANE | ¹ 0.0 | TIREEANE | ⁺ 3.1 ⁺ 4. + - ⁺ 2.7 ⁺ 3.7 FIRELANE | 4 ⁵ .5 8 ⁵ .9 ⁴ .5 ⁴ | 1.3 | 0.1/ 0.0 | |
| [†] 0.0 | $t_{0.0}$ $t_{0.1}$ $t_{0.7}$ $t_{2.8}$ $t_{4.3}$ $t_{3.7}$ $t_{2.6}$ MH $t_{2.0}$ $t_{0.1}$ | | ⁺ 2.1 ⁺ 2.8 ⁺ 4. | | A | 0.1 0.1 0.1 0.1 0.1 | |
| [†] 0.0 [†] 0.0 | $\begin{array}{c ccccccccccccccccccccccccccccccccccc$ | 1.3 1.3 | $\begin{array}{c} \begin{array}{c} & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ \end{array}$ | | 1.2 | 0.1 0.1 0.1 0.1 0.1 0.0 | |
| Ö.1 | | 5. 5. 1.3 1.3 | 19 2.5 $3.$ | | 10.9 | 0,1 0.1 0.1 0.1 0.1 0.1 | |
| 0.1 0.1 | $\begin{array}{c ccccccccccccccccccccccccccccccccccc$ | 1.0 | 1.4 1.9 $2.1.6$ 2.0 $2.$ | | 12.0 | <i>n</i> ^{<i>u</i>} GO 0.1 | |
| [†] 0.1 | b.2 $b.2$ $b.4$ $b.9$ $b.5$ $b.5$ $b.5$ $b.5$ $b.2$ $b.2$ $b.2$ $b.2$ $b.2$ $b.3$ $b.4$ $b.5$ | 00 0.8 | 1.2 1.9 $2.$ | | | [°] 60,0,1 69,6 90,1 0,1 0,1 ∞ 0,1 ∞ | |
| [†] 0.1 [†] 0.1 | $\begin{array}{c ccccccccccccccccccccccccccccccccccc$ | | 1.8 ² .0 ² . ¹ .2 ² . | | 4.5 |)1 | |
| 0.1 [†] 0.1 | 0.1 0.2 arguing the second sec | 5 | 1.8 ² .0 petro po ^C , | 110100001.1.)AFD 2025.R. R. R. C. C. AFD 4.9 70 HE | ACK | 20.0 ⁰ ⁰ .0 <u>0</u> | |
| [†] 0.1 [†] 0.1 | 0.1 0.2 0.4 0.9 1.9 3.7 5.5 A2@180 0.2 0.4 0.9 1.9 3.7 5.5 A2@180 0.1 0.2 0.3 0.7 1.6 3.1 4.8 | *4.5 *4.5 | ¹ 2.2 ¹ 2.2 ¹ 2.2 ¹ 2. ¹ 1.8 ¹ 2.0 ¹ 2. | | | D.1 | |
| 0.1 0.1 | | 6 [†] 7.2 [†] 3.9 | 2.6 ⁺ 2.4 ⁺ 3. | | | 0.1 0.0 0.1 0.1 0.1 0.0 | |
| [†] 0.1 | $\begin{array}{c ccccccccccccccccccccccccccccccccccc$ | 9 $\frac{1}{7.1}$ $\frac{1}{6.8}$ $\frac{1}{4.6}$ | $\begin{array}{c} 1 \\ 1 \\ 1 \\ 2 \\ 2 \\ 2 \\ 3 \\ 2 \\ 3 \\ 2 \\ 2 \\ 2 \\ 2$ | 4 ⁺ 1.3 ⁺ 1.2 3 ⁺ 2.4 ⁺ 2.5 | |).1 0.1 0.0 0.1 | |
| 0.1 0.1 | | .0 5.2 5.4 3.4 ≪ .7 [†] 6.8 [†] 6.6 [†] 4.1 | | 00 [†] 0.7 | 0.4 | 0.0 0.0 0.0 0.0 0.0 0.0 | |
| Ö.1 | | FIRELANE | · · | | | 0.0 5 55 0.0 0.0 | |
| • • • • • • | $\begin{array}{c ccccccccccccccccccccccccccccccccccc$ | | <u>0.1</u> <u>0.1</u> <u>0.1</u> <u>0.1</u> <u>0.1</u> 0.1 | | 0.1 0.0 | | |
| j, | • Ke | | | | 1 | RIBL | |

| Symbol | Qty | Label | Arrangement | LLF | Description |
|--------|-----|--------|-------------|-------|---------------------------|
| | 5 | A | Single | 1.000 | VP-2-320L-145-5K7-4W-DBS- |
| | | | | | HSS-90-B |
| ↓ ↓ | 1 | A2@180 | Back-Back | 1.000 | VP-2-320L-145-5K7-4W-DBS |

NDTES:

1. THE FOOTCANDLE LEVELS AS SHOWN ARE BASED ON THE FOLLOWING CRITERIA, ANY SUBSTITUTIONS IN SPECIFIED FIXTURES OR CHANGES TO LAYOUT WILL AFFECT LIGHTING LEVELS SHOWN AND WILL NOT

BE THE RESPONSIBILITY OF SECURITY LIGHTING.



| Lum. Watts | EPA | Mtg Height | Pole Type |
|------------|-------|------------|---------------------------|
| 145.6 | 0.607 | 20 | SES-17-40-1-TA-GL-DB (4") |
| | | | |
| 150 | 0.607 | 20 | SES-17-40-1-TA-GL-DB (4") |
| I | I | | |

| SITE INFO |
|-----------|
| |

LAND AREA: CURRENT ZONING: EXISTING USE:

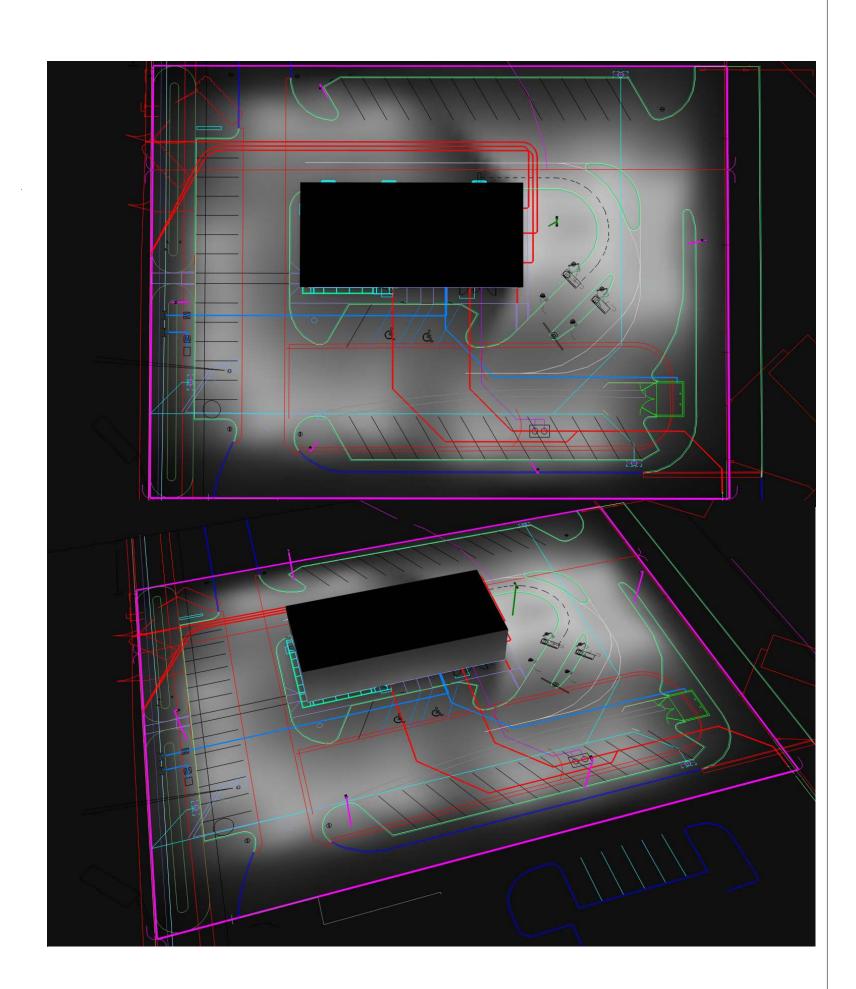
PROPOSED USE:

BUILDING AREA (APPROXIMATE): BUILDING LOT COVERAGE: PARKING CALCULATIONS: PARKING SPACED REQUIRED: PARKING SPACES PROVIDED:

HANDICAP PARKING REQUIRED: HANDICAP PARKING PROVIDED:

LANDSCAPE SETBACK: BUILDING SETBACK:

EXISTING IMPERVIOUS AREAS: PROPOSED IMPERVIOUS AREAS: PROPOSED LANDSCAPE PERCENTAGE: 21.7% (11,825 SF)



Pole Fixtures Are Full Cutoff Tilt=0 Calculation Grids Are At Grade Pole Light Mounting Height=20ft (17' Pole + 3' Base)

ORMATION SIGNATURE BLOCK Approved: 54,489 SF (1.251 AC) I hereby certify that the above and foregoing site plan for a development in the city of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the ____, day of_____, 2023. C-COMMERCIAL DISTRICT (SH205 OVERLAY DISTRICT) VACANT LOT McDONALD'S RESTAURANT W/DRIVE-THRU WITNESS OUR HANDS, this ____ day of_____ 4,365 GFA 2023. 4,365 SF/54,489 SF = 8.01% 1 SPACE PER 100 SF 44 Planning & Zoning Commission, Chairman 45 2 2 Director of Planning and Zoning CASE NUMBER: SP2023-035 20' FRONT; 5' REAR & SIDE 25' FRONT; 10' SIDES & REAR PROJECT WIND LOAD CRITERIA BASED ON: 13.9% (7,592 SF) ASCE 7-10 WIND SPEEDS (3-SEC PEAK GUST MPH) 64.4% (35,072 SF) 50 YEAR MEAN RECURRENCE INTERVAL ALLOWED EPA XX.X @ WIND LOAD XX MPH SECURITY LIGHTING 2100 Golf Road, Suite 460, Rolling Meadows, IL 60008 1-800-544-4848 Regional Drawing UNLESS OTHERWISE SPECIFIED, ALL DIMENSIONS ARE IN INCHES # 423426 SCALE 1"=20' 0" 1. THIS LIGHTING DESIGN IS BASED ON INFORMATION SUPPLIED BY OTHERS TO SECURITY LIGHTING SYSTEMS. SITE DETAILS PROVIDED HEREON ARE REPRODUCED ONLY AS A VISUALIZATION AID. FIELD DEVIATIONS MAY SIGNIFICANTLY AFFECT PREDICTED PERFORMANCE. PRIOR TO INSTALLATION, CRITICAL SITE INFORMATION (POLE LOCATIONS, ORIENTATION, MOUNTING HEIGHT, ETC.) SHOULD BE COORDINATED WITH THE CONTRACTOR AND/OR SPECIFIER RESPONSIBLE FOR THE PROJECT. DRAWN BY CLB LEED AP BD+C PDINT-BY-PDINT FOOTCANDLE PLOT FOR MCDONALDS 550 FARM TO MARKET RD 549 2. LUMINAIRE DATA IS TESTED TO INDUSTRY STANDARDS UNDER LABORATORY CONDITIONS. OPERATING VOLTAGE AND NORMAL MANUFACTURING TOLERANCES OF LAMP, BALLAST, AND LUMINAIRE MAY AFFECT FIELD RESULTS. ROCKWALL, TX 75032 NATIONAL STORE NUMBER 41096

3. CONFORMANCE TO FACILITY CODE AND OTHER LOCAL REQUIREMENTS IS THE RESPONSIBILITY OF THE OWNER AND/OR THE OWNER'S REPRESENTATIVE. 4. THIS LAYOUT MAY NOT MEET TITLE 24 OR LOCAL ENERGY REQUIREMENTS. IF THIS LAYOUT NEEDS TO E COMPLIANT WITH TITLE 24 OR OTHER ENERGY REQUIREMENTS, PLEASE CONSULT FACTORY WITH SPECIFIC DETAILS REGARDING PROJECT REQUIREMENTS SO THAT REVISIONS MAY BE MADE TO THE DRAWING.

DRAWING NUMBER 9/15/2023 A231820A.AGI

DATE



VIPER LUMINAIRE

FEATURES

- Low profile LED area/site luminaire with a variety of IES distributions for lighting applications such as auto dealership, retail, commercial, and campus parking lots
- Featuring two different optical technologies, Strike and Micro Strike Optics, which provide the best distribution patterns for retrofit or new construction
- Rated for high vibration applications including bridges and overpasses. All sizes are rated for 1.5G $\,$
- Control options including photo control, occupancy sensing, NX Lighting Controls[™], LightGRID+ and 7-Pin with networked controls
- New customizable lumen output feature allows for the wattage and lumen output to
 be customized in the factory to meet whatever specification requirements may entail
- Field interchangeable mounting provides additional flexibility after the fixture has shipped



CONTROL TECHNOLOGY



SPECIFICATIONS

CONSTRUCTION

- Die-cast housing with hidden vertical heat fins are optimal for heat dissipation while keeping a clean smooth outer surface
- Corrosion resistant, die-cast aluminum housing with
 1000 hour powder coat paint finish
- · External hardware is corrosion resistant

OPTICS

- Micro Strike Optics (160, 320, 480, or 720 LED counts) maximize uniformity in applications and come standard with mid-power LEDs which evenly illuminate the entire luminous surface area to provide a low glare appearance. Catalog logic found on page 2
- Strike Optics (36, 72, 108, or 162 LED counts) provide best in class distributions and maximum pole spacing in new applications with high powered LEDs. Strike optics are held in place with a polycarbonate bezel to mimic the appearance of the Micro Strike Optics so both solutions can be combined on the same application. Catalog logic found on page 3
- Both optics maximize target zone illumination with minimal losses at the house-side, reducing light trespass issues. Additional backlight control shields and house side shields can be added for further reduction of illumination behind the pole
- One-piece silicone gasket ensures a weatherproof seal
- · Zero up-light at 0 degrees of tilt
- · Field rotatable optics

INSTALLATION

- Mounting patterns for each arm can be found on page 11
- Optional universal mounting block for ease of installation during retrofit applications. Available as an option (ASQU) or accessory for square and round poles
- All mounting hardware included
- Knuckle arm fitter option available for 2-3/8" OD tenon
- For products with EPA less than 1 mounted to a pole greater that 20ft, a vibration damper is recommended

ELECTRICAL

 Universal 120-277 VAC or 347-480 VAC input voltage, 50/60 Hz

SERVICE PROGRAMS

STOCK QS10

- Ambient operating temperature -40°C to 40°C
- Drivers have greater than 90% power factor and less than 20% THD
- LED drivers have output power over-voltage, overcurrent protection and short circuit protection with auto recovery
- Field replaceable surge protection device provides 20kA protection meeting ANSI/ IEEE C62.41.2 Category C High and Surge Location Category C3; Automatically takes fixture off-line for protection when device is compromised
- Dual Driver option provides 2 drivers within luminaire but only one set of leads exiting the luminaire, where Dual Power Feed provides two drivers which can be wired independently as two sets of leads are extended from the luminaire. Both options cannot be combined

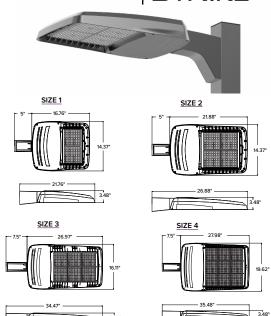
CONTROLS

- Photo control, occupancy sensor programmable controls, and Zigbee wireless controls available for complete on/off and dimming control
- Please consult brand or sales representative when combining control and electrical options as some combinations may not operate as anticipated depending on your application
- 7-pin ANSI C136.41-2013 photocontrol receptacle option available for twist lock photocontrols or wireless control modules (control accessories sold separately)

CONTROLS (CONTINUED)

- 0-10V Dimming Drivers are standard and dimming leads are extended out of the luminaire unless control options require connection to the dimming leads. Must specify if wiring leads are to be greater than the 6" standard
- NX Lighting Controls[™] available with in fixture wireless control module, features dimming and occupancy sensor
- LightGRID+ available with in fixture wireless control module, features dimming and occupancy sensor. Also available in 7-pin configuration

| DATE: | LOCATION: |
|------------|-----------|
| TYPE: | PROJECT: |
| CATALOG #: | |



| | | | EPA | | |
|-------------------|--------------|--------------|--------------|--------------|----------|
| | VP1 (Size 1) | VP2 (Size 2) | VP3 (Size 3) | VP4 (Size 4) | Config. |
| Single Fixture | 0.454 | 0.555 | 0.655 | 0.698 | P |
| Two at 180 | 0.908 | 1.110 | 1.310 | 1.396 | |
| Two at 90 | 0.583 | 0.711 | 0.857 | 0.948 | ę |
| Three at 90 | 1.037 | 1.266 | 1.512 | 1.646 | |
| Three at 120 | 0.943 | 1.155 | 1.392 | 1.680 | ₿ B |
| Four at 90 | 1.166 | 1.422 | 1.714 | 1.896 | |

CERTIFICATIONS

- DLC® (DesignLights Consortium Qualified), with some Premium Qualified configurations. Not all product variations listed in this document are DLC® qualified. Refer to http://www.designlights.org for the most up-to-date list.
- Listed to UL1598 and CSA C22.2#250.0-24 for wet locations and 40°C ambient temperatures
- 1.5 G rated for ANSI C136.31 high vibration applications
- Fixture is IP65 rated
- Meets IDA recommendations using 3K CCT configuration at 0 degrees of tilt
- This product meets federal procurement law requirements under the Buy American Act (FAR 52.225-9) and Trade Agreements Act (FAR 52.225-11). See Buy America(n) Solutions (link to <u>https:// www.currentlighting.com/resources/america-</u> solutions)

WARRANTY

5 year warranty

currentlighting.com/beacon

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VIPER Area/Site

VIPER LUMINAIRE

MICROSTRIKE OPTICS - ORDERING GUIDE

CATALOG



CATALOG #:

= Service Program **QS1**0 Gray Shading

Example: VP-2-320L-145-3K7-2-R-UNV-A3--BLT

| VP | | | | | | | | | | |] [| | | | |
|--|---|---|---|------|---------|----------------------------------|-----------------------------------|--|--|--|--|---|---|----------------------------------|-----------|
| | | | | | | | | - | | | - | | _ | | - |
| Series | | Light I | Ingine | | | | CCT/C | CRI | Distri | bution | | Optic Rotation | Volta | ige | |
| VP Vi | iper Micro Strike 1 Size 1 | 160L-3 | | umer | าร | | AP | AP-Amber | 2 | Type 2 | | BLANK No Rotation | UNV | 120-277V | |
| | | 160L-5 | | | | | | Phosphor Converted | 3 | Type 3 | | L Optic | 120 | 120V | |
| | | 160L-7 | | | | | 27K8 | 2700K, | 4F | Type 4 Forward | | rotation left | 208 | 208V | |
| | | 160L-1 | | | | | | 80 CRI | | | | R Optic | 240 | 240V | |
| | | 160L-1 | | | | | 3K7 | 3000K, | <mark>4W</mark> | Type 4 Wide | | rotation | 277 | 277V | |
| | | 160L-1 | | | | | | 70 CRI | 5QW | | | right | 347 | 347V | |
| | | 160L-1 | | | | | 3K8 | 3000K, | 3411 | Square | | | 480 | 480V | |
| | 2 Size 2 | 320L-1 | | | | | | 80 CRI | | Wide | | | | | |
| | | 320L-1 | | | | | 35K8 | 3500K, 80 CRI | | | | | | | |
| | | 320L-1 320L-2 | | | | | 3K9 | 3000K, | | | | | | | |
| | | 320L-2 | | | | | | 90 CRI | | | | | | | |
| | | 320L-2 | | | | | 4K7 | 4000K, | | | | | | | |
| | | 320L-3 | | | | | | 70 CRI | | | | | | | |
| | 3 Size 3 | 480L-2 | | | | | 4K8 | 4000K, | | | | | | | |
| | | 480L-3 480L-3 | 44000 | lume | ens | | 4K9 | 80 CRI 4000K, | | | | | | | |
| | | 480L-3 | 90 52000 | lume | ens | | <mark>5K7</mark> | 90 CRI 5000K, | | | | | | | |
| | | 480L-4 480L-4 | | | | | 5K8 | 70 CRI 5000K, | | | | | | | |
| | 4 Size 4 | 480L-4 | | | | | JKO | 80 CRI | | | | | | | |
| | | 720L-4 | | | | | | | | | | | | | |
| | | 720L-5 | | | | | | | | | | | | | |
| | | 7201-5 | | | | | | | | | | | | | |
| | | 720L-5 | | | | | | | | | | | | | |
| | | CLO | | | nen Out | ot 1 | | | | | | | | | |
| | | | Custon | Lan | | Jui | | | | | | | | | |
| | | _ | | - | | | - | - | | | | | | | |
| Mount | ing | Colo | r | | Optio | ns | | Network Co | ontrol Op | otions | | | | | |
| 4 | Arm mount for square pole/flat surface | BLT | Black Matte | | F | Fusin | g | NXWS16F | NX N | letworked Wir | eles | s Enabled Integral N | JXSMP2-L | MO PIR Occu | bancy |
| | (B3 Drill Pattern) (Does not include | | Textured | | 2PF | | Power | | | | | Dimming Photocell | | | |
| | round pole adapter) | BLS | Black Gloss | | | Feed | | NXWS40F | | | reles | s Enabled Integral N | | | |
| ۹_ | Arm mount for round pole ² | | Smooth | | 2DR | Dual | Driver | | C | | | Dimming Photocell | and Bluet | ooth Programm | • |
| 4SQU | Universal arm mount for square pole. Can be used with B3 or S2 Drill Pattern | DBT | Dark Bronze | | TE | Toole | | | | | | • | | • | arammir |
| | | | Matte Textured | | 16 | Entry | | NXW | NX N | | | s Radio Module NX | | • | |
| 1_U | Universal arm mount for round pole ² | DBS | Matte Textured Dark Bronze | | BC | Entry | | NXW WIR | NX N withc | letworked Wir | reles | s Radio Module NX | | • | |
| | Adjustable arm for pole mounting | | Matte Textured Dark Bronze Gloss Smooth | | | | light | | NX N witho Light | letworked Wir ut Sensor ^{3,4} GRID+ In-Fixtu | reles ure l | s Radio Module NX | RM2 and | • | |
| AAU | Adjustable arm for pole mounting (universal drill pattern) | DBS GTT | Matte Textured Dark Bronze Gloss Smooth Graphite Matte | | | Entry Backl Contr Termi | light rol ⁸ inal | WIR | NX N witho Light Light | letworked Wir out Sensor ^{3,4} GRID+ In-Fixtu GRID+ Modu | reles ure l | s Radio Module NX <i>N</i> odule ^{3,4} | RM2 and | • | |
| AAU AA_U | Adjustable arm for pole mounting (universal drill pattern) Adjustable arm mount for round pole ² | GTT | Matte Textured Dark Bronze Gloss Smooth Graphite Matte Textured | | вс | Entry Backl Contr | light rol ⁸ inal | WIR WIRSC | NX N witho Light Light Senson Bluet | letworked Wir ut Sensor ^{3,4} GRID+ In-Fixtu GRID+ Modu S ooth® Prograr | reles ure l ile a mma | s Radio Module NX Nodule ^{3,4} nd Occupancy Ser Ible, BTSMP-LMO PI | RM2 and nsor ^{3,4} R Occupa | Bluetooth Prog | |
| A_U AAU AA_U ADU | Adjustable arm for pole mounting (universal drill pattern) | | Matte Textured Dark Bronze Gloss Smooth Graphite Matte | | вс | Entry Backl Contr Termi | light rol ⁸ inal | WIR WIRSC Stand Alone BTS-14F | NX N withc Light Light Sensor Bluet Auto | etworked Wir ut Sensor ^{3,4} GRID+ In-Fixtu GRID+ Modu s ooth [®] Program matic Dimming | reles ure I Ile a mma g Ph | s Radio Module NX Module ^{3,4} nd Occupancy Ser Ible, BTSMP-LMO Pl otocell and 360° Lei | RM2 and nsor ^{3,4} R Occupa ns | Bluetooth Prog | th |
| AAU AA_U ADU | Adjustable arm for pole mounting (universal drill pattern) Adjustable arm mount for round pole ² Decorative upswept Arm (universal drill pattern) Decorative upswept arm mount for | GTT LGS | Matte Textured Dark Bronze Gloss Smooth Graphite Matte Textured Light Grey Gloss Smooth Light Grey | | вс | Entry Backl Contr Termi | light rol ⁸ inal | WIR WIRSC Stand Alone BTS-14F BTS-40F | NX N witho Light Light Sensor Bluet Auto Bluet Auto | etworked Wir ut Sensor ³⁴ GRID+ In-Fixtu GRID+ Modu s ooth® Program natic Dimming ooth® Program natic Dimming | reles ure I ile a g Ph mma g Ph | s Radio Module NX Indule ³⁴ Ind Occupancy Ser Ible, BTSMP-LMO PI otocell and 360° Lei Ible, BTSMP-HMO P otocell and 360° Lei | RM2 and nsor ^{3,4} R Occupa ns IR Occupa ns | Bluetooth Prog Incy Sensor wi | th ith |
| AAU AA_U ADU | Adjustable arm for pole mounting (universal drill pattern) Adjustable arm mount for round pole ² Decorative upswept Arm (universal drill pattern) | GTT LGS | Matte Textured Dark Bronze Gloss Smooth Graphite Matte Textured Light Grey Gloss Smooth Light Grey Gloss Textured Platinum Silver | | вс | Entry Backl Contr Termi | light rol ⁸ inal | WIR WIRSC Stand Alone BTS-14F | NX N witho Light Light Sensor Bluet Autor Bluet Bluet | etworked Wir ut Sensor ³⁴ GRID+ In-Fixtu GRID+ Modu S ooth® Program natic Dimming ooth® Program natic Dimming ooth® Program | reles ure I Ile a mma g Ph mma g Ph | s Radio Module NX I/odule ^{3,4} nd Occupancy Ser ible, BTSMP-LMO PI otocell and 360° Lei ible, BTSMP-HMO P | RM2 and nsor ^{3,4} R Occupa ns IR Occup ns D PIR Occ | Bluetooth Prog Incy Sensor wi | th ith |
| 4AU 4A_U 4DU 4D_U 4AF | Adjustable arm for pole mounting (universal drill pattern) Adjustable arm mount for round pole ² Decorative upswept Arm (universal drill pattern) Decorative upswept arm mount for round pole ² Mast arm fitter for 2-3/8" OD horizontal arm | GTT LGS LGT PSS | Matte Textured Dark Bronze Gloss Smooth Graphite Matte Textured Light Grey Gloss Smooth Light Grey Gloss Textured Platinum Silver Smooth | | вс | Entry Backl Contr Termi | light rol ⁸ inal | WIR WIRSC Stand Alone BTS-14F BTS-40F | NX N without Light Light Bluet Autor Bluet Autor Bluet Autor | etworked Wir ut Sensor ³⁴ GRID+ In-Fixtu GRID+ Modu S ooth® Program natic Dimming ooth® Program natic Dimming ooth® Program | reles ure I Ile a mma g Ph mma g Ph mma g Ph | s Radio Module NX Indule ³⁴ Ind Occupancy Ser Ible, BTSMP-LMO PI otocell and 360° Lei Ible, BTSMP-HMO P otocell and 360° Lei Ible, BTSMP-OMNI-G | RM2 and nsor ^{3,4} R Occupa ns IR Occup ns D PIR Occ | Bluetooth Prog Incy Sensor wi | th ith |
| AAU AA_U ADU AD_U MAF | Adjustable arm for pole mounting (universal drill pattern) Adjustable arm mount for round pole ² Decorative upswept Arm (universal drill pattern) Decorative upswept arm mount for round pole ² Mast arm fitter for 2-3/8" OD horizontal arm Knuckle | GTT LGS LGT PSS | Matte Textured Dark Bronze Gloss Smooth Graphite Matte Textured Light Grey Gloss Smooth Light Grey Gloss Textured Platinum Silver | | вс | Entry Backl Contr Termi | light rol ⁸ inal | WIR WIRSC Stand Alone BTS-14F BTS-40F BTSO-12F | NX N without Light ESENSON Bluet Auton Bluet Auton Bluet Auton 7-Pin | etworked Wir ut Sensor ^{3,4} GRID+ In-Fixtu GRID+ Modu s ooth [®] Program natic Dimming ooth [®] Program natic Dimming Receptacle ⁴ | reles ure I lle a mma g Ph mma g Ph mma g Ph | s Radio Module NX Indule ³⁴ Ind Occupancy Ser Ible, BTSMP-LMO PI otocell and 360° Lei Ible, BTSMP-HMO P otocell and 360° Lei Ible, BTSMP-OMNI-G | RM2 and nsor ^{3,4} R Occupa ns IR Occup ns D PIR Occ | Bluetooth Prog Incy Sensor wi | th ith |
| AAU AA_U ADU AD_U MAF | Adjustable arm for pole mounting (universal drill pattern) Adjustable arm mount for round pole ² Decorative upswept Arm (universal drill pattern) Decorative upswept arm mount for round pole ² Mast arm fitter for 2-3/8" OD horizontal arm Knuckle Trunnion | GTT LGS LGT PSS WHT | Matte Textured Dark Bronze Gloss Smooth Graphite Matte Textured Light Grey Gloss Smooth Light Grey Gloss Textured Platinum Silver Smooth White Matte Textured | | вс | Entry Backl Contr Termi | light rol ⁸ inal | WIR WIRSC Stand Alone BTS-14F BTS-40F BTSO-12F 7PR | NX N without Light Light Sensor Bluet Autor Bluet Autor 7-Pin 7-Pin | etworked Wir ut Sensor ^{3,4} GRID+ In-Fixtu GRID+ Modu s ooth [®] Program natic Dimming ooth [®] Program natic Dimming Receptacle ⁴ | reles ure I lle a mma g Ph mma g Ph mma g Ph | s Radio Module NX <i>Nodule</i> ³⁴ nd Occupancy Ser ble, BTSMP-LMO Pl otocell and 360° Lei ble, BTSMP-HMO P otocell and 360° Lei ble, BTSMP-OMNI-(otocell and 360° Lei | RM2 and nsor ^{3,4} R Occupa ns IR Occup ns D PIR Occ | Bluetooth Prog Incy Sensor wi | th ith |
| AAU AA_U ADU AD_U MAF | Adjustable arm for pole mounting (universal drill pattern) Adjustable arm mount for round pole ² Decorative upswept Arm (universal drill pattern) Decorative upswept arm mount for round pole ² Mast arm fitter for 2-3/8" OD horizontal arm Knuckle | GTT LGS LGT PSS WHT | Matte Textured Dark Bronze Gloss Smooth Graphite Matte Textured Light Grey Gloss Smooth Light Grey Gloss Textured Platinum Silver Smooth White Matte | | вс | Entry Backl Contr Termi | light rol ⁸ inal | WIR WIRSC Stand Alone BTS-14F BTS-40F BTSO-12F 7PR 7PR-SC | NX N withc Light Light Sensor Bluet Auto Bluet Auto Bluet Auto 7-Pin 7-Pin 3-Pin | etworked Wir ut Sensor ^{3,4} GRID+ In-Fixtu GRID+ Modu s ooth® Program natic Dimming ooth® Program natic Dimming Receptacle ⁴ Receptacle v twist lock ⁴ | reles ure I lle a mma g Ph mma g Ph mma g Ph | s Radio Module NX <i>Nodule</i> ³⁴ nd Occupancy Ser ble, BTSMP-LMO Pl otocell and 360° Lei ble, BTSMP-HMO P otocell and 360° Lei ble, BTSMP-OMNI-(otocell and 360° Lei | RM2 and nsor ^{3,4} R Occupa ns IR Occup ns D PIR Occ | Bluetooth Prog Incy Sensor wi | th ith |
| AAU AA_U ADU AD_U | Adjustable arm for pole mounting (universal drill pattern) Adjustable arm mount for round pole ² Decorative upswept Arm (universal drill pattern) Decorative upswept arm mount for round pole ² Mast arm fitter for 2-3/8" OD horizontal arm Knuckle Trunnion Wall Bracket, horizontal tenon with MAF Wall mount bracket with decorative | GTT LGS LGT PSS WHT WHS | Matte Textured Dark Bronze Gloss Smooth Graphite Matte Textured Light Grey Gloss Smooth Light Grey Gloss Textured Platinum Silver Smooth White Matte Textured White Gloss | | вс | Entry Backl Contr Termi | light rol ⁸ inal | WIR WIRSC Stand Alone BTS-14F BTS-40F BTSO-12F 7PR 7PR-SC 3PR | NX N withc Light Light Sensor Bluet Autor Bluet Autor 7-Pin 7-Pin 3-Pin 3-Pin | etworked Wir ut Sensor ^{3,4} GRID+ In-Fixtu GRID+ Modu s ooth® Program natic Dimming ooth® Program natic Dimming Receptacle ⁴ Receptacle v twist lock ⁴ | reles ure I ile a mma g Ph mma g Ph with | s Radio Module NX Addule ³⁴ nd Occupancy Ser ble, BTSMP-LMO Pl otocell and 360° Lei ble, BTSMP-HMO P otocell and 360° Lei ble, BTSMP-OMNI-(otocell and 360° Lei shorting cap ⁴ | RM2 and nsor ^{3,4} R Occupa ns IR Occup ns D PIR Occ | Bluetooth Prog Incy Sensor wi | th ith |
| AAU AA_U ADU AD_U MAF C VB VM | Adjustable arm for pole mounting (universal drill pattern) Adjustable arm mount for round pole ² Decorative upswept Arm (universal drill pattern) Decorative upswept arm mount for round pole ² Mast arm fitter for 2-3/8" OD horizontal arm Knuckle Trunnion Wall Bracket, horizontal tenon with MAF Wall mount bracket with decorative upswept arm | GTT LGS LGT PSS WHT WHS | Matte Textured Dark Bronze Gloss Smooth Graphite Matte Textured Light Grey Gloss Smooth Light Grey Gloss Textured Platinum Silver Smooth White Matte Textured White Gloss Smooth | | вс | Entry Backl Contr Termi | light rol ⁸ inal | WIR WIRSC Stand Alone BTS-14F BTS-40F BTSO-12F 7PR 7PR-SC 3PR 3PR-SC | NX N withc Light Sensor Bluet Autor Bluet Autor Bluet Autor 7-Pin 3-Pin 3-Pin 3-Pin | etworked Wir ut Sensor ^{3,4} GRID+ In-Fixtu GRID+ Modu s ooth® Program natic Dimming ooth® Program natic Dimming Receptacle ⁴ Receptacle v twist lock ⁴ receptacle w PCR with pho | reles ure I ile a mma g Ph mma g Ph with | s Radio Module NX Addule ³⁴ nd Occupancy Ser ble, BTSMP-LMO Pl otocell and 360° Lei ble, BTSMP-HMO P otocell and 360° Lei ble, BTSMP-OMNI-(otocell and 360° Lei shorting cap ⁴ | RM2 and nsor ^{3,4} R Occupa ns IR Occup ns D PIR Occ | Bluetooth Prog Incy Sensor wi | th ith |
| AAU AA_U ADU AD_U MAF C WB WM | Adjustable arm for pole mounting (universal drill pattern) Adjustable arm mount for round pole ² Decorative upswept Arm (universal drill pattern) Decorative upswept arm mount for round pole ² Mast arm fitter for 2-3/8" OD horizontal arm Knuckle Trunnion Wall Bracket, horizontal tenon with MAF Wall mount bracket with decorative | GTT LGS LGT PSS WHT WHS VGT | Matte Textured Dark Bronze Gloss Smooth Graphite Matte Textured Light Grey Gloss Smooth Light Grey Gloss Textured Platinum Silver Smooth White Matte Textured White Gloss Smooth Verde Green | | вс | Entry Backl Contr Termi | light rol ⁸ inal | WIR WIRSC Stand Alone BTS-14F BTS-40F BTSO-12F 7PR 7PR-SC 3PR 3PR-SC 3PR-TL | NX N witho Light Sensor Bluet Autor Bluet Autor Bluet Autor 7-Pin 3-Pin 3-Pin 3-Pin 3-Pin | etworked Wir ut Sensor ^{3,4} GRID+ In-Fixtu GRID+ Modu s ooth® Program natic Dimming ooth® Program natic Dimming Receptacle ⁴ Receptacle v twist lock ⁴ receptacle w PCR with pho ols | reles ure I lle a g Ph mma g Ph mma g Ph mma g Ph vith | s Radio Module NX Addule ³⁴ nd Occupancy Ser ble, BTSMP-LMO Pl otocell and 360° Lei ble, BTSMP-HMO P otocell and 360° Lei ble, BTSMP-OMNI-(otocell and 360° Lei shorting cap ⁴ | RM2 and nsor ^{3,4} R Occupa ns IR Occup ns D PIR Occ | Bluetooth Prog Incy Sensor wi | th ith |
| AAU AA_U ADU AD_U MAF K K WB | Adjustable arm for pole mounting (universal drill pattern) Adjustable arm mount for round pole ² Decorative upswept Arm (universal drill pattern) Decorative upswept arm mount for round pole ² Mast arm fitter for 2-3/8" OD horizontal arm Knuckle Trunnion Wall Bracket, horizontal tenon with MAF Wall mount bracket with decorative upswept arm | GTT LGS LGT PSS WHT WHS VGT | Matte Textured Dark Bronze Gloss Smooth Graphite Matte Textured Light Grey Gloss Smooth Light Grey Gloss Textured Platinum Silver Smooth White Matte Textured White Gloss Smooth Verde Green Textured | | вс | Entry Backl Contr Termi | light rol ⁸ inal | WIR WIRSC Stand Alone BTS-14F BTS-40F BTSO-12F 7PR 7PR-SC 3PR 3PR-SC 3PR-TL Programme | NX N witho Light Sensor Bluet Autor Bluet Autor Bluet Autor 7-Pin 3-Pin 3-Pin 3-Pin 3-Pin 3-Pin Sens | etworked Wir ut Sensor ^{3,4} GRID+ In-Fixtu GRID+ Modu s ooth® Program natic Dimming ooth® Program natic Dimming Receptacle ⁴ Receptacle v twist lock ⁴ receptacle w PCR with pho ols | reles ure I lle a g Ph mma g Ph mma g Ph with y vith | s Radio Module NX Addule ³⁴ nd Occupancy Ser ble, BTSMP-LMO Pl otocell and 360° Lei ble, BTSMP-HMO P otocell and 360° Lei ble, BTSMP-OMNI-(otocell and 360° Lei shorting cap ⁴ horting cap ⁴ ontrol ⁴ | RM2 and nsor ^{3,4} R Occupa ns IR Occup ns D PIR Occ | Bluetooth Prog Incy Sensor wi | th ith |

1 - Items with a grey background can be done as a custom order. Contact brand representative for more information
 2 – Replace "_" with "2" for 2.5"-3.4" OD pole, "3" for 3.5"-4.13" OD pole, "4" for 4.18"-5.25" OD pole, "5" for 5.5"-6.5" OD pole

3 – Networked Controls cannot be combined with other control options

4 – Not available with 2PF option

5 - Not available with Dual Driver option

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Photocontrols

Button Photocontrol 4,7

B – BC not available on 4F and type 5 distributions
 At least one SCPREMOTE required to program SCP motion sensor. Must select 8ft or 40ft.

6 – Some voltage restrictions may apply when combined with controls 7 – Not available with 480V

PC



| DATE: | LOCATION: |
|------------|-----------|
| TYPE: | PROJECT: |
| CATALOG #· | |

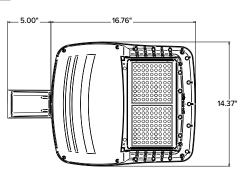
ORDERING GUIDE (CONT'D)

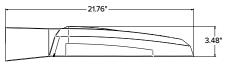
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| | - - | - | | - | | Current Control Sol | utions — Accessories (Sold Separately) | |
|---------------|--|---|--|-------------------|-------------------------------|---|--|--|
| ccessory Type | Size | Option | | Color | r | NX Lighting Contro | ls | |
| HD Shield | Size 1 Size 2 Size 3 Size 4 | HSS-90-B HSS-90-F HSS-90-S HSS-270-BSS HSS-270-FSS HSS-270-FSB | House Side Shield 90° Back House Side Shield 90° Front House Side Shield 90° Side House Side Shield 270° Back/Side/Side House Side Shield 270° Front/Side/Side House Side Shield 270° Front/Side/Back | BLS BLT DBS | Gloss Smooth | NXOFM- 1R1D-UNV LightGRID+ Lighting WIR-RME-L | On-fixture Module (7-pin or 5-pin), | |
| | | HSS-270-FSB HSS-360 | House Side Shield 270° Front/Side/Back House Side Shield 360° | DBT | Dark Bronze Matte Textured | | On / Off / Dim, Daylight Sensor with LightGRID+ Radio, 110–480VAC | |
| ITG Mounting | | BC | Back Light Control Arm Mount for square pole/flat surface | GTT | Graphite Matte Textured | SCP-REMOTE | Remote Control for SCP/_F option. Order at least one per project to | |
| | | ASQU AAU | Universal Arm Mount for square pole Adjustable Arm for pole mounting | LGS | Light Gray Gloss Smooth | | program and control the occupancy sensor | |
| | | ADU | Decorative upswept Arm | PSS WHS | Platinum Silver Smooth | For additional information related to these accessories please currentlighting.com/beacon. Options provided for use with inte sensor, please view specification sheet ordering information ta for details. | | |
| | | RPA MAF | Round Pole Adapter Mast Arm Fitter for 2-3/8" OD horizontal | | White Gloss Smooth | | | |
| | | к | arm Knuckle | WHT | White Matte Textured | | | |
| | | т | Trunnion | VGT | | | | |
| | | WB | Wall Bracket (compatible with universal arm mounts) | LEG | Legacy Colors | | | |
| | - | - | | | r Option | | | |
| ccessory Type | | Option | | cc | Custom Color | J | | |

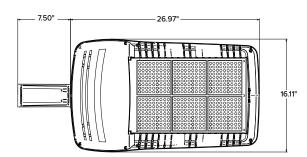


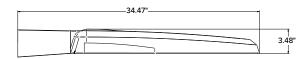
SIZE 1





SIZE 3

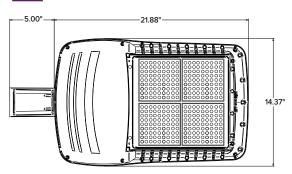


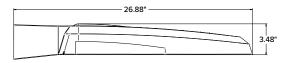


| | | | EPA | | |
|----------------|--------------|--------------|--------------|--------------|------------|
| | VP1 (Size 1) | VP2 (Size 2) | VP3 (Size 3) | VP4 (Size 4) | Config. |
| Single Fixture | 0.454 | 0.555 | 0.655 | 0.698 | Ģ |
| Two at 180 | 0.908 | 1.110 | 1.310 | 1.396 | ₽~₽ |
| Two at 90 | 0.583 | 0.711 | 0.857 | 0.948 | ę |
| Three at 90 | 1.037 | 1.266 | 1.512 | 1.646 | |
| Three at 120 | 0.943 | 1.155 | 1.392 | 1.680 | CHO CHO |
| Four at 90 | 1.166 | 1.422 | 1.714 | 1.896 | |

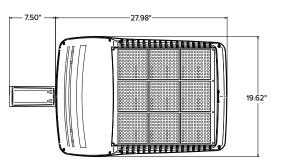
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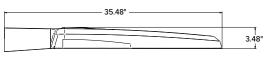
SIZE 2





SIZE 4





| | We | ight |
|--------------|------|------|
| | lbs | kgs |
| VP1 (Size 1) | 13.7 | 6.2 |
| VP2 (Size 2) | 16.0 | 7.26 |
| VP3 (Size 3) | 25.9 | 11.7 |
| VP4 (Size 4) | 30.8 | 13.9 |

Current 🗐

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| DATE: | LOCATION: |
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| TYPE: | PROJECT: |
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MOUNTING



A-STRAIGHT ARM MOUNT

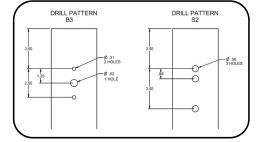
Fixture ships with integral arm for ease of installation. Compatible with Current Outdoor B3 drill pattern for ease of installation on square poles. For round poles add applicable suffix (2/3/4/5)

ASQU-UNIVERSAL ARM MOUNT

Universal mounting block for ease of installation. Compatible with drill patterns from 2.5" to 4.5" and Current drill pattern S2. For round poles add applicable suffix (2/3/4/5)



5.0'





7.5"





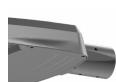
AAU-ADJUSTABLE ARM FOR POLE MOUNTING

Rotatable arm mounts directly to pole. Compatible with drill patterns from 2.5" to 4.5" and Current drill pattern S2 and B3. For round poles add applicable suffix (2/3/4/5). Rotatable in 15° aiming angle increments. Micro Strike configurations have a 45° aiming limitation.

Strike configurations have a 30° aiming limitation.

ADU-DECORATIVE UPSWEPT ARM

Upswept Arm compatible with drill patterns from 2.5" to 4.5" and Current drill pattern S2. For round poles add applicable suffix (2/3/4/5).



MAF-MAST ARM FITTER

Fits 2-3/8" OD horizontal tenons.

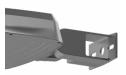




K-KNUCKLE

Knuckle mount 15° aiming angle increments for precise aiming and control, fits 2-3/8" tenons or pipes. Micro Strike configurations have a 45° aiming limitation. Strike configurations have a 30° aiming limitation.





T-TRUNNION

Trunnion for surface and crossarm mounting using (1) 3/4" or (2) 1/2" size through bolts. Micro Strike configurations have a 45° aiming limitation. Strike configurations have a 30° aiming limitation.

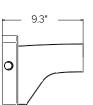




Current 🗐

WM-WALL MOUNT

Compatible with universal arm mount, adjustable arm mount, and decorative arm mount. The WA option uses the same wall bracket but replaces the decorative arm with an adjustable arm.



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| DATE: | LOCATION: |
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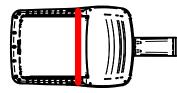
ADDITIONAL INFORMATION (CONTINUED)

HOUSE SIDE SHIELD FIELD INSTALL ACCESSORIES

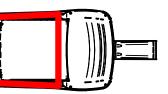
HSS has a depth of 5" for all Viper sizes

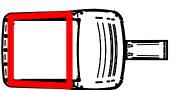
Not to be used with Occupancy Sensors as the shield may block the light to the sensor.

VPR2x HSS-90-B-xx



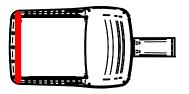




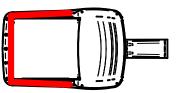


VPR2x HSS-360-xx

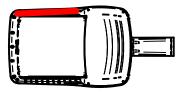
VPR2x HSS-90-F-xx



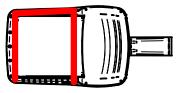
VPR2x HSS-270-FSS-xx



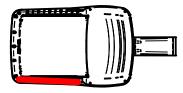
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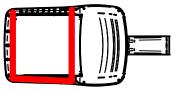
VPR2x HSS-270-FSB-xx



VPR2x HSS-90-S-xx



VPR2x HSS-270-FSB-xx



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The RWSC LED radius wall sconce series offers a combination of light distributions that wash the building facade while the radial soft form housing accentuates building architectural design elements in all commercial and residential applications.

The RWSC LED provides excellent illumination with a high efficiency LED light source of 72 or 36 mid power LEDS that deliver up to 2,400 lumens and up to 109 lumens per watt.

The RWSC LED fixture has become a building standard and is stocked as a quick ship item in many colors and distributions.

Features

- Durable cast aluminum housing
- Integrated design eliminates high angle brightness
- Completely sealed, flat tempered glass lenses, UL listed for use in wet locations

RWSC features Intelligent Mounting Bracket which helps save time and money by allowing only one person to easily install. The small mounting bracket is very user friendly and features an integrated level bubble on the

DLC, Downlight only, full cut-off

Dimming is an option (consult factory)

Operating Temperature

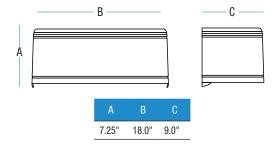
-30°C to 40°C

Electrical:

Mounting



Dimensions

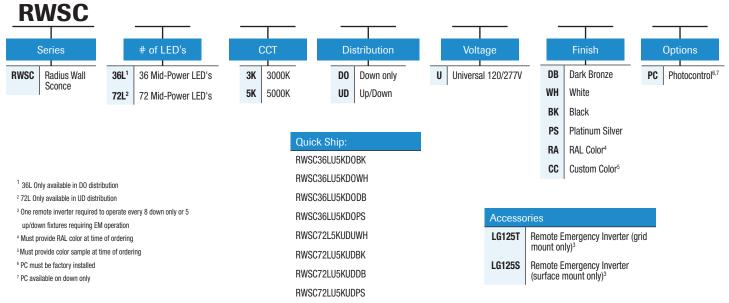


Certifications/Listings

bracket ensuring fixture installation will always be perfect.



Ordering Information Ordering Example: RWSC - XXL - XK - XX - U - XX - XX



Web: www.securitylighting.com

2100 Golf Road, Suite 460, Rolling Meadows, IL 60008-4704 Phone: 1-800-LIGHT IT, 1-800-544-4848, Fax: 847-279-0642 Copyright ©2016 Security Lighting, a division of Hubbell Lighting, Inc. All Rights Reserved. • Specifications subject to change without notice. • Printed in U.S.A. • SLS0027 04/18







Performance Data

| | | | | 5K (5000K nom | inal, 80 C | :RI) | | | 3K (3000K no | ominal, 8 | 0 CRI) | | |
|-----------|------------------------------|--------------|-------------------|------------------|------------------|------|-----|-----|-----------------|------------------|--------|-----|-----|
| # of LEDS | Drive Current (Milliamps) | System Watts | Distribution Type | Lumens | LPW ¹ | В | U | G | Lumens | LPW ¹ | В | U | G |
| 36 | 350 | 14.4 | down | 1565 | 108.7 | 0 | 0 | 0 | 1561 | 109.1 | 0 | 0 | 0 |
| 72 | 350 | 25 | up/down | 2400 | 96 | n/a | n/a | n/a | 2391 | 97.6 | n/a | n/a | n/a |

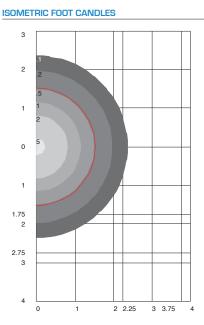
¹Lumen values are from photometric tests performed in accordance with IESNA LM-79-08. Data is considered to be representative of the configurations shown. Actual performance may differ as a result of end-user environment and application.

Photometric Data

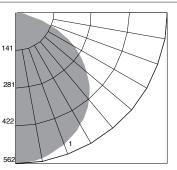
| LUMINAIRE | DATA |
|-----------|------|
|-----------|------|

| RWSC-36L-5K-DO- | U-PS |
|----------------------|----------------|
| Wall Mounting Out | door Fixture |
| DRIVER LED |)30W-085-C0350 |
| Lamp | LED |
| Lumens | 1565 |
| Watts | 14.4 |
| Efficacy | 109 |
| Mounting | Wall |
| Spacing Criterion ((| 0-180) 1.20 |

| ZONE | LUMENS | % FIXT . |
|-------------------------|--------|-----------------|
| Front Low (0-30) | 218.6 | 14.0 |
| Front Medium (30-60) | 424.2 | 27.1 |
| Front High (60-80) | 135.5 | 8.7 |
| Front Very High (80-90) | 4.2 | 0.3 |
| Back Low (0-30) | 218.6 | 14.0 |
| Back Medium (30-60) | 424.2 | 27.1 |
| Back High (60-80) | 135.5 | 8.7 |
| Back Very High (80-90) | 4.2 | 0.3 |
| Uplight Low (90-100) | 0.0 | 0.0 |
| Uplight High (100-180) | 0.0 | 0.0 |



POLAR GRAPH



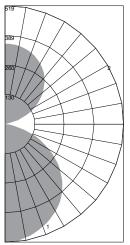
| LUMINAIRE DATA |
|-----------------------------|
| RWSC-72L-5K-UD-U-PS |
| Wall Mounting Outdoor Fixtu |

| Wall Mounting Outo | loor Fixture |
|----------------------|---------------|
| DRIVER LED | 50W-142-C0350 |
| Lamp | LED |
| Lumens | 2400 |
| Watts | 25 |
| Efficacy | 96 |
| Mounting | Wall |
| Spacing Criterion (C |)-180) 1.20 |

| ZONE | LUMENS | % FIXT . |
|-------------------------|--------|-----------------|
| Front Low (0-30) | 201.4 | 8.4 |
| Front Medium (30-60) | 387.5 | 16.1 |
| Front High (60-80) | 119.6 | 5.0 |
| Front Very High (80-90) | 3.5 | 0.1 |
| Back Low (0-30) | 201.4 | 8.4 |
| Back Medium (30-60) | 387.5 | 16.1 |
| Back High (60-80) | 119.6 | 5.0 |
| Back Very High (80-90) | 3.5 | O.1 |
| Uplight Low (90-100) | 5.6 | 0.2 |
| Uplight High (100-180) | 970.7 | 40.4 |

SOMETRIC FOOT CANDLES

POLAR GRAPH





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CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION CASE MEMO

PLANNING AND ZONING DEPARTMENT 385 S. GOLIAD STREET • ROCKWALL, TX 75087 PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

| TO: | Planning and Zoning Commission |
|--------------|---|
| DATE: | November 14, 2023 |
| APPLICANT: | Juan Vasquez; Vasquez Engineering, LLC |
| CASE NUMBER: | SP2023-036; Site Plan for Kennor Rockwall |

SUMMARY

Discuss and consider a request by Juan J. Vasquez of Vasquez Engineering, LLC on behalf of Shae Shoulders of Kennor Rockwall Retail, LLC for the approval of a Site Plan for two (2) commercial/retail buildings on a 1.93-acre parcel of land identified as Lots 8 & 9, Block A, Dalton-Goliad Addition, City of Rockwall, Rockwall County, Texas, zoned General Retail (GR) District, situated within the North SH-205 Overlay (N. SH-205 OV) District, addressed as 3611 & 3775 N. Goliad Street [SH-205], and take any action necessary.

BACKGROUND

The subject property was annexed by the City Council on November 7, 1983 by Ordinance No. 83-57 [Case No. A1983-002]. Based on the City's historic zoning maps the subject property was rezoned from an Agricultural (AG) District to a General Retail (GR) District at some point between November 7, 1983 and December 7, 1993. On February 15, 2016, the City Council approved a preliminary plat [Case No. P2016-004] for Lots 1-6, Block A, Dalton-Goliad Addition. This approval was followed by a final plat [Case No. P2016-034], which was approved by the City Council on August 1, 2016. This final plat created Lots 1-3, Block A, Dalton-Goliad Addition. On December 4, 2017, the City Council approved a replat [Case No. P2017-062] subdividing Lot 2, Block A into Lots 4 & 5, Block A and establishing the subject property (i.e. Lot 4, Block A, Dalton-Goliad Addition); however, this replat was never filed. Prior to the replat, a Specific Use Permit (SUP) [S-171; Ordinance No. 17-39; Case No. Z2017-029] was approved by the City Council on August 7, 2017. This approval allowed a Restaurant, Greater Than 2,000 SF with a Drive-Through or Drive-In (i.e. Freddy's Frozen Custard) on the subject property. On September 12, 2017, the Planning and Zoning Commission approved a site plan [Case No. SP2017-024] for the proposed restaurant; however, the restaurant was never constructed, and the site plan and the Specific Use Permit (SUP) have since expired. On December 7, 2020, the City Council approved a conveyance plat [Case No. P2020-048] for the purpose of subdividing one (1) lot (i.e. Lot 2. Block A. Dalton-Goliad Addition) into four (4) lots (i.e. Lots 4-7, Block A. Dalton Goliad Addition) to convey the property. This conveyance plat established the subject property as Lot 5, Block A, Dalton-Goliad Addition. On March 15, 2021, the City Council denied a Specific Use Permit (SUP) request [Case No. Z2021-002] for a Self-Service Car Wash. On June 1, 2021, the City Council approved a replat [Case No. P2021-016] that established the subject property as Lots 8 & 9. Block A. Dalton-Goliad Addition. On October 2, 2023, the City Council approved a Specific Use Permit (SUP) [Case No. Z2023-042] for a Restaurant, Greater Than 2,000 SF with a Drive-Through or Drive-In. The subject property is currently vacant.

PURPOSE

On October 20, 2023, the applicant – *Juan Vasquez of Vasquez Engineering, LLC* -- submitted an application requesting the approval of a <u>Site Plan</u> for the purpose of constructing two (2) restaurant/retail buildings on the subject property.

ADJACENT LAND USES AND ACCESS

The subject property is addressed as 3611 & 3775 N. Goliad Street [SH-205]. The land uses adjacent to the subject property are as follows:

- <u>North</u>: Directly north of the subject property is Phase 2 of the Harlan Park Subdivision, which consists of 30 single-family residential lots. Beyond this is Phase 1 of the Harlan Park Subdivision, which consists of 65 single-family residential lots. Both of these subdivisions are zoned Single-Family 10 (SF-10) District.
- South: Directly south of the subject property are Lots 1, 3, & 6, Block A, Dalton-Goliad Addition. Lot 3 is currently occupied by a strip retail center with several tenants (*i.e. Marco's Pizza, Hittson Dental, and Venice Nail Salon*). Adjacent to and south of the strip center is Lot 1, which is occupied with an Aldi's Grocery Store. These properties are zoned General Retail (GR) District. South of this is Dalton Road, which is identified as a M4U (*i.e. major collector, four [4] lane, undivided roadway*) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan.
- *East*: Directly east of the subject property is N. Goliad Street [*SH-205*], which is identified as a A4D (*i.e. major arterial, four [4] lane, divided roadway*) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this is the corporate limits of the City followed by properties in the City's Extraterritorial Jurisdiction (ETJ) that have existing single-family homes situated on them. Adjacent to and south of this area is a Sonic Drive-In and 7-Eleven Gas Station, both of which are situated within the City limits and are zoned General Retail (GR) District.
- <u>West</u>: Directly west of the subject property is a vacant 2.402-acre parcel of land (*i.e. Lot 6, Block A, Dalton-Goliad Addition*). This property is zoned General Retail (GR) District. Beyond this is the Nebbie Williams Elementary School, which is situated on a 11.599-acre parcel of land (*i.e. Lot 1, Block A, Rockwall School North Addition*). This property is zoned Single-Family 10 (SF-10) District.

DENSITY AND DIMENSIONAL REQUIREMENTS

According to Section 01, Land Use Schedule, of Article 04, Permissible Uses, of the Unified Development Code (UDC), a General Retail Building is permitted by-right in a General Retail (GR) District. In addition, Specific Use Permit No. S-316 allows a Restaurant, 2,000 SF or Greater, with Drive Through or Drive-In on the subject property in accordance with the requirements of Ordinance No. 23-57. The submitted site plan, landscape plan, photometric plan, and building elevations generally conform to the technical requirements contained within the Unified Development Code (UDC) for a property located within a General Retail (GR) District. A summary of the density and dimensional requirements for the subject property are as follows:

| Ordinance Provisions | Zoning District Standards | Conformance to the Standards |
|----------------------------------|--|--------------------------------|
| Minimum Lot Area | 6,000 SF | X=1.93-acres; In Conformance |
| Minimum Lot Frontage | 60-Feet | X= 278.84-feet; In Conformance |
| Minimum Lot Depth | 100-Feet | X=292.95-feet; In Conformance |
| Minimum Front Yard Setback | 15-Feet | X>15-feet; In Conformance |
| Minimum Rear Yard Setback | 10-Feet | X>10-feet; In Conformance |
| Minimum Side Yard Setback | 10-Feet | X>10-feet; In Conformance |
| Maximum Building Height | 36-Feet | X=22-feet; In Conformance |
| Max Building/Lot Coverage | 40% | X=14.73%; In Conformance |
| Minimum Number of Parking Spaces | 1 Parking Space/100 SF (Restaurant) 1 Parking Space/250 SF (Retail) 92 Required Parking Spaces | X=96; In Conformance |
| Minimum Landscaping Percentage | 20% | X=20.72%; In Conformance |
| Maximum Impervious Coverage | 85-90% | X=79.27%; In Conformance |

CONFORMANCE WITH THE CITY'S CODES

According to Subsection 04.04, *General Retail (GR) District*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC), "(t)he General Retail (GR) District is a zoning district intended to provide <u>limited</u> retail and service uses for one (1) or more neighborhoods. The land uses specified in this district include most types of retail and office activity, and are typically located on/at the intersections of major roadways." In this case, the applicant is proposing two (2) restaurant/retail buildings. In addition, the subject property is close to the intersection of FM-552 and N. Goliad Street [SH-

205], and has access to both of these roadways. This section goes on to state that "(t)he General Retail (GR) District is not a major commercial/retail district, and should avoid intensive commercial land uses that carry large volumes of retail traffic. The noise, traffic, litter, late night hours, and other influences that could be harmful to residential areas require adequate buffering and screening from residential areas." Staff should point out that the subject property is directly adjacent to a residentially zoned property along the northern boundary. Given this, the applicant is proposing three (3) tiered screening (*i.e.* [1] a small to mid-sized shrub, [2] large shrubs or accent trees, and [3] canopy trees on 20-foot centers) along the northern property line. Based on staff's review of the applicant's project compared to the City's codes, the request does appear to meet the City's requirements.

CONFORMANCE WITH OURHOMETOWN VISION 2040 COMPREHENSIVE PLAN

According to the Future Land Use Plan contained in the OURHometown Vision 2040 Comprehensive Plan, the subject property is situated within the <u>North Lakeshore District</u> and is designated for <u>Commercial/Retail</u> land uses. More specifically the <u>North Lakeshore District</u> describes these land uses as <u>Neighborhood/Convenience Centers</u>, which should "... support the existing and proposed residential developments and should be compatible in scale with the adjacent residential structures." In this case, the proposed request is consistent with the adjacent <u>Commercial/Retail</u> development, and is in conformance with the Future Land Use Map contained in the OURHometown Vision 2040 Comprehensive Plan.

ARCHITECTURAL REVIEW BOARD (ARB) RECOMMENDATION

On November 1, 2023 the Architecture Review Board (ARB) reviewed the building elevations provided by the applicant. The ARB requested the applicant to match the materials of the adjacent building, remove the stucco banding, and provide awnings over the west side doors. The applicant has made the changes to the building elevations, which will be reviewed by the ARB prior to the November 14, 2023 meeting.

CONDITIONS OF APPROVAL

If the Planning and Zoning Commission chooses to approve the applicant's <u>Site Plan</u> for the construction of two (2) restaurant/retail buildings on the *subject property*, then staff would propose the following conditions of approval:

- (1) All staff comments provided by the Planning, Engineering and Fire Department must be addressed prior to the submittal of engineering plans.
- (2) Any construction resulting from the approval of this <u>Site Plan</u> shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

| | DEVELOPMENT APPLIC City of Rockwall Planning and Zoning Department 385 S. Goliad Street Rockwall, Texas 75087 | | PLANI <u>NOTE</u> CITY L SIGNE DIREC CITY E | F USE ONLY INING & ZONING CASE NO. THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE ED BELOW. CTOR OF PLANNING: ENGINEER: |
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| | APPROPRIATE BOX BELOW TO INDICATE THE TYPE | | | |
| PRELIMINARY FINAL PLAT (\$: AREPLAT (\$: AMENDING OF AMENDING OF PLAT REINSTA SITE PLAN APPLI SITE PLAN (\$2: | (\$100.00 + \$15.00 ACRE) ¹ PLAT (\$200.00 + \$15.00 ACRE) ¹ 300.00 + \$20.00 ACRE) ¹ 00 + \$20.00 ACRE) ¹ RMINOR PLAT (\$150.00) TEMENT REQUEST (\$100.00) | ☐ ZONING ☐ SPECIFI ☐ PD DEV OTHER AP ☐ TREE RI ☐ VARIAN <u>NOTES:</u> ¹ IN DETERMIN PER ACRE AMO ² A \$1,000.00 | CHAI IC USI ELOP PLICA EMOV CE RE | CATION FEES: NGE (\$200.00 + \$15.00 ACRE) ¹ E PERMIT (\$200.00 + \$15.00 ACRE) ^{1&2} PMENT PLANS (\$200.00 + \$15.00 ACRE) ¹ ATION FEES: /AL (\$75.00) EQUEST/SPECIAL EXCEPTIONS (\$100.00) ² HE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE. /ILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT CTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING |
| PROPERTY INF | ORMATION [PLEASE PRINT] | | | |
| ADDRES | s Not assigned yet | | | |
| SUBDIVISIO | N Dalton Goliad Addition | | | LOT 8&9 BLOCK A |
| GENERAL LOCATIO | West side of S.H. 205 two lots n | orth of Dalto | on F | Road |
| ZONING, SITE P | LAN AND PLATTING INFORMATION [PLEA | SE PRINT | | |
| | GR w/N SH 205 Overlay | CURRENT | USE | Vacant |
| PROPOSED ZONIN | | PROPOSED | USE | Retail/Rest. Shopping Center |
| ACREAG | E 1.93 LOTS [CURRENT | the second se | | LOTS [PROPOSED] 1 |
| SITE PLANS AN REGARD TO ITS | D PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE T | - THAT DUE TO THE I | PASSA 'S BY ' | AGE OF <u>HB3167</u> THE CITY NO LONGER HAS FLEXIBILITY WITH THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL |
| OWNER/APPLIC | ANT/AGENT INFORMATION [PLEASE PRINT/CI | HECK THE PRIMARY | CONT | ACT/ORIGINAL SIGNATURES ARE REQUIRED] |
| | Kennor Rockwall Retail, LLC | APPLICA | NT \ | Vasquez Engineering, LLC |
| CONTACT PERSON | Shane Shoulders | CONTACT PERS | | Juan J. Vasquez |
| ADDRESS | 8848 Greenville Ave. | ADDRE | | 1919 S. Shiloh Road |
| | | | | Suite 440 |
| CITY, STATE & ZIP | Dallas, TX 75243 | CITY, STATE & Z | - 8 | Garland, TX 75042 |
| PHONE | 903-819-1208 | PHO | | 972-278-2948 |
| E-MAIL | sshoulders@sbcglobal.net | E-MA | AIL j | jvasquez@vasquezengineering.com |

NOTARY VERIFICATION [REQUIRED]

Shane Shoulder [OWNER] THE UNDERSIGNED, WHO XMA BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 280.60 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE ______ DAY OF \$ 288.60 \$ 286.60 (2002) (200 SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION." łh

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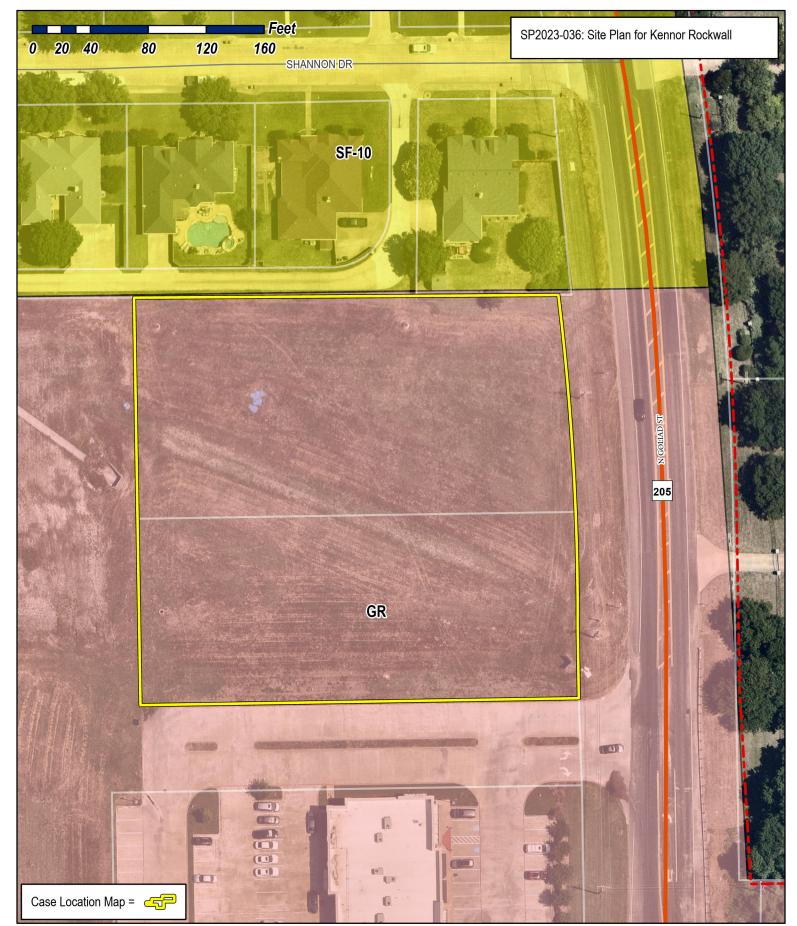
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OWNER'S SIGNATURE

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

DEVELOPMENT APPLICATION • CTY OF ROCKWALL • 385 (O) TH GOLIAD STREET • ROCKWALL, TX 75087 • [P] (972) 771-7745

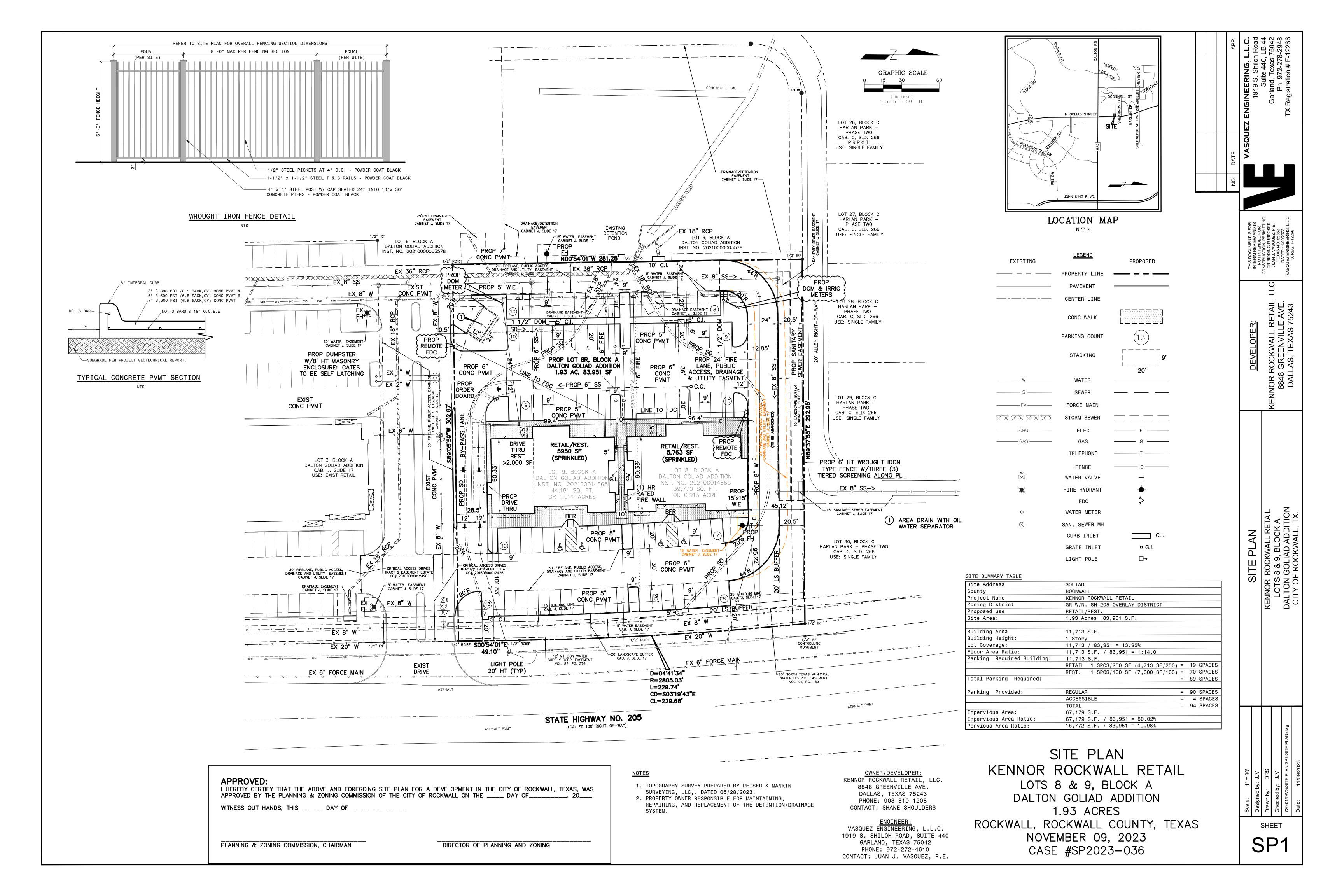




City of Rockwall Planning & Zoning Department 385 S. Goliad Street Rockwall, Texas 75087 (P): (972) 771-7745 (W): www.rockwall.com

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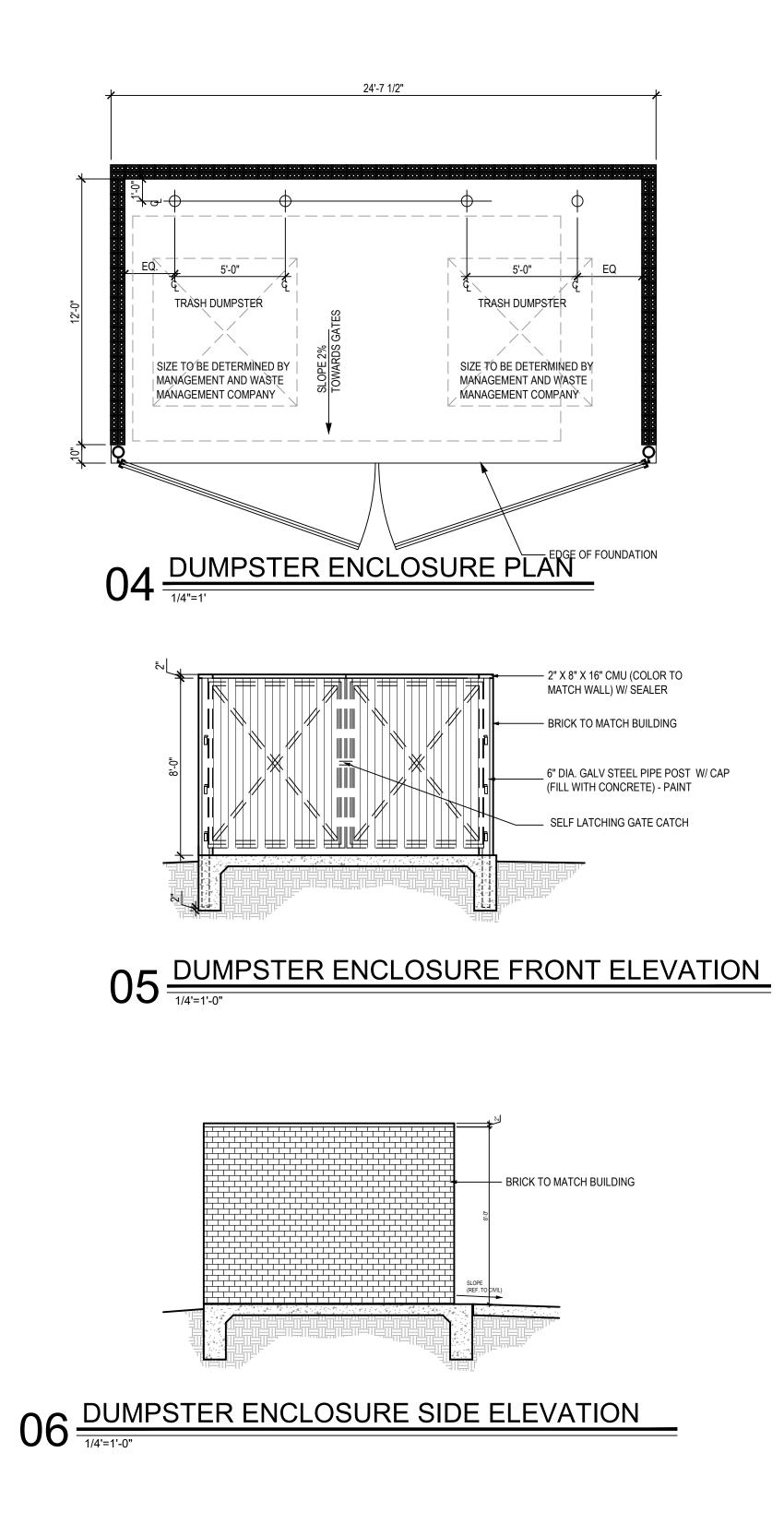


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| E | | 434 | 36% | 370 | 29% | 416 | 28% | 588 | 31% | | | | | | THIS D INTER | ONSTRI OR BII JUAN TE DA | |
| (BR1) | | 143 | 12% | 0 | 0% | 535 | 36% | 0 | 0% | 1 | | | L C M | | | <u>ں</u> | \$ |
| K (BR2) | | 614 | 51% | 883 | 69% | 479 | 32% | 1258 | 67% | 1 | | | | | | , LLC | |
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| WNER/DEVELOPE ROCKWALL RETA 8 GREENVILLE LAS, TEXAS 75 NE: 903-819-1 CT: SHANE SHOU <u>ENGINEER:</u> Z ENGINEERING SHILOH ROAD, RLAND, TEXAS 7 ONE: 972-272-4 | <u>R:</u> IL, LLC. AVE. 5243 208 ULDERS ULDERS 5, L.L.C. SUITE 440 75042 4610 |) | | | | BU ENN L DA | ILDI OR OT LTON | NG RO 8 & 1.93 OCK | PLANN ELE CKW 9, E DLIAE MALL R 20 | _ day of Ning and EVATI VALL BLOCK D ADDI | ZONING ONS RETA A TION ITY, 1 3 | 41L | | - | BUILDING ELEVATIONS - BLDG 01 | KENNOR ROCKWALL RETAIL LOT 8R, BLOCK A | |
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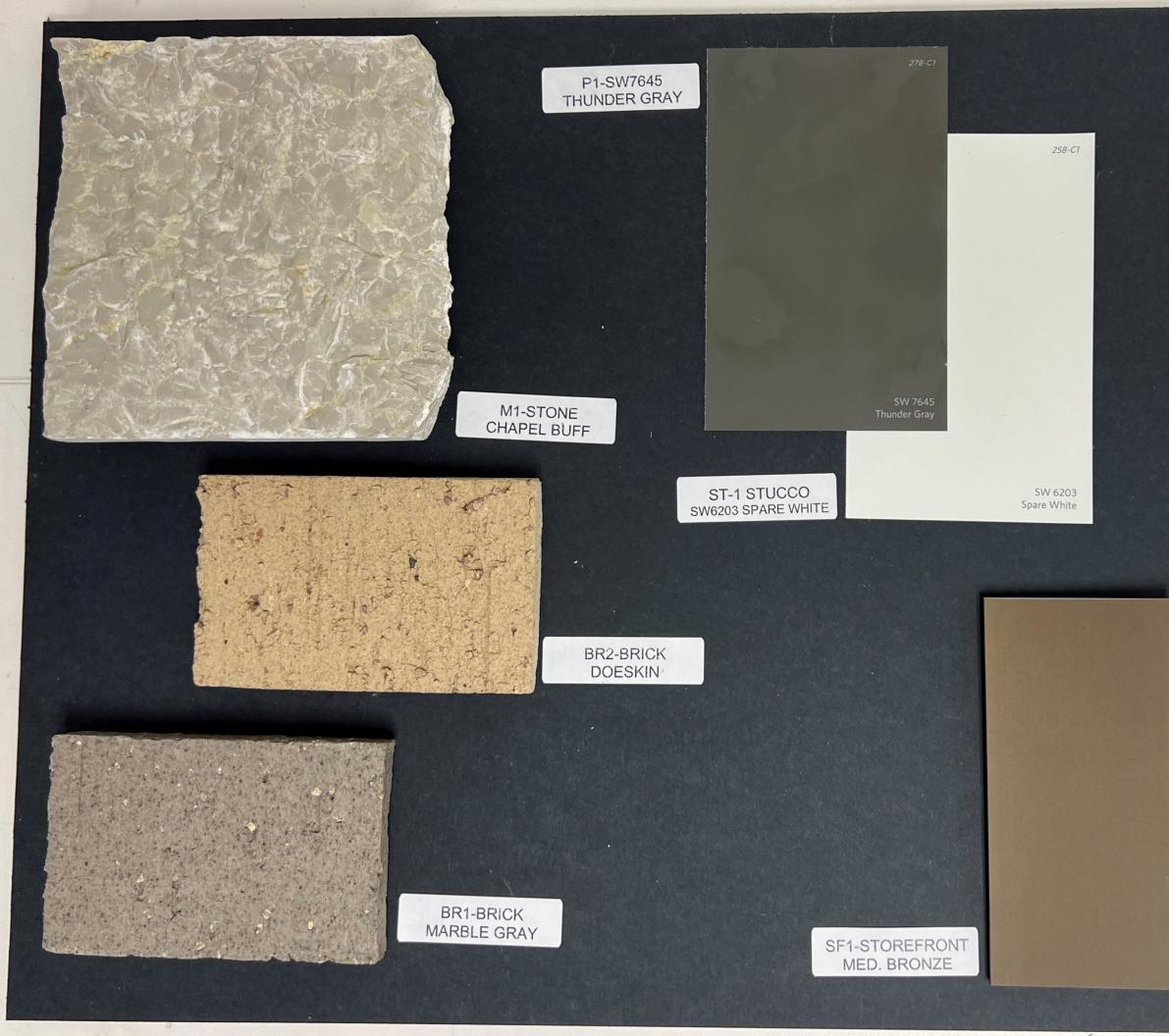
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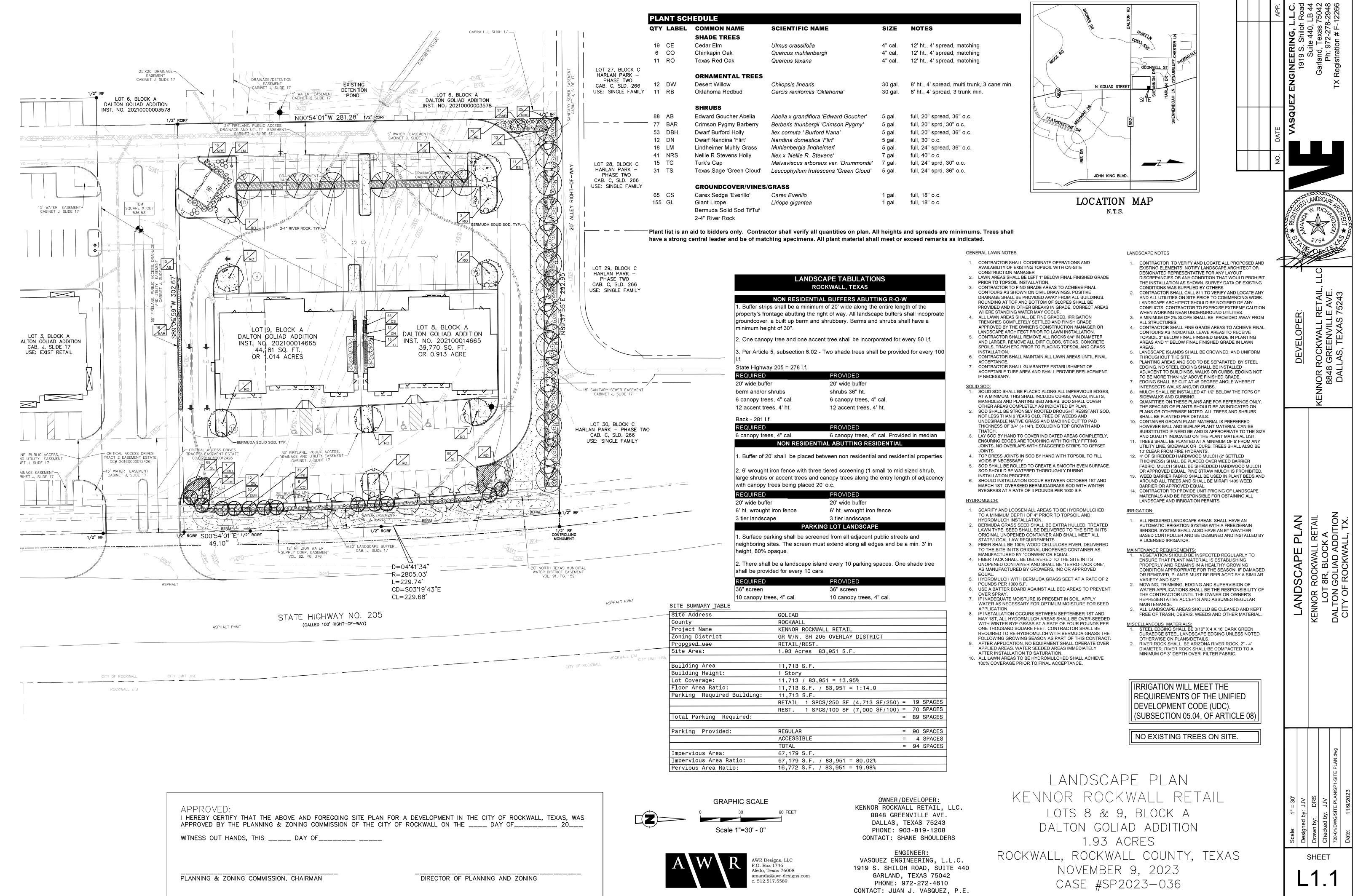
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| | | S646 MILTON ST. SUITE 610 DALLAS, TX 75206 214.361.9901 214.361.9906 FAX ncapartners.com | | KENNOR ROCKWALL RETAIL, LLC 8848 GREENVILLE AVE. DALLAS, TEXAS 75243 Vasquez engineering, LLC. TEXAS 00.8882 DATED 10/20/2023 Vasquez Engineering, LLC. |
| Y THAT THE ABOVE AND FOREGOING SITE THE PLANNING & ZONING COMMISSION OF NDS, THIS DAY OF ING COMMISSION, CHAIRMAN <u>NER/DEVELOPER:</u> OCKWALL RETAIL, LLC. GREENVILLE AVE. AS, TEXAS 75243 JE: 903-819-1208 T: SHANE SHOULDERS <u>ENGINEER:</u> C ENGINEERING, L.L.C. SHILOH ROAD, SUITE 440 AND, TEXAS 75042 NE: 972-272-4610 JUAN J. VASQUEZ, P.E. | L PLAN FOR A DEVELOPMENT IN THE CITY OF RO THE CITY OF ROCKWALL ON THE DAY OF DIRECTOR OF PLANNING AND Z BUILDING ELEVATION KENNOR ROCKWALL RI LOT 8 & 9, BLOCK A DALTON GOLIAD ADDITIO 1.93 ACRES ROCKWALL, ROCKWALL COUNT OCTOBER 20, 2023 CASE #SP2023-036 | ZONING NS ETAIL | DUMPSTER DETAIL | KENNOR ROCKWALL RETAIL LOT 8R, BLOCK A DALTON GOLIAD ADDITION CITY OF ROCKWALL, TX. |
| | | | | Drawn by: KAB Checked by: KAB ABEE1 Date: 11/08/2023 |







SECTION 32 9300 - LANDSCAPE

PART 1 - GENERAI 1.1 QUALIFICATIONS OF THE LANDSCAPE CONTRACTOR

A. ALL LANDSCAPE WORK SHOWN ON THESE PLANS SHALL BE PERFORMED BY A SINGLE FIRM SPECIALIZING IN LANDSCAPE PLANTING 1.2 REFERENCE DOCUMENTS

A. REFER TO LANDSCAPE PLANS, NOTES, SCHEDULES AND DETAILS FOR ADDITIONAL

REQUIREMENTS 1.3 SCOPE OF WORK / DESCRIPTION OF WORK

A WORK COVERED BY THESE SECTIONS INCLUDES: FURNISH ALL SUPERVISIONS LABOR MATERIALS, SERVICES, EQUIPMENT AND APPLIANCES REQUIRED TO COMPLETE THE K COVERED IN CONJUNCTION WITH THE LANDSCAPING COVERED IN LANDSCAPE PLANS AND SPECIFICATIONS INCLUDING

- 1. PLANTING (TREES, SHRUBS, GRASSES)
- 1. BED PREP AND FERTILIZATION 3. NOTIFICATION OF SOURCES
- 4. WATER AND MAINTENANCE UNTIL ACCEPTANCE
- 5. GUARANTEE B. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE LAWS, CODES
- AND REGULATIONS REQUIRED BY AUTHORITIES HAVING JURISDICTION OVER SUCH WORK, INCLUDING ALL INSPECTIONS AND PERMITS REQUIRED BY FEDERAL, STATE AND LOCAL AUTHORITIES IN SUPPLY, TRANSPORTATION AND INSTALLATION OF MATERIALS. C. THE LANDSCAPE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UNDERGROUND LINES (WATER, SEWER, ELECTRICAL, TELEPHONE, GAS, CABLE, TELEVISION,
- ETC.) PRIOR TO THE START OF ANY WORK 1.4 REFERENCES
- A. AMERICAN STANDARD FOR NURSERY STOCK PUBLISHED BY AMERICAN ASSOCIATION OF NURSERYMEN; 27 OCTOBER 1980, EDITION; BY AMERICAN NATIONAL STANDARDS INSTUTUTE (Z60.1) - PLANT MATERIAL
- B. AMERICAN JOINT COMMITTEE ON HORTICULTURE NOMENCLATURE; 1942 EDITION OF STANDARDIZED PLANT NAMES.
- C. TEXAS ASSOCIATION OF NURSERYMEN, GRADES AND STANDARDS
- 1.5 SUBMITTALS A. PROVIDE REPRESENTATIVE QUANTITIES OF EACH SOIL, MULCH, BED MIX, GRAVEL AND
- STONE BEFORE INSTALLATION. SAMPLES TO BE APPROVED BY OWNER'S REPRESENTATIVE BEFORE USE. B. SOIL AMENDMENTS AND FERTILIZERS SHOULD BE RESEARCHED AND BASED ON THE SOILS IN THE AREA.
- C. BEFORE INSTALLATION, SUBMIT DOCUMENTATION THAT PLANT MATERIALS ARE AVAILABLE AND HAVE BEEN RESERVED. FOR ANY PLANT MATERIAL NOT AVAILABLE, SUBMIT REQUEST FOR SUBSTITUTION.
- 1.6 JOB CONDITIONS, DELIVERY, STORAGE AND HANDLING
- A. GENERAL CONTRACTOR TO COMPLETE WORK BEFORE LANDSCAPE CONTRACTOR TO COMMENCE. B. ALL PLANTING BED AREAS SHALL BE LEFT THREE INCHES BELOW FINAL GRADE OF SIDEWALKS, DRIVES AND CURBS. ALL AREAS TO RECEIVE SOLID SOD SHALL BE LEFT ONE INCH BELOW THE FINAL GRADE OF WALKS, DRIVES AND CURBS. CONSTRUCTION DEBBIS SHALL BE REMOVED PRIOR TO LANDSCAPE CONTRACTOR BEGINNING WORK
- C. STORAGE OF MATERIALS AND EQUIPMENT AT THE JOB SITE WILL BE AT THE RISK OF THE LANDSCAPE CONTRACTOR. THE OWNER CANNOT BE HELD RESPONSIBLE FOR THEFT OR DAMAGE. 1.7 SEQUENCING
- A. INSTALL TREES, SHRUBS, AND LINER STOCK PLANT MATERIALS PRIOR TO INSTALLATION OF LAWN/SOLID SOD.
- B. WHERE EXISTING TURF AREAS ARE BEING CONVERTED TO PLANTING BEDS, THE TURF SHALL BE CHEMICALLY ERADICATED TO MINIMIZE RE-GROWTH IN THE FUTURE. AREAS SHALL BE PROPERLY PREPARED WITH AMENDED ORGANIC MATTER. 1.8 MAINTENANCE AND GUARANTEE

MAINTENANCE:

- A. THE LANDSCAPE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR THE MAINTENANCE OF ALL WORK FROM THE TIME OF PLANTING UNTIL FINAL ACCEPTANCE BY OWNER.
- B. NO TREES, GRASS, GROUNDCOVER OR GRASS WILL BE ACCEPTED UNLESS THEY SHOW HEALTHY GROWTH AND SATISFACTORY FOLIAGE CONDITIONS.
- C. MAINTENANCE SHALL INCLUDE WATERING OF TREES AND PLANTS, CULTIVATION, WEED SPRAYING. EDGING. PRUNING OF TREES, MOWING OF GRASS, CLEANING UP AND ALL
- THER WORK NECESSARY FOR MAINTENANCE. D. A WRITTEN NOTICE REQUESTING FINAL INSPECTION AND ACCEPTANCE SHOULD BE SUBMITTED TO THE OWNER AT LEAST 7 DAYS PRIOR TO COMPLETION. AN ON SITE INSPECTION BY THE OWNER'S AUTHORIZED REPRESENTATIVE WILL BE COMPLETED PRIOR TO WRITTEN ACCEPTANCE.
- E. NOTIFY OWNER OR OWNER'S REPRESENTATIVE SEVEN DAYS PRIOR TO THE EXPIRATION OF THE WARRANTY PERIOD.
- F. REMOVE DEAD. UNHEALTHY AND UNSIGHTLY PLANTS DURING WARRANTY PERIOD G. REMOVE GUYING AND STAKING MATERIALS AFTER ONE YEAR
- H. ALL LANDSCAPE MUST BE MAINTAINED AND GRASS MOWED/EDGED ON A WEEKLY SCHEDULE UNTIL ACCEPTANCE BY OWNER. REMOVE CLIPPINGS AND DEBRIS FROM SITE PROMPTLY. REMOVE TRASH, DEBRIS, AND LITTER. WATER, PRUNE, RESTAKE TREES, FERTILIZE,
- WEED AND APPLY HERBICIDES AND FUNGICIDES AS REQUIRED. J. COORDINATE THE OPERATION OF IRRIGATION SYSTEM TO ENSURE THAT PLANTS ARE
- ADEQUATELY WATERED. HAND WATER AREAS NOT RECEIVING ADEQUATE WATER FROM AN IRRIGATION SYSTEM.
- K. THE LANDSCAPE CONTRACTOR SHALL MAINTAIN THE IRRIGATION SYSTEM IN ACCORDANCE TO THE MAINTENANCE SERVICE TO ENSURE THE SYSTEM IS IN PROPER WORKING ORDER WITH SCHEDULING ADJUSTMENTS BY SEASON TO MAXIMIZE WATER CONSERVATION REAPPLY MULCH TO BARE AND THIN AREAS.
- M. SHOULD SEEDED AND/OR SODDED AREAS NOT BE COVERED BY AN AUTOMATIC IRRIGATION SYSTEM, THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR WATERING THESE AREAS AND OBTAINING A FULL, HEALTHY STAND OF GRASS AT NO ADDITIONAL COST TO THE OWNER.
- N. TO ACHIEVE FINAL ACCEPTANCE AT THE END OF THE MAINTENANCE PERIOD, ALL OF THE FOLLOWING CONDITIONS MUST OCCUR a. THE LANDSCAPE SHALL SHOW ACTIVE, HEALTHY GROWTH (WITH EXCEPTIONS MADE FOR SEASONAL DORMANCY). ALL PLANTS NOT MEETING THIS CONDITION SHALL BE REJECTED AND REPLACED BY HEALTHY PLANT MATERIAL PRIOR TO FINAL ACCEPTANCE
- b. ALL HARDSCAPE SHALL BE CLEANED PRIOR TO FINAL ACCEPTANCE. c. SODDED AREAS MUST BE ACTIVELY GROWING AND MUST REACH A MINIMUM HEIGHT OF 1 1/2 INCHES BEFORE FIRST MOWING. HYDROMULCHED AREAS SHALL SHOW ACTIVE HEALTHY GROWTH BARE AREAS LARGER THAN TWELVE SQUARE INCHES MUST BE RESODDED OR RESEEDED (AS APPROPRIATE) PRIOR TO FINAL ACCEPTANCE. ALL SODDED TURF SHALL BE NEATLY MOWED.

GUARANTEE

- A. TREES, SHRUBS, GROUNDCVOER SHALL BE GUARANTEED (IN WRITING) FOR A 12 MONTH PERIOD (90 DAYS FOR ANNUAL PLANTING OR AT THE END OF THE SEASONAL COLOR GROWING SEASON, WHICHEVER COMES SOONER) AFTER FINAL ACCEPTANCE. THE CONTRACTOR SHALL REPLACE ALL DEAD MATERIALS AS SOON AS WEATHER PERMITS AND UPON NOTIFICATION OF THE OWNER.
- B. PLANTS INCLUDING TREES, WHICH HAVE PARTIALLY DIED SO THAT SHAPE, SIZE OR SYMMETRY HAVE BEEN DAMAGED SHALL BE CONSIDERED SUBJECT TO REPLACEMENT IN SUCH CASES, THE OPINION OF THE OWNER SHALL BE FINAL. C. PLANTS USED FOR REPLACEMENT SHALL BE OF THE SAME SIZE AND KIND AS THOSE
- ORIGINALLY PLANTED OR SPECIFIED. ALL WORK INCLUDING MATERIALS, LABOR AND EQUIPMENT USED IN REPLACEMENTS SHALL CARRY A 12 MONTH GUARANTEE. ANY AMAGE INCLUDING RUTS IN LAWN OR BED AREAS INCURRED AS A RESULT OF MAKING REPLACEMENTS SHALL BE IMMEDIATELY REPAIRED.
- D. WHEN PLANT REPLACEMENTS ARE MADE, PLANTS, SOIL MIX, FERTILIZER AND MULCH ARE TO BE UTILIZED AS ORIGINALLY SPECIFIED AND RE-INSPECTED FOR FULL COMPLIANCE WITH THE CONTRACT REQUIREMENTS. ALL REPLACEMENTS ARE NCLUDED UNDER "WORK" OF THIS SECTION.
- E. THE OWNER AGREES THAT FOR THE ONE YEAR WARRANTY PERIOD TO BE EFFECTIVE, HE WILL WATER PLANTS AT LEAST TWICE A WEEK DURING DRY PERIODS. F. THE ABOVE GUARANTEE SHALL NOT APPLY WHERE PLANTS DIE AFTER ACCEPTANCE
- BECAUSE OF DAMAGE DUE TO ACTS OF GOD, VANDALISM, INSECTS, DISEASE, INJURY BY HUMANS, MACHINES, THEFT OR NEGLIGENCE BY OWNER. G. ACCEPTANCE FOR ALL LANDSCAPE WORK SHALL BE GIVEN AFTER FINAL INSPECTION BY
- THE OWNER PROVIDED THE JOB IS IN A COMPLETE. UNDAMAGED CONDITION AND HERE IS A STAND OF GRASS IN ALL LAWN AREAS. AT THAT TIME, THE OWNER WILL ASSUME MAINTENANCE ON THE ACCEPTED WORK.

1.9 QUALITY ASSURANCE

- A. COMPLY WITH ALL FEDERAL, STATE, COUNTY AND LOCAL REGULATIONS GOVERNING LANDSCAPE MATERIALS AND WORK.
- B. EMPLOY PERSONNEL EXPERIENCED AND FAMILIAR WITH THE REQUIRED WORK AND
- SUPERVISION BY A FOREMAN C. MAKE CONTACT WITH SUPPLIERS IMMEDIATELY UPON OBTAINING NOTICE OF CONTRACT ACCEPTANCE TO SELECT AND BOOK MATERIALS.

- D. DEVELOP A PROGRAM OF MAINTENANCE (PRUNING AND FERTILIZATION) WHICH WILL ENSURE THE PURCHASED MATERIALS WILL MEET AND/OR EXCEED PROJECT SPECIFICATIONS.
- E. DO NOT MAKE PLANT MATERIAL SUBSTITUTIONS. IF THE LANDSCAPE MATERIAL SPECIFIED IS NOT READILY AVAILABLE. SUBMIT PROOF TO LANDSCAPE ARCHITECT ALONG WITH THE PROPOSED MATERIAL TO BE USED IN LIEU OF THE SPECIFIED PLANT
- F. AT THE TIME BIDS ARE SUBMITTED, THE CONTRACTOR IS ASSUMED TO HAVE LOCATED THE MATERIALS NECESSARY TO COMPLETE THE JOB AS SPECIFIED. G. OWNER'S REPRESENTATIVE SHALL INSPECT ALL PLANT MATERIAL AND RETAINS THE RIGHT TO INSPECT MATERIALS UPON ARRIVAL TO THE SITE AND DURING INSTALLATION.
- THE OWNER'S REPRESENTATIVE MAY ALSO REJECT ANY MATERIALS HE/SHE FEELS TO E UNSATISFACTORY OR DEFECTIVE DURING THE WORK PROCESS. ALL PLANTS DAMAGED IN TRANSIT OR AT THE JOB SITE SHALL BE REJECTED.

1.10 PRODUCT DELIVERY, STORAGE AND HANDLING

A. PREPARATION 1. BALLED AND BURLAPPED B&B PLANTS): DIG AND PREPARE SHIPMENT IN A MANNER THAT WILL NOT DAMAGE ROOTS, BRANCHES, SHAPE AND FUTURE DEVELOPMENT 2. CONTAINER GROWN PLANTS: DELIVER PLANTS IN RIGID CONTAINER TO HOLD BALL SHAPE AND PROTECT ROOT MASS.

B. DELIVERY 1. DELIVER PACKAGED MATERIALS IN SEALED CONTAINERS SHOWING WEIGHT,

- ANALYSIS AND NAME OF MANUFACTURER PROTECT MATERIALS FROM DETERIORATION DURING DELIVERY AND WHILE STORED ON SITE. 2. DELIVER ONLY PLANT MATERIALS THAT CAN BE PLANTED IN ONE DAY UNLESS ADEQUATE STORAGE AND WATERING FACILITIES ARE AVAILABLE ON SITE
- 3. PROTECT ROOT BALLS BY HEELING IN WITH SAWDUST OR OTHER APPROVED MOISTURE RETAINING MATERIAL IF NOT PLANTED WITHIN 24 HOURS OF DELIVERY
- 4. PROTECT PLANTS DURING DELIVERY TO PREVENT DAMAGE TO ROOT BALL OR DESICCATION OF LEAVES 5. KEEP PLANTS MOIST AT ALL TIMES. COVER ALL MATERIALS DURING TRANSPORT
- 6. NOTIFY OWNERS REPRESENTATIVE OF DELIVERY 72 HOURS PRIOR TO DELIVERY OF PLANT MATERIAL AT JOB SITE.
- 7. REMOVE REJECTED PLANT MATERIAL IMMEDIATELY FROM JOB SITE. 8. TO AVOID DAMAGE OR STRESS, DO NOT LIFT, MOVE, ADJUST TO PLUMB, OR OTHERWISE MANIPULATE PLANTS BY TRUNK OR STEMS.

PART 2 - PRODUCTS

- 2.1 PLANT MATERIALS A. GENERAL: WELL FORMED NO. 1 GRADE OR BETTER NURSERY GROWN STOCK. LISTED PLANT HEIGHTS ARE FROM TOPS OF FOOT BALLS TO NOMINAL TOPS OF PLANTS, PLANT SPREAD REFERS TO NOMINAL OUTER WIDTH OF THE PLANT NOT THE OUTER LEAF TIPS PLANTS SHALL BE INDIVIDUALLY APPROVED BY THE OWNERS REPRESENTATIVE AND THEIR DECISION AS TO THEIR ACCEPTABILITY SHALL BE FINAL.
- B. QUANTITIES: THE DRAWINGS AND SPECIFICATIONS ARE COMPLIMENTARY. ANYTHING CALLED FOR ON ONE AND NOT THE OTHER IS AS BINDING AS IF SHOWN AND CALLED FOR ON BOTH. THE PLANT SCHEDULE IS AN AID TO BIDDERS ONLY. CONFIRM ALL QUANTITIES ON PLAN.
- QUANTITIES AND SIZE: PLANT MATERIALS SHALL CONFORM TO THE SIZE GIVEN ON THE PLAN AND SHALL BE HEALTHY. WELL SHAPED. FULL BRANCHED AND WELL ROOTED. SYMMETRY IS ALSO IMPERATIVE. PLANTS SHALL BE FREE FROM INSECTS, INJURY DISEASE, BROKEN BRANCHES, DISFIGUREMENTS, INSECT EGGS AND ARE TO BE OF SPECIMEN QUALITY.
- D. APPROVAL: ALL PLANTS WHICH ARE FOUND UNSUITABLE IN GROWTH OR ARE UNHEALTHY, BADLY SHAPED OR UNDERSIZED WILL BE REJECTED BY THE OWNERS REPRESENTATIVE EITHER BEFORE OR AFTER PLANTING AND SHALL BE REMOVED AT THE EXPENSE OF THE LANDSCAPE CONTRACTOR AND REPLACED WITH ACCEPTABLE SPECIMENS
- E. TREES SHALL BE HEALTHY. FULL BRANCHED. WELL SHAPED AND SHALL MEET THE MINIMUM REQUIREMENTS AS SPECIFIED ON THE PLANT SCHEDULE. ALL TREES SHALL BE OBTAINED FROM SOURCES WITHIN 200 MILES OF THE PROJECT SITE IF POSSIBLE AND WITH SIMILAR CLIMACTIC CONDITIONS.
- F. PRUNING: ALL PRUNING OF TREES AND SHRUBS SHALL BE EXECUTED BY THE LANDSCAPE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER, PRIOR TO FINAL ACCEPTANCE.
- G. PLANTS SHALL CONFORM TO THE MEASUREMENTS SPECIFIED, EXCEPT THE PLANTS LARGER THAN THOSE SPECIFIED MAY BE USED. USE OF LARGER PLANTS SHALL NOT INCREASE THE CONTRACT PRICE. H. WHERE MATERIALS ARE PLANTED IN MASSES, PROVIDE PLANTS OF UNIFORM SIZE.
- ROOT SYSTEMS SHALL BE HEALTHY, DENSELY BRANCHED, FIBROUS ROOT SYSTEMS NON-POT-BOUND, FREE FROM ENCIRCLING AND/OR GIRDLING ROOTS, AND FREE FROM ANY OTHER ROOT DEFECTS (SUCH AS J-SHAPED ROOTS).
- J. ALL TREES SHALL BE STANDARD IN FORM, UNLESS OTHERWISE SPECIFIED. TREES WITH ENTRAL LEADERS WILL NOT BE ACCEPTED IF LEADER IS DAMAGED OR REMOVED. PRUNE ALL DAMAGED TWIGS AFTER PLANTING
- K. TREE TRUNKS TO BE STURDY, EXHIBIT HARDENED SYSTEMS AND VIGOROUS AND FIBROUS ROOT SYSTEMS, NOT ROOT OR POT BOUND.
- TREES WITH DAMAGED OR CROOKED LEADERS, BARK ABRASIONS, SUNSCALD, DISFIGURING KNOTS, OR\INSECT DAMAGE WILL BE REJECTED. M. CALIPER MEASUREMENTS FOR STANDARD (SINGLE TRUNK) TREES SHALL BE AS OLLOWS: SIX INCHES ABOVE THE ROOT FLARE FOR TREES UP TO AND INCLUDING
- FOUR INCHES IN CALIPER, AND TWELVE INCHES ABOVE THE ROOT FLARE FOR TREES EXCEEDING FOUR INCHES IN CALIPER N. MULTI-TRUNK TREES SHALL BE MEASURED BY THEIR OVERALL HEIGHT, MEASURED FROM THE TOP OF THE ROOT BALL
- . ANY TREE OR SHRUB SHOWN TO HAVE EXCESS SOIL PLACED ON TOP OF THE ROOT BALL, SO THAT THE ROOT FLARE HAS BEEN COMPLETELY COVERED, SHALL BE REJECTED.
- P SOD' PROVIDE WELL-BOOTED SOD OF THE VARIETY NOTED ON THE PLANS SOD SHAL BE CUT FROM HEALTHY, MATURE TURF WITH SOIL THICKNESS OF 3/4" TO 1". EACH PALLET OF SOD SHALL BE ACCOMPANIED BY A CERTIFICATE FROM SUPPLIER STATING THE COMPOSITION OF THE SOD.

2.2 SOIL PREPARATION MATERIALS A. SANDY LOAM:

- 1. FRIABLE, FERTILE, DARK, LOAMY SOIL, FREE OF CLAY LUMPS, SUBSOIL, STONES AND OTHER EXTRANEOUS MATERIAL AND REASONABLY FREE OF WEEDS AND FOREIGN GRASSES. LOAM CONTAINING DALLASGRASS OR
- NUTGRASS SHALL BE REJECTED. 2. PHYSICAL PROPERTIES AS FOLLOWS
- a. CLAY BETWEEN 7-27%
- b. SILT BETWEEN 15-25% c. SAND – LESS THAN 52%
- 3. ORGANIC MATTER SHALL BE 3%-10% OF TOTAL DRY WEIGHT. 4. IF REQUESTED, LANDSCAPE CONTRACTOR SHALL PROVIDE A CERTIFIED SOIL
- ANALYSIS CONDUCTED BY AN APPROVED SOIL TESTING LABORATORY VERIFYING THAT SANDY LOAM MEETS THE ABOVE REQUIREMENTS. B. ORGANIC MATERIAL: COMPOST WITH A MIXTURE OF 80% VEGETATIVE MATTER
- AND 20% ANIMAL WASTE. INGREDIENTS SHOULD BE A MIX OF COURSE AND FINE TEXTURED MATERIAL . PREMIXED BEDDING SOIL AS SUPPLIED BY VITAL EARTH RESOURCES,
- GLADEWATER, TEXAS; PROFESSIONAL BEDDING SOIL AS SUPPLIED BY LIVING EARTH TECHNOLOGY, DALLAS, TEXAS OR ACID GRO MUNICIPAL MIX AS SUPPLIED BY SOIL BUILDING SYSTEMS, DALLAS, TEXAS OR APPROVED EQUAL. D. SHARP SAND: SHARP SAND MUST BE FREE OF SEEDS, SOIL PARTICLES AND
- WFFDS E. MULCH: DOUBLE SHREDDED HARDWOOD MULCH, PARTIALLY DECOMPOSED, DARK BROWN.
- ORGANIC FERTILIZER: FERTILAID, SUSTANE, OR GREEN SENSE OR EQUAL AS RECOMMENDED FOR REQUIRED APPLICATIONS. FERTILIZER SHALL BE DELIVERED TO THE SITE IN ORIGINAL UNOPENED CONTAINERS, EACH BEARING THE MANUFACTURER'S GUARANTEED STATEMENT OF ANALYSIS
- G COMMERCIAL FERTILIZER: 10-20-10 OR SIMILAR ANALYSIS NITROGEN SOURCE TO BE A MINIMUM 50% SLOW RELEASE ORGANIC NITROGEN (SCU OR UF) WITH A MINIMUM 8% SULFUR AND 4% IRON, PLUS MICRONUTRIENTS.
- H. PEAT: COMMERCIAL SPHAGNUM PEAT MOSS OR PARTIALLY DECOMPOSED SHREDDED PINE BARK OR OTHER APPROVED ORGANIC MATERIAL.

2.3 MISCELLANEOUS MATERIALS

- A. STEEL EDGING SHALL BE 3/16" X 4" X 16" DARK GREEN LANDSCAPE EDGING. DURAEDGE STEEL OR APPROVED EQUAL.
- B. TREE STAKING TREE STAKING SOLUTIONS OR APPROVED SUBSTITUTE; REFER TO DFTAILS
- C. FILTER FABRIC MIRAFI 1405 BY MIRAFI INC. OR APPROVED SUBSTITUTE. AVAILABLE AT LONE STAR PRODUCTS, INC. (469-523-0444)
- D. SAND UNIFORMLY GRADED, WASHED, CLEAN, BANK RUN SAND, E. GRAVEL: WASHED NATIVE PEA GRAVEL, GRADED 1" TO 1.5"
- F. DECOMPOSED GRANITE BASE MATERIAL OF NATURAL MATERIAL MIX OF GRANITE AGGREGATE NOT TO EXCEED 1/8" IN DIAMETER COMPOSED OF VARIOUS STAGES OF DECOMPOSED EARTH BASE.
- G. RIVER ROCK LOCALLY AVAILABLE NATIVE RIVER ROCK BETWEEN 2"-4" IN DIAMETER. H. PRE-EMERGENT HERBICIDES: ANY GRANULAR, NON-STAINING PRE-EMERGENT HERBICIDE THAT IS LABELED FOR THE SPECIFIC ORNAMENTALS OR TURE ON WHICH IT WILL BE UTILIZED. PRE-EMERGENT HERBICIDES SHALL BE APPLIED PER THE MANUFACTURER'S LABELED RATES.

APPROVED:

I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN FOR A DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE PLANNING & ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE ____ DAY OF_____. 20____ WITNESS OUT HANDS, THIS _____ DAY OF_____ ____

A. LANDSCAPE CONTRACTOR TO INSPECT ALL EXISTING CONDITIONS AND REPORT ANY DEFICIENCIES TO THE OWNER. B. ALL PLANTING AREAS SHALL BE CONDITIONED AS FOLLOWS:

1. PREPARE NEW PLANTING BEDS BY SCRAPING AWAY EXISTING GRASS AND WEEDS AS NECESSARY. TILL EXISTING SOIL TO A DEPTH OF SIX (6") INCHES PRIOR TO PLACING COMPOST AND FERTILIZER. APPLY FERTILIZER AS PER

MANUFACTURER'S RECOMMENDATIONS. ADD SIX (6") INCHES OF COMPOS AND TILL INTO A DEPTH OF SIX (6") INCHES OF SPECIFIED MULCH (SETTLED

THICKNESS). 2. BACKFILL FOR TREE PITS SHALL BE AS FOLLOWS: USE EXISTING TOP SOIL ON SITE (USE IMPORTED TOPSOIL AS NEEDED) FREE FROM LARGE CLUMPS, ROCKS, DEBRIS, CALICHE, SUBSOILS, ETC., PLACED IN NINE (9") INCH LAYERS AND WATERED IN THOROUGHLY.

C. GRASS AREAS: 1. BLOCKS OF SOD SHOULD BE LAID JOINT TO JOINT (STAGGERED JOINTS) AFTER FERTILIZING THE GROUND FIRST BOLL GRASS AREAS TO ACHIEVE A SMOOTH, EVEN SURFACE. THE JOINTS BETWEEN THE BLOCKS OF SOD SHOULD BE FILLED WITH TOPSOIL WHERE THEY ARE GAPED OPEN, THEN WATERED THOROUGHLY.

3.2 INSTALLATION A. MAINTENANCE OF PLANT MATERIALS SHALL BEGIN IMMEDIATELY AFTER EACH PLANT IS DELIVERED TO THE SITE AND SHALL CONTINUE UNTIL ALL CONSTRUCTION HAS BEEN SATISFACTORILY ACCOMPLISHED. B. PLANT MATERIALS SHALL BE DELIVERED TO THE SITE ONLY AFTER THE BEDS ARE PREPARED AND AREAS ARE READY FOR PLANTING, ALL SHIPMENTS OF NURSERY MATERIALS SHALL BE THOROUGHLY PROTECTED FROM THE WINDS DURING ALL PLANTS WHICH CANNOT BE PLANTED AT ONCE, AFTER DELIVER TO THE SITE, SHALL BE WELL PROTECTED AGAINST THE POSSIBILITY OF DRYING BY WIND AND BALLS OF EARTH OF B & B PLANTS SHALL BE KEPT COVERED WITH SOIL OR OTHER ACCEPTABLE MATERIAL. ALL PLANTS REMAIN THE PROPERTY OF THE CONTRACTOR UNTIL FINAL ACCEPTANCE.

C. POSITION THE TREES AND SHRUBS IN THEIR INTENDED LOCATION AS PER PLAN. D. NOTIFY THE OWNER'S AUTHORIZED REPRESENTATIVE FOR INSPECTION AND APPROVAL OF ALL POSITIONING OF PLANT MATERIALS. E. EXCAVATE PITS WITH VERTICAL SIDES AND HORIZONTAL BOTTOM. TREE PITS

SHALL BE LARGE ENOUGH TO PERMIT HANDLING AND PLANTING WITHOUT INJURY O BALLS OF EARTH OR ROOTS AND SHALL BE OF SUCH DEPTH THAT, WHEN PLANTED AND SETTLED, THE CROWN OF THE PLANT SHALL BEAR THE SAME RELATIONSHIP TO THE FINISH GRADE AS IT DID TO SOIL SURFACE IN ORIGINAL PLACE OF GROWTH. THE SIDES OF THE HOLE SHOULD BE ROUGH AND JAGGED, IEVER SLICK OR GLAZED.

F. SHRUB AND TREE PITS SHALL BE NO LESS THAN TWENTY-FOUR (24") INCHES WIDER THAN THE LATERAL DIMENSION OF THE EARTH BALL AND SIX (6") INCHES DEEPER THAN IT'S VERTICAL DIMENSION. REMOVE AND HAUL FROM SITE ALL ROCKS AND STONES OVER THREE-QUARTER ($\frac{3}{4}$ ") INCH IN DIAMETER. PLANTS SHOULD BE THOROUGHLY MOIST BEFORE REMOVING CONTAINERS G. PERCOLATION TEST: FILL THE HOLE WITH WATER. IF THE WATER LEVEL DOES NOT PERCOLATE WITHIN 24 HOURS THE TREE NEEDS TO MOVE TO ANOTHE OCATION OR HAVE DRAINAGE ADDED. INSTALL A PVC STAND PIPE PER TREE IF THE PERCOLATION TEST FAILS.

H. BACKFILL ONLY WITH 5 PARTS EXISTING SOIL OR SANDY LOAM AND 1 PART BED PREPARATION. WHEN THE HOLE IS DUG IN SOLID ROCK, TOPSOIL FROM THE SAME AREA SHOULD NOT BE USED. CAREFULLY SETTLE BY WATERING TO PREVENT AIR POCKETS. REMOVE THE BURLAP FROM THE TOP \rlap{W}_3 of the ball, as well as all nylon, plastic string and wire. Container trees will USUALLY BE ROOT BOUND, IF SO FOLLOW STANDARD NURSERY PRACTICE OF 'ROOT SCORING'

. DO NOT WRAP TREES J. DO NOT OVER PRUNE.

PART 3 - EXECUTION

3.1 PREPARATION

K. REMOVE NURSERY TAGS AND STAKES FROM ALL PLANTS

L. REMOVE BOTTOM OF PLANT BOXES PRIOR TO PLACING PLANTS. REMOVE SIDES AFTER PLACEMENT AND PARTIAL BACKFILLING. M. REMOVE UPPER THIRD OF BURLAP FROM BALLED AND BURLAPPED TREES AFTER PLACEMENT.

N. PLACE PLANT UPRIGHT AND PLUMB IN CENTER OF HOLE. ORIENT PLANTS FOR BEST APPEARANCE. O. MULCH THE TOP OF THE BALL. DO NOT PLANT GRASS ALL THE WAY TO THE TRUNK OF THE TREE. LEAVE THE AREA ABOVE THE TOP OF THE BALL AND MULCH

WITH AT LEAST TWO (2") INCHES OF SPECIFIED MULCH. P. ALL PLANT BEDS AND TREES TO BE MULCHED WITH A MINIMUM SETTLED THICKNESS OF TWO (2") INCHES OVER THE ENTIRE BED OR PIT. Q. OBSTRUCTION BELOW GROUND: IN THE EVENT THAT ROCK, OR UNDERGROUND ONSTRUCTION WORK OR OBSTRUCTIONS ARE ENCOUNTERED IN ANY PLANT PIT EXCAVATION WORK TO BE DONE UNDER THIS SECTION, ALTERNATE LOCATIONS MAY BE SELECTED BY THE OWNER. WHERE LOCATIONS CANNOT BE CHANGED, THE OBSTRUCTIONS SHALL BE REMOVED TO A DEPTH OF NOT LESS THAN THRE (3') FEET BELOW GRADE AND NO LESS THAN SIX (6") INCHES BELOW THE BOTTOM OF BALL WHEN PLANT IS PROPERLY SET AT THE REQUIRED GRADE. THE WORK OF THIS SECTION SHALL INCLUDE THE REMOVAL FROM THE SITE OF SUCH ROCK OF UNDERGROUND OBSTRUCTIONS ENCOUNTERED AT THE COST OF THE LANDSCAPE CONTRACTOR

R. TREES AND LARGE SHRUBS SHALL BE STAKED AS SITE CONDITIONS REQUIRE. POSITION STAKES TO SECURE TREES AGAINST SEASONAL PREVAILING WINDS. . PRUNING AND MULCHING: PRUNING SHALL BE DIRECTED BY THE LANDSCAPE ARCHITECT AND SHALL BE PRUNED IN ACCORDANCE WITH STANDARD HORTICULTURAL PRACTICE FOLLOWING FINE PRUNING, CLASS I PRUNING STANDARDS PROVIDED BY THE NATIONAL ARBORIST ASSOCIATION.

DEAD WOOD SUCKERS BROKEN AND BADLY BRUISED BRANCH BE REMOVED. GENERAL TIPPING OF THE BRANCHES IS NOT PERMITTED. DO NOT CUT TERMINAL BRANCHES. 2. PRUNING SHALL BE DONE WITH CLEAN, SHARP TOOLS.

IMMEDIATELY AFTER PLANTING OPERATIONS ARE COMPLETED, ALL TREE PITS SHALL BE COVERED WITH A LAYER OF ORGANIC MATERIAL TWO (2") INCHES IN DEPTH. THIS LIMIT OF THE ORGANIC MATERIAL FOR TREES SHALL BE THE DIAMETER OF THE PLANT PIT.

Q. STEEL EDGE INSTALLATION: EDGE SHALL BE ALIGNED AS INDICATED ON PLANS STAKE OUT LIMITS OF STEEL CURBING AND OBTAIN OWNERS APPROVAL PRIOR TO INSTALLATION.

1. ALL STEEL CURBING SHALL BE FREE OF KINKS AND ABRUPT BENDS. 2. TOP OF EDGING SHALL BE $\frac{1}{2}$ " MAXIMUM HEIGHT ABOVE FINAL FINISHED 3. STAKES ARE TO BE INSTALLED ON THE PLANTING BED SIDE OF THE

CURBING, AS OPPOSED TO THE GRASS SIDE. 4. DO NOT INSTALL STEEL EDGING ALONG SIDEWALKS OR CURBS. 5. CUT STEEL EDGING AT 45 DEGREE ANGLE WHERE EDGING MEETS SIDEWALKS OR CURBS

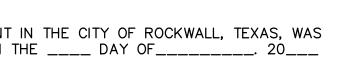
3.3 CLEANUP AND ACCEPTANCE

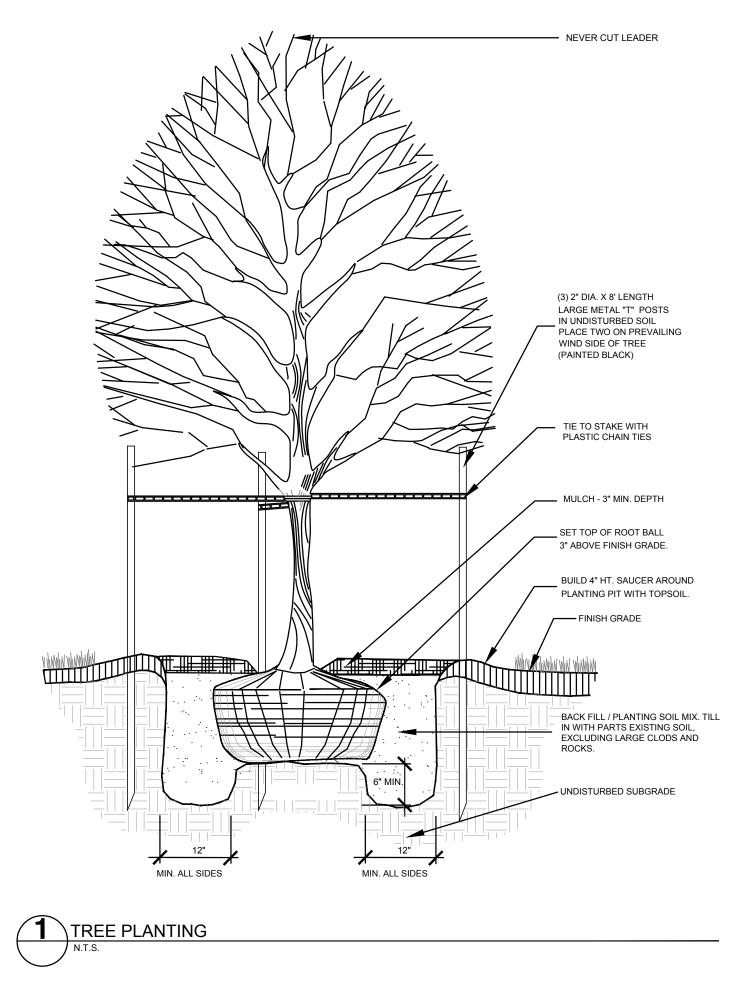
END OF SECTION

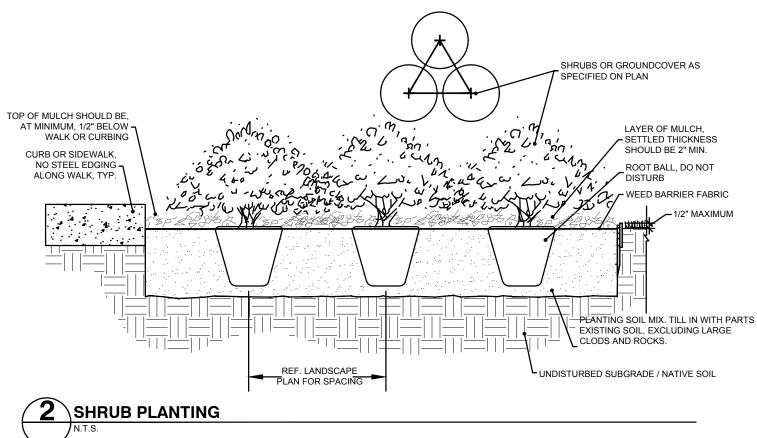
A. CLEANUP: DURING THE WORK, THE PREMISES SHALL BE KEPT NEAT AND ORDERLY AT ALL TIMES. STORAGE AREAS FOR ALL MATERIALS SHALL BE SO ORGANIZED SO THAT THEY, TOO, ARE NEAT AND ORDERLY. ALL TRASH AND DEBRIS SHALL BE REMOVED FROM THE SITE AS WORK PROGRESSES. KEEP PAVED AREAS CLEAN BY SWEEPING OR HOSING THEM AT END OF EACH WORK DAY. 3. REPAIR RUTS, HOLES AND SCARES IN GROUND SURFACES. C. ENSURE THAT WORK IS COMPLETE AND PLANT MATERIALS ARE IN VIGOROUS AND

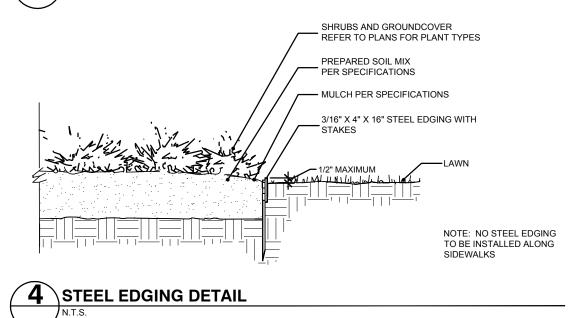
HEALTHY GROWING CONDITION D. UPON COMPLETION OF THE WORK, THE LANDSCAPE CONTRACTOR SHALL PROVIDE THE SITE CLEAN, FREE OF DEBRIS AND TRASH, AND SUITABLE FOR USE AS INTENDED. TH LANDSCAPE CONTRACTOR SHALL THEN REQUEST AN INSPECTION BY THE OWNER TO DETERMINE FINAL ACCEPTABILITY.

E. WHEN/IF THE INSPECTED PLANTING WORK DOES NOT COMPLY WITH THE CONTRACT DOCUMENTS, THE LANDSCAPE CONTRACTOR SHALL REPLACE AND/OR REPAIR THE REJECTED WORK TO THE OWNER'S SATISFACTION WITHIN 24 HOURS. F. THE LANDSCAPE MAINTENANCE PERIOD WILL NOT COMMENCE UNTIL THE LANDSCAPE WORK HAS BEEN RE-INSPECTED BY THE OWNER AND FOUND TO BE ACCEPTABLE AT THAT TIME, A WRITTEN NOTICE OF FINAL ACCEPTANCE WILL BE ISSUED BY THE OWNER, AND THE MAINTENANCE AND GUARANTEE PERIODS WILL COMMENCE









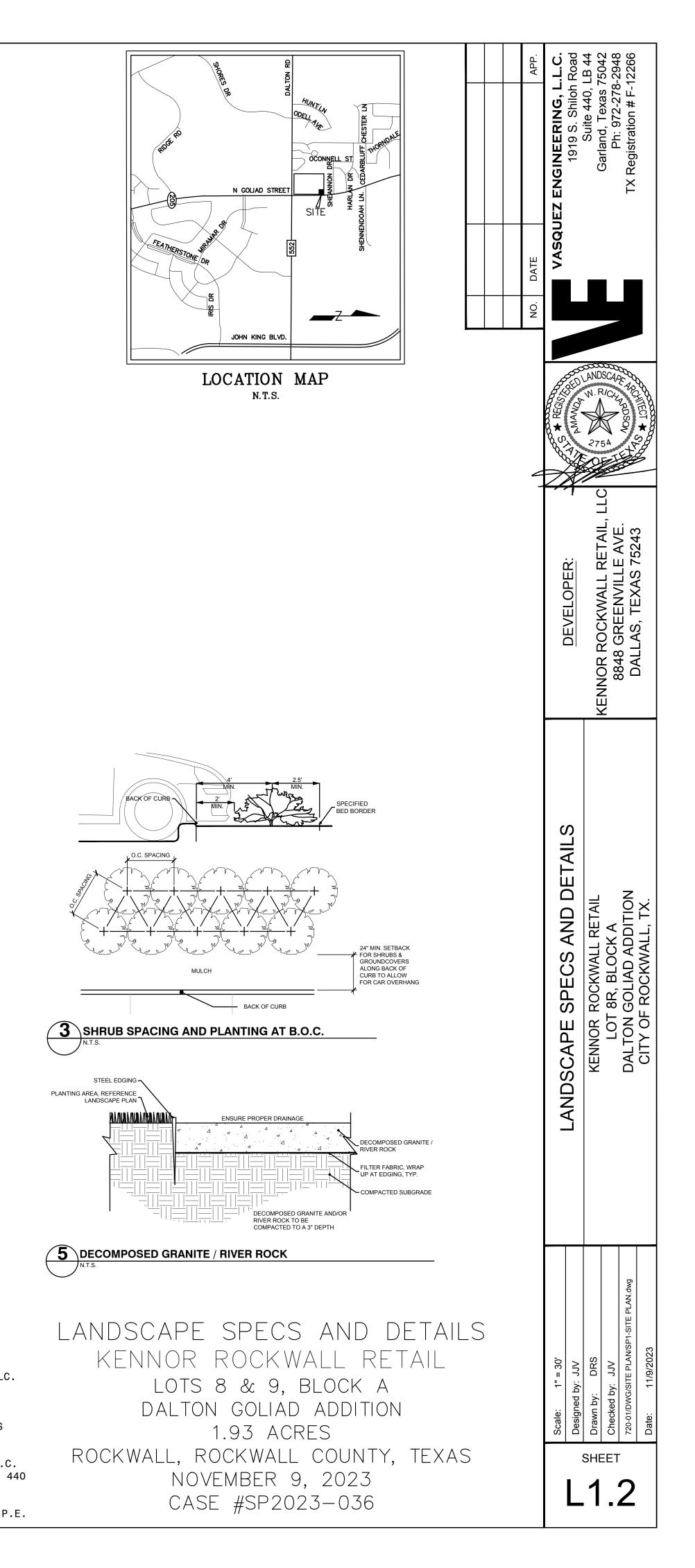
OWNER/DEVELOPER: KENNOR ROCKWALL RETAIL, LLC. 8848 GREENVILLE AVE. DALLAS, TEXAS 75243 PHONE: 903-819-1208 CONTACT: SHANE SHOULDERS

ENGINEER: VASQUEZ ENGINEERING, L.L.C. 1919 S. SHILOH ROAD, SUITE 440 GARLAND, TEXAS 75042 PHONE: 972-272-4610 CONTACT: JUAN J. VASQUEZ, P.E.

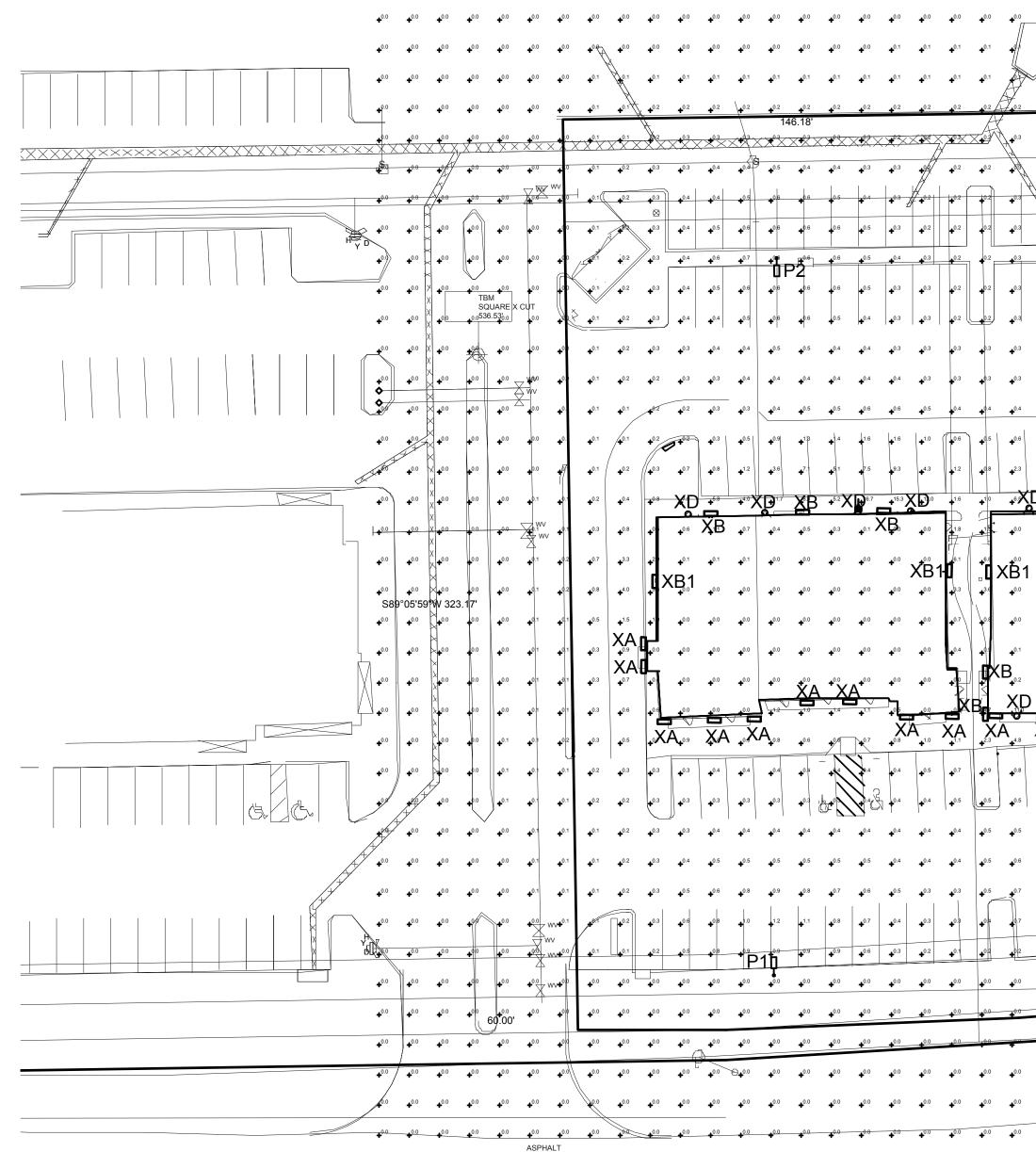
DIRECTOR OF PLANNING AND ZONING



AWR Designs, LLC P.O. Box 1746 Aledo, Texas 76008 amanda@awr-designs.com . 512.517.5589



| | | LIGHT FIXTURE SCHEDULE | | | | |
|------|---------------------|----------------------------|-----------|-------|---------|---|
| TYPE | MANUFACTURER | CATALOG NUMBER | LAMP TYPE | WATTS | VOLTS | CC |
| XA | SCOTT ARCHITECTURAL | S9205-L16 40K [FINISH] | LED | 16 | 120-277 | LED EXTERIOR DECORATIVE WALL SCONCE |
| XB | LITHONIA | ARC2P4 40K MVOLT [FINISH] | LED | 30 | 120-277 | LED WALL PACK |
| XB1 | LITHONIA | ARC2P1 40K MVOLT [FINISH] | LED | 10.6 | 120-277 | LED WALL PACK |
| XD | EELP | OMEL 20W C BZ SD CPY1 CW1 | LED | 20 | 120-277 | LED MULLION MOUNT EMERGENCY OVER DOOR LIGHT |
| P1 | ACUITY BRANDS | DSX0 LED P1 40K 80CRI BLC4 | LED | 33.2 | 120-277 | D-SERIES SIZE 0 AREA LUMINAIRE P1 PERFORMANCE PACKAGE 4000K C |
| P2 | ACUITY BRANDS | DSX0 LED P1 40K 80CRI T5M | LED | 33.2 | 120-277 | D-SERIES SIZE 0 AREA LUMINAIRE P1 PERFORMANCE PACKAGE 4000K C |





U IGINEERING 1919 S. Sh Suite 4 COMMENTS CCT 80 CRI TYPE 4 EXTREME BACKLIGHT CONTROLBLC4, MOUNTING HEIGHT 20'. CCT 80 CRI TYPE 5 MEDIUM. MOUNTING HEIGHT 20'. **↓**^{0.0} **↓**^{0.0} $+^{0.3}$ $+^{0.3}$ $+^{0.3}$ $+^{0.3}$ $+^{0.4}$ $+^{0.3}$ $+^{0.3}$ $+^{0.3}$ $+^{0.2}$ $+^{0}$ **↓**^{0.0} **↓**^{0.0} $\bullet^{0.3}$ $\bullet^{0.4}$ $\bullet^{0.5}$ $\bullet^{0.5}$ $\bullet^{0.5}$ **♦**^{0.4} **♦**^{0.3} **♦**^{0.3} **♦**^{0.2} **♦**^{0.1} **↓**^{0.0} **↓**^{0.0} **↓**^{0.0} \odot **↓**^{0.0} **↓**^{0.0} **↓**^{0.0} **↓**^{0.2} **↓**^{0.1} ♦^{0.0}♦^{0.0}♦^{0.0} 1 +°° $+^{0.2} / +^{0.3} +^{0.4} +^{0.6} +^{0.7} +^{0.6} +^{0.6} +^{0.5} +^{0.4} +^{0.3} +^{0.2} +^{0.2} +^{0.2} +^{0.3} +^{0.6} +^$ ♦^{0.0}♦^{0.0}♦^{0.0} **↓**^{0.0} **↓**^{0.0} $\bullet^{0.6}$ $\bullet^{0.5}$ $\bullet^{0.4}$ $\bullet^{0.3}$ $\bullet^{0.2}$ $\bullet^{0.1}$ $\bullet^{0.0}$ **+**^{0.0} DEVELOI **↓**^{0.0} **↓**^{0.0} $\bullet^{0|4}$ $\bullet^{0.5}$ $\bullet^{0.5}$ $\bullet^{0.6}$ $\bullet^{0.5}$ $\bullet^{0.5}$ $\bullet^{0.4}$ $\bullet^{0.3}$ $\bullet^{0.2}$ $\bullet^{0.1}$ \bullet^{0} **+**^{0.0} TATEOFT **↓**^{0.0} **↓**^{0.0} **↓**^{0.0} Ť **●**^{0.3} **●**^{0.4} **●**^{0.4} **●**^{0.5} **●**^{0.4} **●**^{0.4} **●**^{0.4} **●**^{0.3} **●**^{0.2} **●**^{0.1} **●**^{0.1} **+**^{0.0} **↓**^{0.0} **↓**^{0.0} **●**^{0.4} **●**^{0.4} **●**^{0.3} **●**^{0.2} **●**^{0.1} **●**^{0.1} +^{0.0} +⁰¹ WILLIAM M. GOULD I 112881 **↓**^{0.0} **↓**^{0.0} **♦**^{0.6} **♦**^{0.5} **♦**^{0.4} **♦**^{0.3} **♦**^{0.2} **♦**^{0.1} **+**^{0.0} O $+^{1.7}$ $+^{1.1}$ $+^{0.5}$ $+^{0.2}$ $+^{0.1}$ **+**^{0.1} **↓**^{0.0} **↓**^{0.0} $+^{2.3}$ $+^{5.2}$ $+^{7.5}$ $+^{7.2}$ $+^{9.6}$ $+^{5.7}$ $+^{5.9}$ $+^{10.0}$ $+^{5.3}$ $+^{1.3}$ $+^{0.3}$ $+^{0.3}$ **+**^{0.1} **+**^{0.0} **+**^{0.0} **+**^{0.0} +⁰² +⁰⁴ +⁰⁸ XD +⁵⁹ +⁶⁰ XD +⁷⁰ XB +⁵² XD⁶⁷ +¹⁵³ XD⁰ +¹⁶ +¹⁰ +⁶ XD +²⁷ XD +²³ +²⁷ XD +⁷⁰ **+**^{1.8} **+**^{0.4} **+**^{0.2} ♦^{0.0}♦^{0.0}♦^{0.0} **+**^{0,1} **+**^{0,0} +^{0.0} +^{0.0} $\left\| \begin{array}{c} \mathbf{T}_{\mathbf{A}}^{\mathbf{r}_{\mathbf{A}}^{\mathbf{r}_{\mathbf{A}}}} \mathbf{T}_{\mathbf{A}}^{\mathbf{r}_{\mathbf{A}}} \mathbf{T}_{\mathbf{A}}^{\mathbf{r}_{\mathbf$ **♦**⁰¹ **♦**^{0.0} **♦**^{0.0} **♦**^{0.0} **4**0.1 **4**0. **↓**^{0.0} **↓**^{0.0} **↓**^{0.0} **+**^{0.1} **+**^{0.1} **₽**0.0 +^{0.1} $X^{0}D$ +^{0.} $XD^{0.8}$ XD^{4} +^{0.2} +^{0.0} +^{0.0} **↓**^{0.0} **↓**^{0.0} **↓**^{0.0} **●**^{0.0} **+**^{0.5} **+**^{0.2} **↓**^{0.0} **↓**^{0.0} **↓**^{0.0} PLAN -XD--**+**^{0.4} **+**^{0.2} **+**^{0.0} **+**^{0.0} **+**^{0.0} A +0.6 +0.5 +0.4 +0.2 +0.1 +0.1 +0.1**↓**^{0.0} **↓**^{0.0} **↓**^{0.0} PHOTOMETRIC F **↓**^{0.0} **↓**^{0.0} **4**^{0.3} **4**^{0.3} **4**^{0.2} **4**^{0.1} ¹ / **↓**^{0.1} **↓**^{0.0} +0.5 +0.5 +0.5 +0.5 +0.6 +0.4 +0.3 +0.2 +0.1 +0.1 +0.1 +0.1 +0.0 +0.0 +0.0 +0.0 $+^{0.6}$ $+^{0.7}$ $+^{0.8}$ $+^{0.7}$ $+^{0.6}$ $+^{0.5}$ $+^{0.2}$ $+^{0.1}$ $+^{0.1}$ $+^{0.1}$ $+^{0.0}$ $+^{0.0}$ $+^{0.0}$ $+^{0.0}$ $+^{0.0}$ $+^{0.0}$ DAL CI⁻ **00 0.0 0** +⁰⁰ **↓**^{0.0} **↓**^{0.0} **↓**^{0.0} **↓**^{0.0} **↓**^{0.0} **↓**^{0.0} **↓**^{0.0} **●**^{0.0} **●**^{0.0} **●**^{0.0} STATE HIGHWAY NO. 205 (CALLED 100' RIGHT-OF-WAY) ASPHALT PVMT PHOTOMETRIC PLAN PHOTOMETRIC PLAN SCALE = 1"=30' KENNOR ROCKWALL RETAIL LOT 8 & 9, BLOCK A DALTON GOLIAD ADDITION APPROVED: 1.93 ACRES I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN FOR A DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS, WAS ROCKWALL, ROCKWALL COUNTY, TEXAS APPROVED BY THE PLANNING & ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE ____ DAY OF_____. 20____ OCTOBER 20, 2023 WITNESS OUT HANDS, THIS _____ DAY OF_____ ____ SHEET CASE #SP2023-036 E1 PLANNING & ZONING COMMISSION, CHAIRMAN DIRECTOR OF PLANNING AND ZONING





Catalog Number

Notes

Туре

Hit the Tab key or mouse over the page to see all interactive elements.

Introduction

EXAMPLE: DSX0 LED P6 40K 70CRI T3M MVOLT SPA NLTAIR2 PIRHN DDBXD

The modern styling of the D-Series features a highly refined aesthetic that blends seamlessly with its environment. The D-Series offers the benefits of the latest in LED technology into a high performance, high efficacy, long-life luminaire.

The photometric performance results in sites with excellent uniformity, greater pole spacing and lower power density. D-Series outstanding photometry aids in reducing the number of poles required in area lighting applications, with typical energy savings of 70% and expected service life of over 100,000 hours.

Ordering Information

d"series

0.44 ft²

(0.04 m²)

26.18"

14.06"

(35.7 cm)

2.26"

(5.7 cm)

7.46"

(18.9 cm)

23 lbs

(10.4 kg)

(66.5 cm)

Specifications

EPA:

Length:

Width:

Height H1:

Height H2:

Weight:

| DSX0 LED | | | | | | |
|----------|--|--|---|---|--|--|
| Series | LEDs | Color temperature ² | Color Rendering Index ² | Distribution | Voltage | Mounting |
| DSXO LED | Forward optics P1 P5 P2 P6 P3 P7 P4 Rotated optics P10 ¹ P12 ¹ P11 ¹ P13 ¹ | (this section 70CRI only) 30K 3000K 40K 4000K 50K 5000K (this section 80CRI only, extended lead times apply) 27K 2700K 30K 3000K 35K 3500K 40K 4000K 50K 5000K | 70CRI 70CRI 70CRI 80CRI 80CRI 80CRI 80CRI 80CRI 80CRI | AFR Automotive front row T5M Type V medium T1S Type I short T5LG Type V low glare T2M Type II medium T5W Type V wide T3M Type III medium BLC3 Type III backlight control ³ T3LG Type IIV medium BLC4 Type IV backlight control ³ T4LG Type IV low glare ³ LCC0 Left corner cutoff ³ TFTM Forward throw medium RCC0 Right corner cutoff ³ | MVOLT (120V-277V) ⁴ HVOLT (347V-480V) ^{5,6} XVOLT (277V-480V) ^{7,8} 120 ^{16,24} 208 ^{16,24} 240 ^{16,24} 247 ^{16,24} 347 ^{16,24} 480 ^{16,24} | Shipped included SPA Square pole mounting (#8 drilling, 3.5" min. SQ pole) RPA Round pole mounting (#8 drilling, 3" min. RND pole) SPA5 Square pole mounting (#5 drilling, 3" min. SQ pole)? RPA5 Round pole mounting (#5 drilling, 3" min. RND pole)? SPA5 Square narrow pole mounting (#5 drilling, 3" min. RND pole)? SPA8N Square narrow pole mounting (#8 drilling, 3" min. SQ pole) WBA Wall bracket ¹⁰ MA Mast arm adapter (mounts on 2 3/8" OD horizontal |

H2

| Control options | | | | Other options | | Finish (required) | |
|---|------------------------------------|--|--|---|--|--|--|
| Shipped installed NLTAIR2 PIRHN nlight AIR gen 2 enabled with bi-level motion / ambient sensor, 8-40' mounting height, ambient sensor enabled at 2fc. ^{11, 12, 18, 19} PIR High/low, motion/ambient sensor, 8-40' mounting height, ambient sensor enabled at 2fc. ^{11, 12, 18, 19} PIR High/low, motion/ambient sensor, 8-40' mounting height, ambient sensor enabled at 2fc. ^{11, 12, 18, 19} PER NEMA twist-lock receptacle only (controls ordered separate) ¹⁴ PER5 Five-pin receptacle only (controls ordered separate) ^{14, 19} | PER7 FAO BL30 BL50 DMG | Seven-pin receptacle only (controls ordered separate) ^{14, 19} Field adjustable output ^{15, 19} Bi-level switched dimming, 30% ^{16, 19} Bi-level switched dimming, 50% ^{16, 19} O-10v dimming wires pulled outside fixture (for use with an external control, ordered separately) ¹⁷ | HS L90 R90 CCE HA BAA SF DF | ed installed Houseside shield (black finish standard) ²⁰ Left rotated optics ¹ Right rotated optics ¹ Coastal Construction ²¹ 50°C ambient operation ²² Buy America(n) Act Compliant Single fuse (120, 277, 347V) ²⁴ Double fuse (208, 240, 480V) ²⁴ ed separately External Glare Shield (reversible, field install required, matches housing finish) Bird Spikes (field install required) | DDBXD DBLXD DNAXD DWHXD DDBTXD DBLBXD DNATXD DWHGXD | Dark Bronze Black Natural Aluminum White Textured dark bronze Textured black Textured natural aluminum Textured white | |



tenon)

COMMERCIAL OUTDOOR

Accessories

| Ordered and shipped separately. | | | | | | |
|---------------------------------|--|--|--|--|--|--|
| DLL127F 1.5 JU | Photocell - SSL twist-lock (120-277V) 23 | | | | | |
| DLL347F 1.5 CUL JU | Photocell - SSL twist-lock (347V) 23 | | | | | |
| DLL480F 1.5 CUL JU | Photocell - SSL twist-lock (480V) 23 | | | | | |
| DSHORT SBK | Shorting cap 23 | | | | | |
| DSXOHS P# | House-side shield (enter package number P1-7, P10-13 in place of #) | | | | | |
| DSXRPA (FINISH) | Round pole adapter (#8 drilling, specify finish) | | | | | |
| DSXRPA5 (FINISH) | Round pole adapter #5 drilling (specify finish) | | | | | |
| DSXSPA5 (FINISH) | Square pole adapter #5 drilling (specify finish) | | | | | |
| DSX0EGSR (FINISH) | External glare shield (specify finish) | | | | | |
| DSXOBSDB (FINISH) | Bird spike deterrent bracket (specify finish) | | | | | |

NOTES

- NOTES
 Rotated optics available with packages P10, P11, P12 and P13. Must be combined with option L90 or R90.
 30K, 40K, and 50K available in 70CRI and 80CRI. 27K and 33K only available with 80CRI. Contact Technical Support for other possible combinations.
 T1LG, T4LG, BLC3, BLC4, LCCO, RCCO not available with option HS.
 MVOLT driver operates on any line voltage from 120-277V (50/60 Hz).
 HVOLT not available with avoltage from 347-480V (50/60 Hz).
 HVOLT not available with avoltage between 277V and 480V (50/60 Hz).
 KVOLT not available in packages P1, P2 or P10. XVOLT not available with ovaliable with fusing (SF or DF).
 SPAS and RPAS for use with #5 drilling only (Not for use with #8 drilling).
 WBA cannot be combined with Tybe 5 distributions plus photocell (PER).
 NLTAR2 and PIRHN must be ordered together. For more information on nLight Air 2.
 NLTAR2 PIRHN not available with other controls including PIR, PER, PERS, PER, FAO, BL30, BL50 and DMG. NLTAIR2 PIRHN not available with P1, P2 and P10 using HVOLT. NTAIR2 PIRHN not available with P1 using MVOLT.
 PIR not available with NLTAIR2, PIRH not available with P1 sung MVOLT.
 PER/PERS/PER27 not available with NLTAIR2, PIR, BL30, BL50 and DMG. PIR not available with P1, P2 and P10 using HVOLT. PIR not available with P1 using MVOLT.
 PER/PERS/PER27 not available with NLTAIR2, PIRHN, PIR, PERS, PER7, FAO and DMG. BL30 or BL50 must specify 120, 277 or 347V. Consult tech support for 208, 240 or 480W.
 DMG not available with NLTAIR2, PIRHN, PIR, PER, PERS, PER7, FAO and DMG. BL30 or BL50 must specify 120, 277 or 347V. Consult tech support for 208, 240 or 480W.
 DMG not available with NLTAIR2 PIRHN, PIR, PERS, PER7, FAO and DMG. BL30 or BL50 must specify 120, 277 or 347V. Consult tech support for 208, 240 or 480W.
 DMG not available with NLTAIR2 PIRHN, PIR, PERS, PER7, FAO and DMG. BL30 or BL50 must specify 120, 277 or 347V

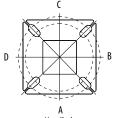
Shield Accessories



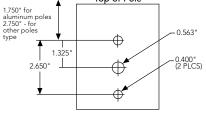
External Glare Shield (EGSR)

Drilling

HANDHOLE ORIENTATION (from top of pole)



Handhole Template #8 Top of Pole





House Side Shield (HS)

Tenon Mounting Slipfitter

| | - | - | | | | | |
|------------|----------|-------------|-----------|-----------|-----------|-----------|-----------|
| Tenon O.D. | Mounting | Single Unit | 2 @ 180 | 2 @ 90 | 3 @ 90 | 3 @120 | 4 @ 90 |
| 2-3/8" | RPA | AS3-5 190 | AS3-5 280 | AS3-5 290 | AS3-5 390 | AS3-5 320 | AS3-5 490 |
| 2-7/8" | RPA | AST25-190 | AST25-280 | AST25-290 | AST25-390 | AST25-320 | AST25-490 |
| 4" | RPA | AST35-190 | AST35-280 | AST35-290 | AST35-390 | AST35-320 | AST35-490 |

| | | | | ₹. | ₽ ┸ ₽ | \mathbf{Y} | ■╂■ | |
|--------------------|----------------------|---|------------|------------|---------------------|-----------------|------------------|--|
| Mounting Option | Drilling Template | Single | 2 @ 180 | 2 @ 90 | 3 @ 90 | 3 @ 120 | 4 @ 90 | |
| Head Location | | Side B | Side B & D | Side B & C | Side B, C & D | Round Pole Only | Side A, B, C & D | |
| Drill Nomenclature | #8 | DM19AS | DM28AS | DM29AS | DM39AS | DM32AS | DM49AS | |
| | | Minimum Acceptable Outside Pole Dimension | | | | | | |
| SPA | #8 | 3.5" | 3.5" | 3.5" | 3.5" | | 3.5" | |
| RPA | #8 | 3" | 3" | 3" | 3" | 3" | 3" | |
| SPA5 | #5 | 3" | 3" | 3" | 3" | | 3" | |
| RPA5 | #5 | 3" | 3" | 3" | 3" | 3" | 3" | |
| SPA8N | #8 | 3" | 3" | 3" | 3" | | 3" | |

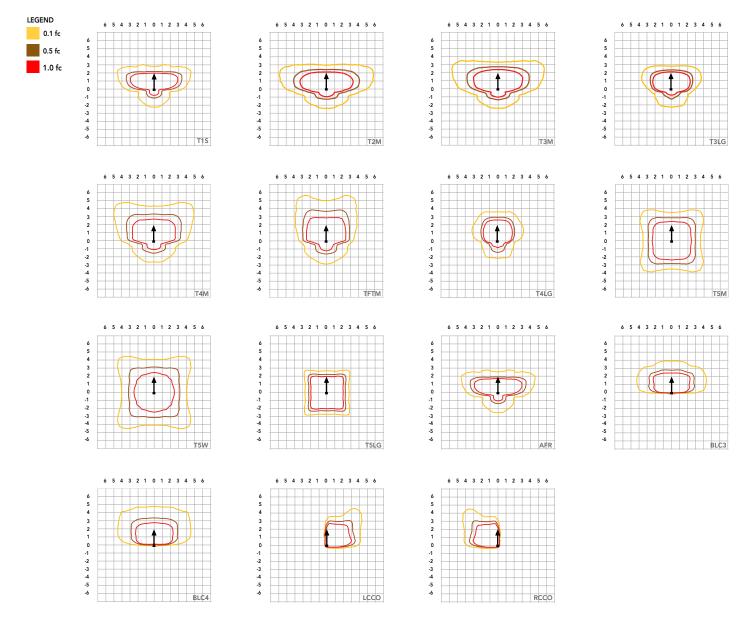
DSX0 Area Luminaire - EPA

*Includes luminaire and integral mounting arm. Other tenons, arms, brackets or other accessories are not included in this EPA data.

| Fixture Quantity & Mounting Configuration | Single DM19 | 2 @ 180 DM28 | 2 @ 90 DM29 | 3 @ 90 DM39 | 3 @ 120 DM32 | 4 @ 90 DM49 |
|--|-------------|--------------|-------------|-------------|--------------|--------------------|
| Mounting Type | - | ■■ | t. | ਼ਾ = | ¥ | ∎ <mark>∄</mark> ∎ |
| DSX0 with SPA | 0.44 | 0.88 | 0.96 | 1.18 | | 1.16 |
| DSXO with SPA5, SPA8N | 0.51 | 1.02 | 1.06 | 1.26 | | 1.29 |
| DSXO with RPA, RPA5 | 0.51 | 1.02 | 1.06 | 1.26 | 1.24 | 1.29 |
| DSX0 with MA | 0.64 | 1.28 | 1.24 | 1.67 | 1.70 | 1.93 |



Isofootcandle plots for the DSX0 LED P7 40K 70CRI. Distances are in units of mounting height (20').





Lumen Ambient Temperature (LAT) Multipliers

Use these factors to determine relative lumen output for average ambient temperatures from 0-40°C (32-104°F).

| Ambie | Ambient | | | | | | |
|-------|---------|------|--|--|--|--|--|
| 0°C | 32°F | 1.04 | | | | | |
| 5°C | 41°F | 1.04 | | | | | |
| 10°C | 50°F | 1.03 | | | | | |
| 15°C | 50°F | 1.02 | | | | | |
| 20°C | 68°F | 1.01 | | | | | |
| 25°C | 77°C | 1.00 | | | | | |
| 30°C | 86°F | 0.99 | | | | | |
| 35°C | 95°F | 0.98 | | | | | |
| 40°C | 104°F | 0.97 | | | | | |

Projected LED Lumen Maintenance

Data references the extrapolated performance projections for the platforms noted in a **25°C** ambient, based on 10,000 hours of LED testing (tested per IESNA LM-80-08 and projected per IESNA TM-21-11).

To calculate LLF, use the lumen maintenance factor that corresponds to the desired number of operating hours below. For other lumen maintenance values, contact factory.

| Operating Hours | Lumen Maintenance Factor |
|-----------------|--------------------------|
| 0 | 1.00 |
| 25,000 | 0.94 |
| 50,000 | 0.89 |
| 100,000 | 0.80 |

FAO Dimming Settings

| FAO Position | % Wattage | % Lumen Output |
|--------------|-----------|----------------|
| 8 | 100% | 100% |
| 7 | 93% | 95% |
| 6 | 80% | 85% |
| 5 | 66% | 73% |
| 4 | 54% | 61% |
| 3 | 41% | 49% |
| 2 | 29% | 36% |
| 1 | 15% | 20% |

*Note: Calculated values are based on original performance package data. When calculating new values for given FAO position, use published values for each package based on input watts and lumens by optic type.

Motion Sensor Default Settings

| | ~ | | | | | |
|---------------|-------------------------|-------------------------------|----------------------|------------|--------------|-------------------|
| Option | Unoccupied Dimmed Level | High Level (when occupied) | Phototcell Operation | Dwell Time | Ramp-up Time | Dimming Fade Rate |
| PIR | 30% | 100% | Enabled @ 2FC | 7.5 min | 3 sec | 5 min |
| NLTAIR2 PIRHN | 30% | 100% | Enabled @ 2FC | 7.5 min | 3 sec | 5 min |

Controls Options

| Nomenclature | Description | Functionality | Primary control device | Notes |
|----------------------------|---|--|--|---|
| FAO | Field adjustable output device installed inside the luminaire; wired to the driver dimming leads. | Allows the luminaire to be manually dimmed, effectively trimming the light output. | FAO device | Cannot be used with other controls options that need the 0-10V leads |
| DS (not available on DSX0) | Drivers wired independently for 50/50 luminaire operation | The luminaire is wired to two separate circuits, allowing for 50/50 operation. | Independently wired drivers | Requires two separately switched circuits. Consider nLight AIR as a more cost effective alternative. |
| PER5 or PER7 | Twist-lock photocell receptacle | Compatible with standard twist-lock photocells for dusk to dawn operation, or advanced control nodes that provide 0-10V dimming signals. | Twist-lock photocells such as DLL Elite or advanced control nodes such as ROAM. | Pins 4 & 5 to dimming leads on driver, Pins 6 & 7 are capped inside luminaire. Cannot be used with other controls options that need the 0-10V leads. |
| PIR | Motion sensor with integral photocell. Sensor suitable for 8' to 40' mounting height. | Luminaires dim when no occupancy is detected. | Acuity Controls rSBG | Cannot be used with other controls options that need the 0-10V leads. |
| NLTAIR2 PIRHN | nLight AIR enabled luminaire for motion sensing, photocell and wireless communication. | Motion and ambient light sensing with group response. Scheduled dimming with motion sensor over-ride when wirelessly connected to the nLight Eclypse. | nLight Air rSBG | Llight AIR sensors can be programmed and commissioned from the ground using the CIAIRity Pro app. Cannot be used with other controls options that need the 0-10V leads. |
| BL30 or BL50 | Integrated bi-level device that allows a second control circuit to switch all light engines to either 30% or 50% light output | BLC device provides input to 0-10V dimming leads on all drivers providing either 100% or dimmed (30% or 50%) control by a secondary circuit | BLC UVOLT1 | BLC device is powered off the 0-10V dimming leads, thus can be used with any input voltage from 120 to 480V |



| DSX0-LED |
|---------------|
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| Electrical | Load | | | | | | Curre | nt (A) | | |
|---------------------------------|------------------------|--------------|-----------------------|---------|------|------|-------|--------|------|------|
| | Performance Package | LED Count | Drive Current (mA) | Wattage | 120V | 208V | 240V | 277V | 347V | 480V |
| | P1 | 20 | 530 | 34 | 0.28 | 0.16 | 0.14 | 0.12 | 0.10 | 0.07 |
| | P2 | 20 | 700 | 45 | 0.38 | 0.22 | 0.19 | 0.16 | 0.13 | 0.09 |
| | P3 | 20 | 1050 | 69 | 0.57 | 0.33 | 0.29 | 0.25 | 0.20 | 0.14 |
| Forward Optics (Non-Rotated) | P4 | 20 | 1400 | 94 | 0.78 | 0.45 | 0.39 | 0.34 | 0.27 | 0.19 |
| | P5 | 40 | 700 | 89 | 0.75 | 0.43 | 0.38 | 0.33 | 0.26 | 0.19 |
| | P6 | 40 | 1050 | 136 | 1.14 | 0.66 | 0.57 | 0.49 | 0.39 | 0.29 |
| | P7 | 40 | 1300 | 170 | 1.42 | 0.82 | 0.71 | 0.62 | 0.49 | 0.36 |
| | P10 | 30 | 530 | 51 | 0.42 | 0.24 | 0.21 | 0.18 | 0.15 | 0.11 |
| Rotated Optics | P11 | 30 | 700 | 67 | 0.57 | 0.33 | 0.28 | 0.25 | 0.20 | 0.14 |
| (Requires L90 or R90) | P12 | 30 | 1050 | 103 | 0.86 | 0.50 | 0.43 | 0.37 | 0.30 | 0.22 |
| | P13 | 30 | 1300 | 129 | 1.07 | 0.62 | 0.54 | 0.46 | 0.37 | 0.27 |

LED Color Temperature / Color Rendering Multipliers

| | 70 CRI | | 8(| DCRI | 90CRI | | | | |
|-------|------------------|--|-----|--------------------|-------|--------------|--|--|--|
| | Lumen Multiplier | ımen Multiplier Availability Lumen Multiplier Availability | | | | Availability | | | |
| 5000K | 102% | Standard | 92% | Extended lead-time | 71% | (see note) | | | |
| 4000K | 100% | Standard | 92% | Extended lead-time | 67% | (see note) | | | |
| 3500K | 100% | (see note) | 90% | Extended lead-time | 63% | (see note) | | | |
| 3000K | 96% | Standard | 87% | Extended lead-time | 61% | (see note) | | | |
| 2700K | 94% | (see note) | 85% | Extended lead-time | 57% | (see note) | | | |

Note: Some LED types are available as per special request. Contact Technical Support for more information.

Lumen values are from photometric tests performed in accordance with IESNA LM-79-08. Data is considered to be representative of configurations shown within the tolerances described within LM-79. Contact factory for performance data on any configurations not shown here.

| Performance | | | Drive | | | | 30K | | | | | 40K | | | 50K | | | | | | | | | | | | | | | | | | | | | | |
|-------------|--------------|-----------|--------------|-------------------|------------------|----------------|---------|---------|------------|------------------|----------------|---------|----------|------------|------------------|----------------|---------|-------|----------|----|----|-----|-------|-------|---|------------|----------------|-------|-------|---|------------|----------------|-----|-------|---|------------|----------------|
| Package | System Watts | LED Count | Current (mA) | Distribution Type | | · · · | 00K, 70 | · · · · | | | · · · · | 00K, 70 | <u> </u> | | | | 00K, 70 | | | | | | | | | | | | | | | | | | | | |
| | | | | TIC | Lumens | B | U | G | LPW | Lumens | B | U | G | LPW | Lumens | B | U | G | LPV | | | | | | | | | | | | | | | | | | |
| | | | | T1S T2M | 4,906 | 1 | 0 | 1 | 148 | 5,113 | 1 | 0 | 1 | 154 | 5,213 | 1 | 0 | 1 | 15 | | | | | | | | | | | | | | | | | | |
| | | | | T3M | 4,545 4,597 | 1 | 0 | 2 | 137 138 | 4,736 4,791 | 1 | 0 | 2 | 143 144 | 4,829 4,885 | 1 | 0 | 2 | 14 | | | | | | | | | | | | | | | | | | |
| | | | | T3LG | 4,107 | 1 | 0 | 1 | 124 | 4,280 | 1 | 0 | 1 | 129 | 4,363 | 1 | 0 | 1 | 13 | | | | | | | | | | | | | | | | | | |
| | | | | T4M | 4,666 | 1 | 0 | 2 | 141 | 4,863 | 1 | 0 | 2 | 146 | 4,957 | 1 | 0 | 2 | 14 | | | | | | | | | | | | | | | | | | |
| | | | | T4LG | 4,244 | 1 | 0 | 1 | 128 | 4,423 | 1 | 0 | 1 | 133 | 4,509 | 1 | 0 | 1 | 13 | | | | | | | | | | | | | | | | | | |
| | | | | TFTM | 4,698 | 1 | 0 | 2 | 141 | 4,896 | 1 | 0 | 2 | 147 | 4,992 | 1 | 0 | 2 | 15 | | | | | | | | | | | | | | | | | | |
| P1 | 33W | 20 | 530 | T5M | 4,801 | 3 | 0 | 1 | 145 | 5,003 | 3 | 0 | 1 | 151 | 5,101 | 3 | 0 | 1 | 15 | | | | | | | | | | | | | | | | | | |
| | | | | T5W | 4,878 | 3 | 0 | 1 | 147 | 5,084 | 3 | 0 | 2 | 153 | 5,183 | 3 | 0 | 2 | 15 | | | | | | | | | | | | | | | | | | |
| | | | | | T5LG | 4,814 | 2 | 0 | 1 | 145 | 5,018 | 2 | 0 | 1 | 151 | 5,115 | 2 | 0 | 1 | 15 | | | | | | | | | | | | | | | | | |
| | | | | | BLC3 BLC4 | 3,344 3,454 | 0 | 0 | 1 | 101 104 | 3,485 3,599 | 0 | 0 | 1 | 105 108 | 3,553 3,670 | 0 | 0 | 1 | 10 | | | | | | | | | | | | | | | | | |
| | | | | | | | | RCCO | 3,374 | 0 | 0 | 1 | 104 | 3,555 | 0 | 0 | 1 | 108 | 3,585 | 0 | 0 | 1 | 10 | | | | | | | | | | | | | | |
| | | | | | | | LCCO | 3,374 | 0 | 0 | 1 | 102 | 3,517 | 0 | 0 | 1 | 106 | 3,585 | 0 | 0 | 1 | 10 | | | | | | | | | | | | | | | |
| | | | | AFR | 4,906 | 1 | 0 | 1 | 148 | 5,113 | 1 | 0 | 1 | 154 | 5,213 | 1 | 0 | 1 | 15 | | | | | | | | | | | | | | | | | | |
| | | | | T1S | 6,328 | 1 | 0 | 1 | 140 | 6,595 | 1 | 0 | 1 | 146 | 6,724 | 1 | 0 | 1 | 14 | | | | | | | | | | | | | | | | | | |
| | | | | T2M | 5,862 | 1 | 0 | 2 | 130 | 6,109 | 1 | 0 | 2 | 135 | 6,228 | 1 | 0 | 2 | 13 | | | | | | | | | | | | | | | | | | |
| | | | | T3M | 5,930 | 1 | 0 | 3 | 131 | 6,180 | 1 | 0 | 3 | 137 | 6,301 | 1 | 0 | 3 | 14 | | | | | | | | | | | | | | | | | | |
| | | | | T3LG | 5,297 | 1 | 0 | 1 | 117 | 5,521 | 1 | 0 | 1 | 122 | 5,628 | 1 | 0 | 1 | 12 | | | | | | | | | | | | | | | | | | |
| | | | | T4M | 6,018 | 1 | 0 | 3 | 133 | 6,272 | 1 | 0 | 3 | 139 | 6,395 | 1 | 0 | 3 | 14 | | | | | | | | | | | | | | | | | | |
| | | | | T4LG TFTM | 5,474 6,060 | 1 | 0 | 1 | 121 134 | 5,705 6,316 | 1 | 0 | 3 | 126 140 | 5,816 6,439 | 1 | 0 | 1 | 12 | | | | | | | | | | | | | | | | | | |
| P2 | 45W | 20 | 700 | T5M | 6,192 | 3 | 0 | 1 | 134 | 6,453 | 3 | 0 | 2 | 140 | 6,579 | 3 | 0 | 2 | 14. | | | | | | | | | | | | | | | | | | |
| 12 | -511 | 20 | , | T5W | 6,293 | 3 | 0 | 2 | 139 | 6,558 | 3 | 0 | 2 | 145 | 6,686 | 3 | 0 | 2 | 14 | | | | | | | | | | | | | | | | | | |
| | | | | T5LG | 6,210 | 2 | 0 | 1 | 138 | 6,472 | 3 | 0 | 1 | 143 | 6,598 | 3 | 0 | 1 | 14 | | | | | | | | | | | | | | | | | | |
| | | | | BLC3 | 4,313 | 0 | 0 | 2 | 96 | 4,495 | 0 | 0 | 2 | 100 | 4,583 | 0 | 0 | 2 | 10 | | | | | | | | | | | | | | | | | | |
| | | | | BLC4 | 4,455 | 0 | 0 | 2 | 99 | 4,643 | 0 | 0 | 2 | 103 | 4,733 | 0 | 0 | 2 | 10 | | | | | | | | | | | | | | | | | | |
| | | | | RCCO | 4,352 | 0 | 0 | 2 | 96 | 4,536 | 0 | 0 | 2 | 100 | 4,624 | 0 | 0 | 2 | 10 | | | | | | | | | | | | | | | | | | |
| | | | | | | LCCO | 4,352 | 0 | 0 | 2 | 96 | 4,536 | 0 | 0 | 2 | 100 | 4,624 | 0 | 0 | 2 | 10 | | | | | | | | | | | | | | | | |
| | | | | | | | | | | | | | | | | | AFR | 6,328 | 1 | 0 | 1 | 140 | 6,595 | 1 | 0 | 1 | 146 | 6,724 | 1 | 0 | 1 | 14 | | | | | |
| | | | | | | | | | | | | | | | | | | | | | | | T1S | 9,006 | 1 | 0 | 2 | 131 | 9,386 | 1 | 0 | 2 | 136 | 9,569 | 1 | 0 | 2 |
| | | | | | | | | | | | | | | | | | | | | | | | | | | T2M T3M | 8,343 8,439 | 2 | 0 | 3 | 121 122 | 8,694 8,795 | 2 | 0 | 3 | 126 128 | 8,864 8,967 |
| | | | | T3LG | 7,539 | 1 | 0 | 2 | 122 | 7,857 | 1 | 0 | 2 | 128 | 8,010 | 1 | 0 | 2 | 110 | | | | | | | | | | | | | | | | | | |
| | | | | T4M | 8,565 | 2 | 0 | 3 | 124 | 8,926 | 2 | 0 | 3 | 129 | 9,100 | 2 | 0 | 3 | 13 | | | | | | | | | | | | | | | | | | |
| | | | | T4LG | 7,790 | 1 | 0 | 2 | 113 | 8,119 | 1 | 0 | 2 | 118 | 8,277 | 1 | 0 | 2 | 120 | | | | | | | | | | | | | | | | | | |
| | | | | TFTM | 8,624 | 1 | 0 | 3 | 125 | 8,988 | 1 | 0 | 3 | 130 | 9,163 | 2 | 0 | 3 | 133 | | | | | | | | | | | | | | | | | | |
| P3 | 69W | 20 | 1050 | T5M | 8,812 | 3 | 0 | 2 | 128 | 9,184 | 4 | 0 | 2 | 133 | 9,363 | 4 | 0 | 2 | 130 | | | | | | | | | | | | | | | | | | |
| | | | | T5W | 8,955 | 4 | 0 | 2 | 130 | 9,333 | 4 | 0 | 2 | 135 | 9,515 | 4 | 0 | 2 | 138 | | | | | | | | | | | | | | | | | | |
| | | | | T5LG | 8,838 | 3 | 0 | 1 | 128 | 9,211 | 3 | 0 | 1 | 134 | 9,390 | 3 | 0 | 1 | 136 | | | | | | | | | | | | | | | | | | |
| | | | | BLC3 | 6,139 | 0 | 0 | 2 | 89 | 6,398 | 0 | 0 | 2 | 93 | 6,522 | 0 | 0 | 2 | 95 | | | | | | | | | | | | | | | | | | |
| | | | | BLC4 RCCO | 6,340 | 0 | 0 | 3 | 92 90 | 6,607 | 0 | 0 | 3 | 96 | 6,736 | 0 | 0 | 3 | 98 95 | | | | | | | | | | | | | | | | | | |
| | | | | LCCO | 6,194 6,194 | 1 | 0 | 2 | 90 | 6,455 6,455 | 1 | 0 | 2 | 94 94 | 6,581 6,581 | 1 | 0 | 2 | 95 | | | | | | | | | | | | | | | | | | |
| | | | | AFR | 9,006 | 1 | 0 | 2 | 131 | 9,386 | 1 | 0 | 2 | 136 | 9,569 | 1 | 0 | 2 | 139 | | | | | | | | | | | | | | | | | | |
| | | | | T1S | 11,396 | 1 | 0 | 2 | 122 | 11,877 | 1 | 0 | 2 | 128 | 12,109 | 2 | 0 | 2 | 13 | | | | | | | | | | | | | | | | | | |
| | | | | T2M | 10,557 | 2 | 0 | 3 | 113 | 11,003 | 2 | 0 | 3 | 118 | 11,217 | 2 | 0 | 3 | 12 | | | | | | | | | | | | | | | | | | |
| | | | | T3M | 10,680 | 2 | 0 | 3 | 115 | 11,130 | 2 | 0 | 3 | 120 | 11,347 | 2 | 0 | 3 | 12 | | | | | | | | | | | | | | | | | | |
| | | | | T3LG | 9,540 | 1 | 0 | 2 | 103 | 9,942 | 1 | 0 | 2 | 107 | 10,136 | 1 | 0 | 2 | 10 | | | | | | | | | | | | | | | | | | |
| | | | | T4M | 10,839 | 2 | 0 | 3 | 117 | 11,296 | 2 | 0 | 3 | 121 | 11,516 | 2 | 0 | 4 | 12 | | | | | | | | | | | | | | | | | | |
| | | | | T4LG | 9,858 | 1 | 0 | 2 | 106 | 10,274 | 1 | 0 | 2 | 110 | 10,474 | 1 | 0 | 2 | 11 | | | | | | | | | | | | | | | | | | |
| D4 | 93W | 20 | 1400 | TFTM T5M | 10,914 | 2 | 0 | 3 | 117 | 11,374 | 2 | 0 | 3 | 122 | 11,596 | 2 | 0 | 3 | 12 | | | | | | | | | | | | | | | | | | |
| P4 | 95W | 20 | 1400 | T5W | 11,152 11,332 | 4 | 0 | 2 | 120 122 | 11,622 11,811 | 4 | 0 | 2 | 125 127 | 11,849 12,041 | 4 | 0 | 2 | 12 | | | | | | | | | | | | | | | | | | |
| | | | | T5LG | 11,332 | 4 | 0 | 1 | 122 | 11,811 | 4 | 0 | 2 | 127 | 12,041 | 4 | 0 | 2 | 12 | | | | | | | | | | | | | | | | | | |
| | | | | BLC3 | 7,768 | 0 | 0 | 2 | 83 | 8,096 | 0 | 0 | 2 | 87 | 8,254 | 0 | 0 | 2 | 89 | | | | | | | | | | | | | | | | | | |
| | | | | BLC4 | 8,023 | 0 | 0 | 3 | 86 | 8,362 | 0 | 0 | 3 | 90 | 8,524 | 0 | 0 | 3 | 92 | | | | | | | | | | | | | | | | | | |
| | | | | RCCO | 7,838 | 1 | 0 | 2 | 84 | 8,169 | 1 | 0 | 2 | 88 | 8,328 | 1 | 0 | 2 | 90 | | | | | | | | | | | | | | | | | | |
| | | | | LCCO | 7,838 | 1 | 0 | 2 | 84 | 8,169 | 1 | 0 | 2 | 88 | 8,328 | 1 | 0 | 2 | 90 | | | | | | | | | | | | | | | | | | |
| | | | | AFR | 11,396 | 1 | 0 | 2 | 122 | 11,877 | 1 | 0 | 2 | 128 | 12,109 | 2 | 0 | 2 | 13 | | | | | | | | | | | | | | | | | | |



Lumen values are from photometric tests performed in accordance with IESNA LM-79-08. Data is considered to be representative of configurations shown within the tolerances described within LM-79. Contact factory for performance data on any configurations not shown here.

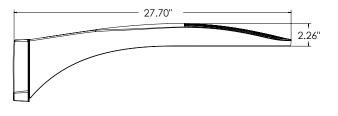
| orward Op | tics | | | | | | | | | | | | | | | | | | |
|------------------------|--------------|-----------|-----------------------|--------------------------|------------------|-----|---------|------|----------|------------------|-----|---------|------|-----------|------------------|-----|---------|------|-----------|
| | | | | | | | 30K | | | 1 | | 40K | | | | | 50K | | |
| Performance Package | System Watts | LED Count | Drive Current (mA) | Distribution Type | | (30 | 00K, 70 | CRI) | | | (40 | 00K, 70 | CRI) | | | (50 | 00K, 70 | CRI) | |
| rackage | | | current (IIIA) | | Lumens | В | U | G | LPW | Lumens | В | U | G | LPW | Lumens | В | U | G | LPW |
| | | | | T1S | 12,380 | 2 | 0 | 2 | 137 | 12,902 | 2 | 0 | 2 | 143 | 13,154 | 2 | 0 | 2 | 146 |
| | | | | T2M | 11,468 | 2 | 0 | 3 | 127 | 11,952 | 2 | 0 | 3 | 133 | 12,185 | 2 | 0 | 3 | 135 |
| | | | | T3M | 11,601 | 2 | 0 | 3 | 129 | 12,091 | 2 | 0 | 3 | 134 | 12,326 | 2 | 0 | 4 | 137 |
| | | | | T3LG | 10,363 | 2 | 0 | 2 | 115 | 10,800 | 2 | 0 | 2 | 120 | 11,011 | 2 | 0 | 2 | 122 |
| | | | | T4M | 11,774 | 2 | 0 | 4 | 131 | 12,271 | 2 | 0 | 4 | 136 | 12,510 | 2 | 0 | 4 | 139 |
| | | | | T4LG | 10,709 | 1 | 0 | 2 | 119 | 11,160 | 2 | 0 | 2 | 124 | 11,378 | 2 | 0 | 2 | 126 |
| | | | | TFTM | 11,856 | 2 | 0 | 3 | 132 | 12,356 | 2 | 0 | 4 | 137 | 12,596 | 2 | 0 | 4 | 140 |
| P5 | 90W | 40 | 700 | T5M | 12,114 | 4 | 0 | 2 | 134 | 12,625 | 4 | 0 | 2 | 140 | 12,871 | 4 | 0 | 2 | 143 |
| | | | | T5W | 12,310 | 4 | 0 | 3 | 137 | 12,830 | 4 | 0 | 3 | 142 | 13,080 | 4 | 0 | 3 | 145 |
| | | | | T5LG | 12,149 | 3 | 0 | 2 | 135 | 12,662 | 3 | 0 | 2 | 141 | 12,908 | 3 | 0 | 2 | 143 |
| | | | | BLC3 | 8,438 | 0 | 0 | 2 | 94 | 8,794 | 0 | 0 | 2 | 98 | 8,966 | 0 | 0 | 2 | 99 |
| | | | | BLC4 | 8,715 | 0 | 0 | 3 | 97 | 9,083 | 0 | 0 | 3 | 101 | 9,260 | 0 | 0 | 3 | 103 |
| | | | | RCCO LCCO | 8,515 | 1 | 0 | 2 | 94 94 | 8,874 | 1 | 0 | 2 | 98 | 9,047 9.047 | 1 | 0 | 2 | 100 |
| | | | | AFR | 8,515 | 2 | 0 | 2 | 94 | 8,874 | 1 | 0 | 2 | 98 143 | | 1 | 0 | 2 | 100 |
| | | | | T1S | 12,380 17,545 | 2 | 0 | 3 | 137 | 12,902 18,285 | 2 | 0 | 3 | 143 | 13,154 18,642 | 2 | 0 | 3 | 140 |
| | | | | T2M | 16,253 | 3 | 0 | 4 | 128 | 16,939 | 3 | 0 | 4 | 133 | 17,269 | 3 | 0 | 4 | 126 |
| | | | | T3M | 16,442 | 2 | 0 | 4 | 119 | 17,135 | 3 | 0 | 4 | 124 | 17,209 | 3 | 0 | 4 | 120 |
| | | | | T3LG | 14,687 | 2 | 0 | 2 | 120 | 15,306 | 2 | 0 | 2 | 125 | 15,605 | 2 | 0 | 2 | 114 |
| | | | | T4M | 16,687 | 2 | 0 | 4 | 107 | 17,391 | 3 | 0 | 5 | 127 | 17,730 | 3 | 0 | 5 | 129 |
| | 137W | | | T4LG | 15,177 | 2 | 0 | 2 | 111 | 15,817 | 2 | 0 | 2 | 115 | 16,125 | 2 | 0 | 2 | 118 |
| | | 40 | 1050 | TFTM | 16,802 | 2 | 0 | 4 | 123 | 17,511 | 2 | 0 | 4 | 128 | 17,852 | 2 | 0 | 5 | 130 |
| P6 | | | | T5M | 17,168 | 4 | 0 | 2 | 125 | 17,893 | 5 | 0 | 3 | 131 | 18,241 | 5 | 0 | 3 | 133 |
| | | | | T5W | 17,447 | 5 | 0 | 3 | 127 | 18,183 | 5 | 0 | 3 | 133 | 18,537 | 5 | 0 | 3 | 135 |
| | | | | T5LG | 17,218 | 4 | 0 | 2 | 126 | 17,944 | 4 | 0 | 2 | 131 | 18,294 | 4 | 0 | 2 | 134 |
| | | | | BLC3 | 11,959 | 0 | 0 | 3 | 87 | 12,464 | 0 | 0 | 3 | 91 | 12,707 | 0 | 0 | 3 | 93 |
| | | | | BLC4 | 12,352 | 0 | 0 | 4 | 90 | 12,873 | 0 | 0 | 4 | 94 | 13,124 | 0 | 0 | 4 | 96 |
| | | | | RCCO | 12,067 | 1 | 0 | 3 | 88 | 12,576 | 1 | 0 | 3 | 92 | 12,821 | 1 | 0 | 3 | 94 |
| | | | | LCCO | 12,067 | 1 | 0 | 3 | 88 | 12,576 | 1 | 0 | 3 | 92 | 12,821 | 1 | 0 | 3 | 94 |
| | | | | AFR | 17,545 | 2 | 0 | 3 | 128 | 18,285 | 2 | 0 | 3 | 133 | 18,642 | 2 | 0 | 3 | 136 |
| | | | | T1S | 20,806 | 2 | 0 | 3 | 122 | 21,683 | 2 | 0 | 3 | 127 | 22,106 | 2 | 0 | 3 | 129 |
| | | | | T2M | 19,273 | 3 | 0 | 4 | 113 | 20,086 | 3 | 0 | 4 | 118 | 20,478 | 3 | 0 | 4 | 120 |
| | | | | T3M | 19,497 | 3 | 0 | 5 | 114 | 20,319 | 3 | 0 | 5 | 119 | 20,715 | 3 | 0 | 5 | 121 |
| | | | | T3LG | 17,416 | 2 | 0 | 2 | 102 | 18,151 | 2 | 0 | 2 | 106 | 18,504 | 2 | 0 | 2 | 108 |
| | | | | T4M | 19,787 | 3 | 0 | 5 | 116 | 20,622 | 3 | 0 | 5 | 121 | 21,024 | 3 | 0 | 5 | 123 |
| | | | | T4LG | 17,997 | 2 | 0 | 2 | 105 | 18,756 | 2 | 0 | 2 | 110 | 19,121 | 2 | 0 | 2 | 112 |
| | | | | TFTM | 19,924 | 3 | 0 | 5 | 117 | 20,765 | 3 | 0 | 5 | 122 | 21,170 | 3 | 0 | 5 | 124 |
| P7 | 171W | 40 | 1300 | T5M | 20,359 | 5 | 0 | 3 | 119 | 21,217 | 5 | 0 | 3 | 124 | 21,631 | 5 | 0 | 3 | 127 |
| | | | | T5W | 20,689 | 5 | 0 | 3 | 121 | 21,561 | 5 | 0 | 3 | 126 | 21,982 | 5 | 0 | 3 | 129 |
| | | | | T5LG | 20,418 | 4 | 0 | 2 | 120 | 21,279 | 4 | 0 | 2 | 125 | 21,694 | 4 | 0 | 2 | 127 |
| | | | | BLC3 | 14,182 | 0 | 0 | 3 | 83 | 14,780 | 0 | 0 | 3 | 87 | 15,068 | 0 | 0 | 3 | 88 |
| | | | | BLC4 | 14,647 | 0 | 0 | 4 | 86 | 15,265 | 0 | 0 | 4 | 89 | 15,562 | 0 | 0 | 4 | 91 |
| | | | | RCCO | 14,309 | 1 | 0 | 3 | 84 | 14,913 | 1 | 0 | 3 | 87 | 15,204 | 1 | 0 | 3 | 89 |
| | | | | LCCO | 14,309 | 1 | 0 | 3 | 84 | 14,913 | 1 | 0 | 3 | 87 | 15,204 | 1 | 0 | 3 | 89 129 |

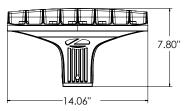


Lumen values are from photometric tests performed in accordance with IESNA LM-79-08. Data is considered to be representative of configurations shown within the tolerances described within LM-79. Contact factory for performance data on any configurations not shown here.

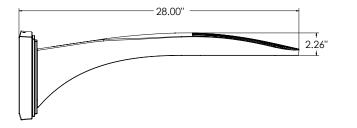
| | tics | | | · | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
|------------------------|--------------|-----------|-----------------------|-------------------|------------------|--------|---------|---|------------|------------------|--------|---------|---|------------|------------------|--------|---------|---|------------|--------|---|---|---|-----|-----|--------|---|---|---|-----|--------|---|---|---|
|) autourn an co | | | Drive | | | | 30K | | | | | 40K | | | | | 50K | | | | | | | | | | | | | | | | | |
| Performance Package | System Watts | LED Count | Drive Current (mA) | Distribution Type | | · · · | 00K, 70 | | | | _ | 00K, 70 | | • | | _ | 00K, 70 | | | | | | | | | | | | | | | | | |
| | | | | TAC | Lumens | B | U | G | LPW | Lumens | B | U | G | LPW | Lumens | B | U | G | LPW | | | | | | | | | | | | | | | |
| | | | | T1S | 7,399 | 3 | 0 | 3 | 145 | 7,711 | 3 | 0 | 3 | 151 | 7,862 | 3 | 0 | 3 | 154 | | | | | | | | | | | | | | | |
| | | | | T2M T3M | 6,854 6,933 | 3 | 0 | 3 | 135 136 | 7,144 7,225 | 3 | 0 | 3 | 140 142 | 7,283 | 3 | 0 | 3 | 143 145 | | | | | | | | | | | | | | | |
| | | | | T3LG | 6,194 | 2 | 0 | 2 | 122 | 6,455 | 2 | 0 | 2 | 142 | 6,581 | 2 | 0 | 2 | 129 | | | | | | | | | | | | | | | |
| | | | | T4M | 7,036 | 3 | 0 | 3 | 138 | 7,333 | 3 | 0 | 3 | 144 | 7,476 | 3 | 0 | 3 | 147 | | | | | | | | | | | | | | | |
| | | | | T4LG | 6,399 | 2 | 0 | 2 | 126 | 6,669 | 2 | 0 | 2 | 131 | 6,799 | 2 | 0 | 2 | 134 | | | | | | | | | | | | | | | |
| | | | | TFTM | 7,086 | 3 | 0 | 3 | 139 | 7,385 | 3 | 0 | 3 | 145 | 7,529 | 3 | 0 | 3 | 148 | | | | | | | | | | | | | | | |
| P10 | 51W | 30 | 530 | T5M | 7,239 | 3 | 0 | 2 | 142 | 7,545 | 3 | 0 | 2 | 148 | 7,692 | 3 | 0 | 2 | 151 | | | | | | | | | | | | | | | |
| | | | | T5W | 7,357 | 3 | 0 | 2 | 145 | 7,667 | 3 | 0 | 2 | 151 | 7,816 | 4 | 0 | 2 | 154 | | | | | | | | | | | | | | | |
| | | | | T5LG | 7,260 | 3 | 0 | 1 | 143 | 7,567 | 3 | 0 | 1 | 149 | 7,714 | 3 | 0 | 1 | 152 | | | | | | | | | | | | | | | |
| | | | | BLC3 | 5,043 | 3 | 0 | 3 | 99 | 5,256 | 3 | 0 | 3 | 103 | 5,358 | 3 | 0 | 3 | 105 | | | | | | | | | | | | | | | |
| | | | | BLC4 RCCO | 5,208 5,089 | 3 0 | 0 | 3 | 102 100 | 5,428 5,303 | 3 0 | 0 | 3 | 107 104 | 5,534 5,407 | 3 0 | 0 | 3 | 109 106 | | | | | | | | | | | | | | | |
| | | | | LCCO | 5,089 | 0 | 0 | 2 | 100 | 5,303 | 0 | 0 | 2 | 104 | 5,407 | 0 | 0 | 2 | 100 | | | | | | | | | | | | | | | |
| | | | | AFR | 7,399 | 3 | 0 | 3 | 145 | 7,711 | 3 | 0 | 3 | 151 | 7,862 | 3 | 0 | 3 | 154 | | | | | | | | | | | | | | | |
| | | | | T1S | 9,358 | 3 | 0 | 3 | 138 | 9,753 | 3 | 0 | 3 | 143 | 9,943 | 3 | 0 | 3 | 146 | | | | | | | | | | | | | | | |
| | | | | T2M | 8,669 | 3 | 0 | 3 | 127 | 9,034 | 3 | 0 | 3 | 133 | 9,211 | 3 | 0 | 3 | 135 | | | | | | | | | | | | | | | |
| | | | | T3M | 8,768 | 3 | 0 | 3 | 129 | 9,138 | 3 | 0 | 3 | 134 | 9,316 | 3 | 0 | 3 | 137 | | | | | | | | | | | | | | | |
| | | | | T3LG | 7,833 | 3 | 0 | 3 | 115 | 8,164 | 3 | 0 | 3 | 120 | 8,323 | 3 | 0 | 3 | 122 | | | | | | | | | | | | | | | |
| | | | | T4M | 8,899 | 3 | 0 | 3 | 131 | 9,274 | 3 | 0 | 3 | 136 | 9,455 | 3 | 0 | 3 | 139 | | | | | | | | | | | | | | | |
| | | | | T4LG | 8,093 | 3 | 0 | 3 | 119 | 8,435 | 3 | 0 | 3 | 124 | 8,599 | 3 | 0 | 3 | 126 | | | | | | | | | | | | | | | |
| P11 | 68W | 30 | 700 | TFTM | 8,962 | 3 | 0 | 3 | 132 | 9,340 | 3 | 0 | 3 | 137 | 9,522 | 3 | 0 | 3 | 140 | | | | | | | | | | | | | | | |
| FII | 00W | 50 | 700 | T5M T5W | 9,156 9,304 | 4 | 0 | 2 | 135 137 | 9,542 9,696 | 4 | 0 | 2 | 140 143 | 9,728 9,885 | 4 | 0 | 2 | 143 | | | | | | | | | | | | | | | |
| | | | | T5LG | 9,182 | 3 | 0 | 1 | 135 | 9,569 | 3 | 0 | 1 | 145 | 9,756 | 3 | 0 | 1 | 143 | | | | | | | | | | | | | | | |
| | | | | BLC3 | 6,378 | 3 | 0 | 3 | 94 | 6,647 | 3 | 0 | 3 | 98 | 6,777 | 3 | 0 | 3 | 100 | | | | | | | | | | | | | | | |
| | | | | BLC4 | 6,587 | 3 | 0 | 3 | 97 | 6,865 | 3 | 0 | 3 | 101 | 6,999 | 3 | 0 | 3 | 103 | | | | | | | | | | | | | | | |
| | | | | RCCO | 6,436 | 0 | 0 | 2 | 95 | 6,707 | 0 | 0 | 2 | 99 | 6,838 | 0 | 0 | 2 | 101 | | | | | | | | | | | | | | | |
| | | | | LCCO | 6,436 | 0 | 0 | 2 | 95 | 6,707 | 0 | 0 | 2 | 99 | 6,838 | 0 | 0 | 2 | 101 | | | | | | | | | | | | | | | |
| | | | | AFR | 9,358 | 3 | 0 | 3 | 138 | 9,753 | 3 | 0 | 3 | 143 | 9,943 | 3 | 0 | 3 | 146 | | | | | | | | | | | | | | | |
| | | | | | | | | | T1S | 13,247 | 3 | 0 | 3 | 128 | 13,806 | 3 | 0 | 3 | 134 | 14,075 | 3 | 0 | 3 | 136 | | | | | | | | | | |
| | | | | | | | | | | | | | | | | | | | | | | | | | T2M | 12,271 | 4 | 0 | 4 | 119 | 12,789 | 4 | 0 | 4 |
| | | | | T3M T3LG | 12,412 | 4 | 0 | 4 | 120 107 | 12,935 | 4 | 0 | 4 | 125 | 13,187 | 4 | 0 | 4 | 128 | | | | | | | | | | | | | | | |
| | | | | T4M | 11,089 12,597 | 3 4 | 0 | 4 | 107 | 11,556 13,128 | 4 | 0 | 4 | 112 127 | 11,782 13,384 | 4 | 0 | 4 | 114 129 | | | | | | | | | | | | | | | |
| | | | | T4LG | 11,457 | 3 | 0 | 3 | 111 | 11,940 | 3 | 0 | 3 | 127 | 12,173 | 3 | 0 | 3 | 129 | | | | | | | | | | | | | | | |
| | | | | TFTM | 12,686 | 4 | 0 | 4 | 123 | 13,221 | 4 | 0 | 4 | 128 | 13,479 | 4 | 0 | 4 | 130 | | | | | | | | | | | | | | | |
| P12 | 103W | 30 | 1050 | T5M | 12,960 | 4 | 0 | 2 | 125 | 13,507 | 4 | 0 | 2 | 131 | 13,770 | 4 | 0 | 2 | 133 | | | | | | | | | | | | | | | |
| | | | | T5W | 13,170 | 4 | 0 | 3 | 127 | 13,726 | 4 | 0 | 3 | 133 | 13,994 | 4 | 0 | 3 | 135 | | | | | | | | | | | | | | | |
| | | | | T5LG | 12,998 | 3 | 0 | 2 | 126 | 13,546 | 3 | 0 | 2 | 131 | 13,810 | 3 | 0 | 2 | 134 | | | | | | | | | | | | | | | |
| | | | | BLC3 | 9,029 | 3 | 0 | 3 | 87 | 9,409 | 3 | 0 | 3 | 91 | 9,593 | 3 | 0 | 3 | 93 | | | | | | | | | | | | | | | |
| | | | | BLC4 | 9,324 | 4 | 0 | 4 | 90 | 9,718 | 4 | 0 | 4 | 94 | 9,907 | 4 | 0 | 4 | 96 | | | | | | | | | | | | | | | |
| | | | | RCCO | 9,110 | 1 | 0 | 2 | 88 | 9,495 | 1 | 0 | 2 | 92 | 9,680 | 1 | 0 | 2 | 94 | | | | | | | | | | | | | | | |
| | | | | | 9,110 | 1 | 0 | 2 | 88 | 9,494 | 1 | 0 | 2 | 92 | 9,680 | 1 | 0 | 2 | 94 | | | | | | | | | | | | | | | |
| | | | | AFR T1S | 13,247 15,704 | 3 | 0 | 3 | 128 | 13,806 16,366 | 3 | 0 | 3 | 134 127 | 14,075 16,685 | 3 | 0 | 3 | 136 130 | | | | | | | | | | | | | | | |
| | | | | T2M | 14,547 | 4 | 0 | 4 | 113 | 15,161 | 4 | 0 | 4 | 127 | 15,457 | 4 | 0 | 4 | 120 | | | | | | | | | | | | | | | |
| | | | | T3M | 14,714 | 4 | 0 | 4 | 113 | 15,335 | 4 | 0 | 4 | 110 | 15,634 | 4 | 0 | 4 | 120 | | | | | | | | | | | | | | | |
| | | | | T3LG | 13,145 | 3 | 0 | 3 | 102 | 13,700 | 3 | 0 | 3 | 106 | 13,967 | 3 | 0 | 3 | 108 | | | | | | | | | | | | | | | |
| | | | | T4M | 14,933 | 4 | 0 | 4 | 116 | 15,563 | 4 | 0 | 4 | 121 | 15,867 | 4 | 0 | 4 | 123 | | | | | | | | | | | | | | | |
| | | | | T4LG | 13,582 | 3 | 0 | 3 | 105 | 14,155 | 3 | 0 | 3 | 110 | 14,431 | 3 | 0 | 3 | 112 | | | | | | | | | | | | | | | |
| | | | | TFTM | 15,039 | 4 | 0 | 4 | 117 | 15,673 | 4 | 0 | 4 | 122 | 15,979 | 4 | 0 | 4 | 124 | | | | | | | | | | | | | | | |
| P13 | 129W | 30 | 1300 | T5M | 15,364 | 4 | 0 | 2 | 119 | 16,013 | 4 | 0 | 2 | 124 | 16,325 | 4 | 0 | 2 | 127 | | | | | | | | | | | | | | | |
| | | | | T5W | 15,613 | 5 | 0 | 3 | 121 | 16,272 | 5 | 0 | 3 | 126 | 16,589 | 5 | 0 | 3 | 129 | | | | | | | | | | | | | | | |
| | | | | T5LG | 15,409 | 3 | 0 | 2 | 120 | 16,059 | 3 | 0 | 2 | 125 | 16,372 | 4 | 0 | 2 | 127 | | | | | | | | | | | | | | | |
| | | | | BLC3 | 10,703 | 4 | 0 | 4 | 83 | 11,155 | 4 | 0 | 4 | 87 | 11,372 | 4 | 0 | 4 | 88 | | | | | | | | | | | | | | | |
| | | | | BLC4 RCCO | 11,054 10,800 | 4 | 0 | 4 | 86 84 | 11,520 11,256 | 4 | 0 | 4 | 89 87 | 11,745 11,475 | 4 | 0 | 4 | 91 89 | | | | | | | | | | | | | | | |
| | | | | LCCO | 10,800 | 1 | 0 | 2 | 84 | 11,255 | 1 | 0 | 2 | 87 | 11,475 | 1 | 0 | 3 | 89 | | | | | | | | | | | | | | | |
| | | | | AFR | 15,704 | 3 | 0 | 3 | 122 | 16,366 | 3 | 0 | 3 | 127 | 16,685 | 4 | 0 | 4 | 130 | | | | | | | | | | | | | | | |

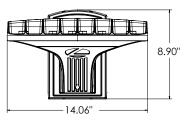




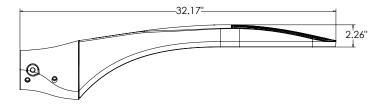


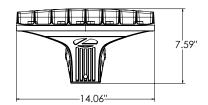
DSX0 with RPA, RPA5, SPA5, SPA8N mount Weight: 25 lbs



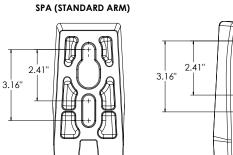


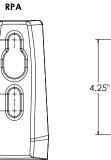
DSX0 with WBA mount Weight: 27 lb

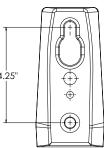




DSX0 with MA mount Weight: 28 lbs

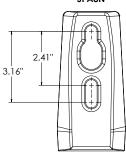






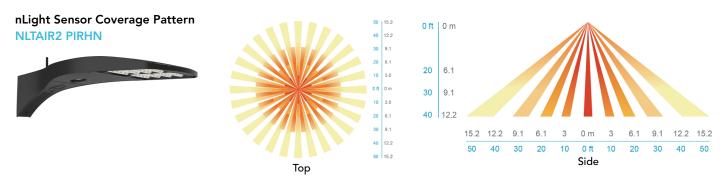
SPA5

RPA5 4.25" ↔ ↔ SPA8N





nLight Control - Sensor Coverage and Settings



FEATURES & SPECIFICATIONS

INTENDED USE

The sleek design of the D-Series Size 0 reflects the embedded high performance LED technology. It is ideal for many commercial and municipal applications, such as parking lots, plazas, campuses, and pedestrian areas.

CONSTRUCTION

Single-piece die-cast aluminum housing has integral heat sink fins to optimize thermal management through conductive and convective cooling. Modular design allows for ease of maintenance and future light engine upgrades. The LED driver is mounted in direct contact with the casting to promote low operating temperature and long life. Housing driver compartment is completely sealed against moisture and environmental contaminants (IP66). Vibration rated per ANSI C136.31 for 3G. Low EPA (0.44 ft²) for optimized pole wind loading.

FINISH

Exterior parts are protected by a zinc-infused Super Durable TGIC thermoset powder coat finish that provides superior resistance to corrosion and weathering. A tightly controlled multi-stage process ensures a minimum 3 mils thickness for a finish that can withstand extreme climate changes without cracking or peeling. Available in both textured and non-textured finishes.

COASTAL CONSTRUCTION (CCE)

Optional corrosion resistant construction is engineered with added corrosion protection in materials and/or pre-treatment of base material under super durable paint. Provides additional corrosion protection for applications near coastal areas. Finish is salt spray tested to over 5,000 hours per ASTM B117 with scribe rating of 10. Additional lead-times may apply.

OPTICS

Precision-molded proprietary silicone lenses are engineered for superior area lighting distribution, uniformity, and pole spacing. Light engines are available in 3000 K, 4000 K or 5000 K (70 CRI) configurations. 80CRI configurations are also available. The D-Series Size 0 has zero uplight and qualifies as a Nighttime Friendly[™] product, meaning it is consistent with the LEED[®] and Green Globes[™] criteria for eliminating wasteful uplight.

ELECTRICAL

Light engine(s) configurations consist of high-efficacy LEDs mounted to metalcore circuit boards to maximize heat dissipation and promote long life (up to L80/100,000 hours at 25°C). Class 1 electronic drivers are designed to have a power factor >90%, THD <20%, and an expected life of 100,000 hours with <1% failure rate. Easily serviceable 10kV surge protection device meets a minimum Category C Low operation (per ANSI/IEEE C62.41.2).

STANDARD CONTROLS

The DSX0 LED area luminaire has a number of control options. DSX Size 0, comes standard with 0-10V dimming driver. Dusk to dawn controls can be utilized via optional NEMA twist-lock photocell receptacles. PIR integrated motion sensor with on-board photocell feature field-adjustable programing and are suitable for mounting heights up to 40 feet. Control option BL features a bi-level device that allows a second control circuit to switch all light engines to either 30% or 50% light output.

nLIGHT AIR CONTROLS

The DSX0 LED area luminaire is also available with nLight® AIR for the ultimate in wireless control. This powerful controls platform provides out-of-the-box basic motion sensing and photocontrol functionality and is suitable for mounting heights up to 40 feet. Once commissioned using a smartphone and the easy-touse CLAIRITY app, nLight AIR equipped luminaries can be grouped, resulting in motion sensor and photocell group response without the need for additional equipment. Scheduled dimming with motion sensor over-ride can be achieved when used with the nLight Eclypse. Additional information about nLight Air can be found here.

INSTALLATION

Integral mounting arm allows for fast mounting using Lithonia standard #8 drilling and accommodates pole drilling's from 2.41 to 3.12" on center. The standard "SPA" option for square poles and the "RPA" option for round poles use the #8 drilling. For #5 pole drillings, use SPA5 or RPA5. Additional mountings are available including a wall bracket (WBA) and mast arm (MA) option that allows luminaire attachment to a 2 3/8" horizontal mast arm.

LISTINGS

UL listed to meet U.S. and Canadian standards. UL Listed for wet locations. Light engines are IP66 rated; luminaire is IP66 rated. Rated for -40°C minimum ambient.

DesignLights Consortium[®] (DLC) Premium qualified product and DLC qualified product. Not all versions of this product may be DLC Premium qualified or DLC qualified. Please check the DLC Qualified Products List at www.designlights.org/ QPL to confirm which versions are qualified.

International Dark-Sky Association (IDA) Fixture Seal of Approval (FSA) is available for all products on this page utilizing 3000K color temperature only.

BUY AMERICAN ACT

Product with the BAA option is assembled in the USA and meets the Buy America(n) government procurement requirements under FAR, DFARS and DOT regulations. Please refer to www.acuitybrands.com/buy-american for additional information.

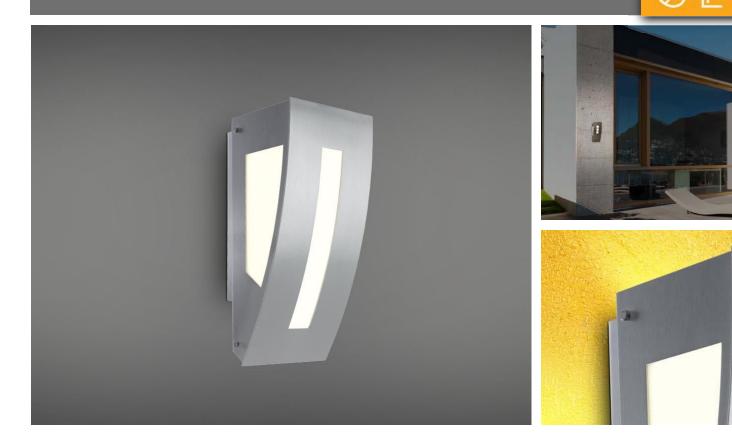
WARRANTY

5-year limited warranty. This is the only warranty provided and no other statements in this specification sheet create any warranty of any kind. All other express and implied warranties are disclaimed. Complete warranty terms located at: www.acuitybrands.com/support/warranty/terms-and-conditions

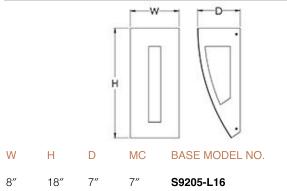
Note: Actual performance may differ as a result of end-user environment and application. All values are design or typical values, measured under laboratory conditions at 25 °C. Specifications subject to change without notice.



S9205 Series



DIMENSIONS



SPECIFICATIONS

Driver: 0-10V dimming to 1%, 120/277 Mounting: Mounts to all Standard Electrical Junction Boxes (by others) With Hardware Provided. Silicone Seal Required (by others).

FEATURES

- Opal Acrylic Panels
- UL Listed for Wet Location
- LED 0-10V Dimming Driver

ORDER AS A COMPLETE UNIT:

| Model No. + Lan | np Code | e + CCT | + Finis | sh + Op | tion C | ode | |
|--|---------|--------------------------|---------|----------|---------|------------------|-----|
| S9205-L16 | + | 27K 30K 35K 40K | + | PT BA | + | Option | |
| FINISHES | | | | | | | |
| BA Brushed Alur | ninum | P1 ** | Powd | er Coat | ed Fini | shes* | |
| *(Specify Color Cc only metallics]) | de from | the list of l | Powder | Coating | Finishe | es [except inter | ior |
| | | | | | | | |

OPTIONS

EML Remote 10W Emergency LED Battery Backup

LIGHT OUTPUT

LXX = ~ 61 LPW Delivered Lumens (Example: L16= 16W x 61LPW = 976 Lumens)

** Try our new **Shimmer Metalic Paints**, Formulated for Exterior Conditions.

www.ScottArchLighting.com | Tel (707) 864-2172 | Fax (707) 864-2182 © Copyright 2022 Scott Architectural Lighting. All Rights Reserved. Made in the USA.





Specifications

Depth (D1):

Depth (D2):

Height:

Width:

Weight:

(without options)



NIGHTTIME FRIENDLY





D2

Catalog Number

Notes

Туре

Hit the Tab key or mouse over the page to see all interactive element

Introduction

The Lithonia Lighting ARC LED wall-mounted luminaires provide both architectural styling and visually comfortable illumination while providing the high energy savings and low initial costs for quick financial payback.

ARC2 delivers up to 6,500 lumens with a soft, non-pixelated light source, creating a visually comfortable environment. It offers integrated emergency battery backup options, including an 8W cold temperature option, making it suitable for pedestrian scale applications in any environment.

EXAMPLE: ARC2 LED P2 40K MVOLT PE DDBXD

ARC LED Family Overview

9.25"

7.5"

5"

14"

11 lbs

| | Standard EM, 0°C | | Approximate Lumens (4000K) | | | | | |
|-----------|------------------|----------------|----------------------------|-------|-------|-------|-------|--|
| Luminaire | Stanuaru EM, V C | Cold EM, -20°C | P1 | P2 | P3 | P4 | P5 | |
| ARC1 LED | 4W | | 1,500 | 2,000 | 3,000 | | | |
| ARC2 LED | 4W | 8W | 1,500 | 2,000 | 3,000 | 4,000 | 6,500 | |

Ordering Information

| Series | Package | Color Temperature | Voltage | Options | Finish |
|----------|---|-------------------------------------|---------------|---|--|
| ARC2 LED | P1 1,500 Lumens P2 2,000 Lumens P3 3,000 Lumens P4 4,000 Lumens P5 6,500 Lumens | 30K 3000K 40K 4000K 50K 5000K | MVOLT 3471 | E4WH Emergency battery backup, CEC compliant (4W, 0°C min) ¹ E8WC Emergency battery backup, CEC compliant (8W, -20°C min) ¹ PE Button type photocell for dusk-to-dawn operation DMG 0-10V dimming wires pulled outside fixture (for use with an external control, ordered separately) ² SPD6KV 6kV surge protection ¹ FAO Field adjustable light output device. Allows for easy adjustment to the desired light levels, from 20% to 100%² | DDBXDDark bronzeDBLXDBlackDNAXDNatural aluminumDWHXDWhiteDSSXDSandstoneDDBTXDTextured dark bronzeDBLBXDTextured blackDNATXDTextured natural aluminumDWHGXDTextured whiteDSSTXDTextured sandstone |

Accessories Ordered and shipped separately. Surface - mounted back box (specify finish)

NOTES

1 347V not available with E4WH, E8WC and SPD6KV.

2 FAO not available with DMG.



WSBBW DDBXD U

Lumen values are from photometric tests performed in accordance with IESNA LM-79-08. Data is considered to be representative of the configurations shown, within the tolerances allowed by Lighting Facts. Contact factory for performance data on any configurations not shown here.

| Performance | Custom Wette | | 30K (30 | 000K, 80 C | RI) | | | 40K (40 | 00K, 80 C | RI) | | | 50K (5 | 000K, 80 (| CRI) | |
|-------------|--------------|--------|---------|------------|-----|---|--------|---------|-----------|-----|---|--------|--------|------------|------|---|
| Package | System Watts | Lumens | LPW | В | U | G | Lumens | LPW | В | U | G | Lumens | LPW | В | U | G |
| P1 | 11W | 1,502 | 142 | 0 | 0 | 1 | 1,587 | 150 | 0 | 0 | 1 | 1,598 | 151 | 0 | 0 | 1 |
| P2 | 16W | 2,250 | 140 | 0 | 0 | 1 | 2,377 | 147 | 0 | 0 | 1 | 2,393 | 148 | 0 | 0 | 1 |
| P3 | 24W | 3,206 | 135 | 0 | 0 | 1 | 3,387 | 143 | 0 | 0 | 1 | 3,410 | 144 | 0 | 0 | 1 |
| P4 | 30W | 3,903 | 128 | 1 | 0 | 1 | 4,124 | 136 | 1 | 0 | 1 | 4,152 | 136 | 1 | 0 | 1 |
| Р5 | 51W | 6,260 | 122 | 1 | 0 | 1 | 6,615 | 129 | 1 | 0 | 1 | 6,659 | 130 | 1 | 0 | 1 |

Electrical Load

| Performance | Suctor Watte | Current (A) | | | | | |
|-------------|--------------|-------------|-------|-------|-------|-------|--|
| Package | System Watts | 120V | 208V | 240V | 277V | 347V | |
| P1 | 11W | 0.090 | 0.055 | 0.049 | 0.046 | 0.045 | |
| P2 | 16W | 0.141 | 0.081 | 0.072 | 0.064 | 0.059 | |
| Р3 | 24W | 0.202 | 0.117 | 0.103 | 0.091 | 0.079 | |
| P4 | 30W | 0.280 | 0.162 | 0.144 | 0.128 | 0.095 | |
| P5 | 51W | 0.471 | 0.272 | 0.239 | 0.212 | 0.158 | |

Lumen Ambient Temperature (LAT) Multipliers

Use these factors to determine relative lumen output for average ambient temperatures from 0-40°C (32-104°F).

| Amt | Lumen Multiplier | |
|------|------------------|------|
| 0°C | 32°F | 1.04 |
| 10°C | 50°F | 1.03 |
| 20°C | 68°F | 1.01 |
| 25°C | 77°F | 1.00 |
| 30°C | 86°F | 0.99 |
| 40°C | 104°F | 0.97 |

Lumen Output in Emergency Mode (4000K, 80 CRI)

| Option | Lumens |
|--------|--------|
| E4WH | 693 |
| E8WC | 1,413 |

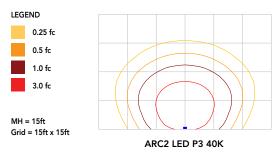
Projected LED Lumen Maintenance

Data references the extrapolated performance projections for the platforms noted in a 25°C ambient, based on 10,000 hours of LED testing (tested per IESNA LM-80-08 and projected per IESNA TM-21-11). To calculate LLF, use the lumen maintenance factor that corresponds to the desired number of operating hours below. For other lumen maintenance values, contact factory.

| Operating Hours | 0 | 25,000 | 50,000 | 100,000 |
|--------------------------|-----|--------|--------|---------|
| Lumen Maintenance Factor | 1.0 | >0.96 | >0.93 | >0.88 |

Photometric Diagrams

To see complete photometric reports or download .ies files for this product, visit the Lithonia Lighting ARC LED homepage. Tested in accordance with IESNA LM-79 and LM-80 standards.





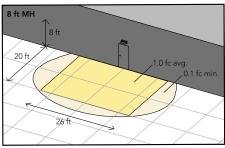
Emergency Battery Backup

The emergency battery backup is integral to the luminaire — no external housing required! This design provides reliable emergency operation while maintaining the aesthetics of the product. All emergency battery backup configurations include an independent secondary driver with an integral relay to immediately detect loss of normal power and automatically energize the luminaire. The emergency battery will power the luminaire for a minimum duration of 90 minutes (maximum duration of three hours) from the time normal power is lost and maintain a minimum of 60% of the light output at the end of 90minutes.

Applicable codes: NFPA 70/NEC – section 700.16, NFPA 101 Life Safety Code Section 7.9

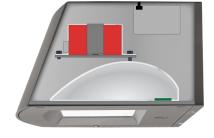
The example below shows illuminance of 1 fc average and 0.1 fc minimum in emergency mode.

$Grid = 10ft \times 10ft$

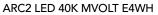


12 ft MH 12 ft 26 ft 40 ft

ARC2 LED 40K MVOLT E8WC



Self-contained solution for clean aesthetic



Mounting, Options & Accessories



E4WH and E8WC – Emergency Battery Backup

D = 6.5" H = 5" W = 11"



| D = 1. | .5″ |
|--------|---|
| H = 4 | 11 |
| W = 5 | 5.5″ |
| | rface conduit applications. conduit entry holes. |

BBW – Standard Back Box

FEATURES & SPECIFICATIONS

INTENDED USE

The clean architectural shape of the ARC LED was designed for applications such as hospitals, schools, malls, restaurants, and commercial buildings. The long-life LEDs and driver make this luminaire nearly maintenance-free.

CONSTRUCTION

The die-cast aluminum housing and door act as heat sinks to optimize thermal transfer from the light engine and driver to promote long-life. The die-cast door frame is fully gasketed with a one-piece solid silicone gasket to keep out moisture and dust, providing an IP65 rating for the luminaire.

FINISH

Exterior painted parts are protected by a zinc-infused Super Durable TGIC thermoset powder coat finish that provides superior resistance to corrosion and weathering. A tightly controlled multi-stage process ensures a 3 mils thickness for a finish that can withstand extreme climate changes without cracking or peeling. Standard Super Durable colors include dark bronze, black, natural aluminum, sandstone and white. Available in textured and non-textured finishes.

OPTICS

Recessed lens to cut off high angle light and reduce glare. Combination of diffused lens and reflector design has low surface brightness creating a visually comfortable environment with great distribution. LEDs are fully hidden from view to eliminate pixelization and harsh glare. The ARC LED has zero uplight and qualifies as a Nighttime Friendly™ product, meaning it is consistent with the LEED® and Green Globes™ criteria for eliminating wasteful uplight.

ELECTRICAL

Light engine consists of high-efficacy LEDs mounted to metal-core circuit boards to maximize heat dissipation and promote long-life (up to L88/100,000 hours at 25°C). The electronic driver has a power factor of >90%, THD <20%. Luminaire is 0-10V dimmable.

INSTALLATION

The universal wall plate, supplied with the luminaire, fits multiple size junction boxes and supports it during wiring for easy installation. Built-in wet location wiring compartment on the luminaire to accommodate wiring connections for applications with no junction box. Design can withstand up to a 1.5 G vibration load rating per ANSI C136.31.

LISTINGS

CSA certified to U.S. and Canadian standards. Luminaire is IP65 rated. DesignLights Consortium® (DLC) Premium qualified product and DLC qualified product. Not all versions of this product may be DLC Premium qualified or DLC qualified. Please check the DLC Qualified Products List at www.designlights.org/QPL to confirm which versions are qualified. International DarkSky Association (IDA) Fixture Seal of approval (FSA) is available for all products on this page utilizing 3000K color temperature only. Rated for -40°C minimum ambient.

WARRANTY

5-year limited warranty. This is the only warranty provided and no other statements in this specification sheet create any warranty of any kind. All other express and implied warranties are disclaimed. Complete warranty terms located at:

Note: Actual performance may differ as a result of end-user environment and application. All values are design or typical values, measured under laboratory conditions at 25 °C. Specifications subject to change without notice.



COMMERCIAL OUTDOOR

One Lithonia Way • Conyers, Georgia 30012 • Phone: 1-800-705-SERV (7378) • www.lithonia.com © 2020-2022 Acuity Brands Lighting, Inc. All rights reserved.



- Decorative low profile die-cast aluminum housing

- Operating Temperature: -20°C - 40°C (-4°F - 104°F)

- Unit offered as AC only, or battery backup

- LVD prevents battery from deep discharge

- Available in white, black, brushed aluminum, or satin bronze finishes

SPECIFICATIONS

- Stainless Steel hardware

- 3.6V, 5Ah Li-SOCI2 Battery

emergency illumination

HOUSING

- Full 90° Cutoff

ELECTRICAL

BATTERY

- Dual 120/277V

Project

Туре

Catalog Number

EMERGENCY



OMEL Mullion Mount LED AC/EM Unit

MOUNTING

ILLUMINATION - Sealed diffused lens

- 50,000 Hours

- Mounts directly to structural mullion beams in glass fronted entrances
- Suitable for wall or ceiling mount

- 5300K standard; 2900 - 3800K available

CODE COMPLIANCE

- cETLus Listed for Outdoor Locations
- Meets UL924, NFPA 101, Life Safety Code, NEC, OSHA, Local and State Codes

- Internal transfer switch automatically connects battery to lamp heads for 90-minute

- Two-rate charger initiates battery charge to recharge in battery in 24 hours

- IP66 Rated
- BAA Compliant

WARRANTY

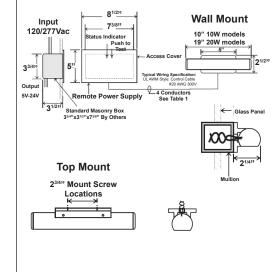
- 5 Year

ORDERING INFORMATION

| CATALOG# | Description | | |
|--|---------------------------------|--|--|
| OMEL-10W-*-# | 10W, 371 Lumens, AC Only | | |
| OMEL-10W-*-EM-# | 10W, 494 Lumens, Battery Backup | | |
| OMEL-20W-*-# | 20W, 742 Lumens, AC Only | | |
| OMEL-20W-*-EM-# | 20W, 988 Lumens, Battery Backup | | |
| *Specify Mounting; <u>C</u> -Ceiling Mount, <u>W</u> -Wall Mount | | | |
| #Specify Color; WH-White; BA-Brushed Aluminum; BZ-Bronze, BK-Black | | | |

OPTIONS (Factory Installed)

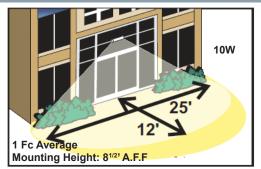
| EM120 | - 2 Hour Emergency Operation (replaces EM in part number) |
|--------|---|
| SD | - Self Diagnostics (EM Models Only) |
| SW120 | - Security Lighting with Control Switch-120V (Standard EM Models) |
| SW277 | - Security Lighting with Control Switch-277V (Standard EM Models) |
| SW-SD | - Security Lighting with Control Switch for EM-SD models (120/277V) |
| 2AC120 | - Dual AC Output - 120V |
| 2AC277 | - Dual AC Output - 277V |
| CW1 | - Custom Window Filter - 3800K |
| CW2 | - Custom Window Filter - 3200K |
| CW3 | - Custom Window Filter - 2900K |
| CPY1 | - Canopy - 2" Height |
| CPY2 | - Canopy - 5" Height |
| CC | - Custom Housing Color |

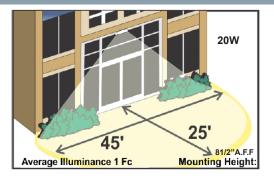




OMEL rev: 03102023

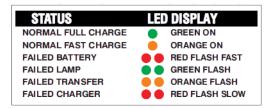
SPACING GUIDELINES





| Model # | Mounting | 3' Wide | 6' Wide | 10' Wide |
|----------|-------------|-------------|-------------|-------------|
| | Height (ft) | Egress Path | Egress Path | Egress Path |
| OMEL-10W | 8' | 25' | 25' | 25' |

SELF DIAGNOSTICS





CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION CASE MEMO

PLANNING AND ZONING DEPARTMENT 385 S. GOLIAD STREET • ROCKWALL, TX 75087 PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

| TO: | Planning and Zoning Commission |
|--------------|---|
| DATE: | November 14, 2023 |
| APPLICANT: | James Belt and Bart Gardner; Gardner Construction |
| CASE NUMBER: | SP2023-037; Site Plan for Arms of America |

SUMMARY

Discuss and consider a request by Bart Gardner and James Belt of Gardner Construction on behalf of Corey Fleck of C2LA, LLC for the approval of a <u>Site Plan</u> for a Light Industrial Building on a 6.50-acre tract of land identified as Tracts 3-1, 3-2, 3-3 & 3-4 of the J. Lockhart Survey, Abstract No. 134 and Lots 1 & 2, Block A, Eastplex Inc. Park #2 Addition, City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District and Commercial (C) District, situated within the IH-30 Overlay (IH-30 OV) District and the SH-205 By-Pass Overlay (SH-205 BY-OV) District, generally located at the northwest corner of the intersection of the IH-30 Frontage Road and Enterprise Drive, and take any action necessary.

BACKGROUND

According to the Rockwall Central Appraisal District (RCAD) there is an 8,900 SF utility building on the subject property that was constructed in 1970. The subject property was annexed by the City Council on September 16, 1974 by *Ordinance No.* 74-28 [*Case No. A1974-008*]. Based on the City's historic zoning maps the subject property was rezoned from an Agricultural (AG) District to a Light Industrial (LI) District and Commercial (C) District at some point between September 16, 1974 and May 16, 1983. On April 18, 1983, the City Council approved two (2) final plats that established portions of the subject property as Lots 1 & 2, Block A, Eastplex Inc. Park #2 Addition.

PURPOSE

On October 20, 2023, the applicant -- James Belt and Bart Gardner of Gardner Construction -- submitted an application requesting the approval of a <u>Site Plan</u> for the purpose of constructing a light industrial building on the subject property.

ADJACENT LAND USES AND ACCESS

The subject property is generally located at the northwest corner of the intersection of the IH-30 Frontage Road and Enterprise Drive. The land uses adjacent to the subject property are as follows:

- <u>North</u>: Directly north of the subject property is a vacant 25.7125-acre tract of land (*i.e. Tract 3 of the J. Lockhart Survey, Abstract No. 134*), zoned Light Industrial (LI) District and Commercial (C) District. Beyond this is Justin Road, which is classified as a A4D (*i.e. major arterial, four [4] lane, divided roadway*) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan.
- <u>South</u>: Directly south of the subject property is E. Interstate 30 [*IH-30*]. Beyond this is an 8.6860-acre parcel of land (*i.e.* Lot 1 Block 1, Honda of Rockwall Addition) developed with a Car Dealership (*i.e.* Rockwall Honda), zoned Commercial (C) District.
- <u>East</u>: Directly east of the subject property is a vacant 25.7125-acre tract of land (*i.e. Tract 3 of the J. Lockhart Survey, Abstract No. 134*), zoned Light Industrial (LI) District and Commercial (C) District. Beyond this is S. John King Boulevard, which is classified as a P6D (*i.e. principal arterial, six [6] lane, divided roadway*) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Following this is a vacant

18.175-acre tract of land (*i.e. Tract 3-5 of the J. Lockhart Survey, Abstract No. 134*), zoned Light Industrial (LI) District and Commercial (C) District.

<u>West</u>: Directly west of the subject property is a vacant 37.487-acre tract of land (*i.e. Tract 3 of the A. Hanna Survey, Abstract No. 99*) and several properties developed with commercial and light industrial land uses (*i.e. House of Worship, Office/Warehouse, and Car Dealership*). All of these properties are zoned Light Industrial (LI) District.

DENSITY AND DIMENSIONAL REQUIREMENTS

According to Section 01, Land Use Schedule, of Article 04, Permissible Uses, of the Unified Development Code (UDC), an Office/Warehouse Building is permitted by-right in a Light Industrial (LI) District. The submitted site plan, landscape plan, photometric plan, and building elevations generally conform to the technical requirements contained within the Unified Development Code (UDC) for a property located within a Light Industrial (LI) District with the exception of the item(s) noted in the Variances and Exceptions Requested by the Applicant section of this case memo. A summary of the density and dimensional requirements for the subject property are as follows:

| Ordinance Provisions | Zoning District Standards | Conformance to the Standards |
|----------------------------------|---|-------------------------------|
| Minimum Lot Area | 12,500 SF | X=6.58-acres; In Conformance |
| Minimum Lot Frontage | 100-Feet | X= 200-feet; In Conformance |
| Minimum Lot Depth | 125-Feet | X=369.32-feet; In Conformance |
| Minimum Front Yard Setback | 25-Feet | X>25-feet; In Conformance |
| Minimum Rear Yard Setback | 10-Feet | X>10-feet; In Conformance |
| Minimum Side Yard Setback | 15-Feet | X>15-feet; In Conformance |
| Maximum Building Height | 60-Feet | X=29.75-feet; In Conformance |
| Max Building/Lot Coverage | 60% | X=10.07%; In Conformance |
| Minimum Number of Parking Spaces | 1 Parking Space/1000 SF (Warehouse) 1 Parking Space/300SF (Office) 24 Required Parking Spaces | X=28; In Conformance |
| Minimum Landscaping Percentage | 15% | X>15%; In Conformance |
| Maximum Impervious Coverage | 90-95% | X<90%; In Conformance |

CONFORMANCE WITH THE CITY'S CODES

According to Subsection 05.02, *Light Industrial (LI) District*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC), "(t)he Light Industrial (LI) District is a zoning district intended to create a limited industrial zone that provides for modern types of industrial land uses... Limitations have been placed on the uses in this district to significantly restrict outside activities and the storage of materials, noise, vibration, smoke, pollution, fire and explosive hazards, glare and any other potentially adverse externalities." In this case, the applicant is proposing *Office/Warehouse Building*. In order to conform with the requirements of the *General Overlay District Standards* and the *General Industrial District Standards*, the applicant has indicated all work shall be done within the proposed building, there shall be no outside storage, and landscaping screening is provided in order to screen the bay doors. Based on staff's review of the applicant's project compared to the City's codes, the request does appear to meet the City's requirements with the exception of the variance(s) and exception(s) being requested as outlined in the *Variances and Exceptions Requested by the Applicant* section of this case memo.

VARIANCES AND EXCEPTIONS BY THE APPLICANT

As stated above, the applicant's request conforms to the majority of the City's codes; however, staff has identified the following variances and exception:

- (1) Architectural Standards.
 - (a) <u>Four-Sided Architecture</u>. According to Subsection 06.02(C)(5), of Article 05, of the General Overlay District Development Standards of the Unified Development Code (UDC), "(a)II buildings shall be architecturally finished on all four (4) sides utilizing the same materials, detailing, articulation and features." In this case, the proposed building does not meet the primary articulation requirements on all sides of the building. More specifically, the wall length

requirements are not met. This will require a *variance* from the Planning and Zoning Commission pending a recommendation from the Architectural Review Board (ARB).

- (b) <u>Stone</u>. According to Subsection 06.02(C)(1)(a)(1), General Overlay District Standards, of Article 05, District Development Standards, of the Unified Development Code (UDC), "(a) minimum of 20% natural or quarried stone is required on all building façades." In this case the applicant has <u>not</u> met the 20.00% natural or quarried stone requirement. This will require a variance from the Planning and Zoning Commission.
- (c) <u>Secondary Materials</u>. According to Subsection 06.02(C)(1)(a)(1), General Overlay District Standards, of Article 05, District Development Standards, of the Unified Development Code (UDC), "(a) maximum of 10% Secondary Materials…" may be used on each building façade. In this case the applicant has <u>exceed</u> the 10.00% secondary material requirement. This will require a variance from the Planning and Zoning Commission.
- (d) <u>Roof Design Standards</u>. According to Section 05.01(A), General Industrial District Standards, of Article 05, District Development Standards, of the Unified Development Code (UDC), "(a)ll structures shall have the option of being constructed with either a pitched (*minimum of a 6:12 roof pitch*), parapet, or mansard roof system as long as the roof system is enclosed on all sides. In this case, the applicant is proposing a pitched roof with a slope of 3:12. This will require an exception from the Planning and Zoning Commission.

According to Subsection 09, *Exceptions and Variances*, of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC), "...an applicant may request the Planning and Zoning Commission grant variances and exceptions to the provisions contained in the Unified Development Code (UDC), where unique or extraordinary conditions exist or where strict adherence to the technical requirements of the Unified Development Code (UDC) would create an undue hardship." In addition, the code requires that the applicant provide compensatory measures that directly offset the requested variances and exceptions. The applicant has indicated the following as compensatory measures: [1] a shrub row along the west and north sides of the proposed building, and [2] continuing the stone wainscot along the east side of the proposed building. Staff should note that the Architectural Review Board (ARB) asked for compensatory measure #2 in order to bring the proposed building closer into conformance with the Unified Development Code (UDC), so this measure is not truly compensatory in nature. That being said, requests for exceptions and variances to the Unified Development Code (UDC) are discretionary decisions for the Planning and Zoning Commission. Staff should note that a supermajority vote (*e.g. six [6] out of the seven [7] commissioners*) -- *with a minimum of four (4) votes in the affirmative --* is required for the approval of a variance or exception.

CONFORMANCE WITH OURHOMETOWN VISION 2040 COMPREHENSIVE PLAN

The Future Land Use Plan adopted with the OURHometown Vision 2040 Comprehensive Plan identifies the subject property as being situated in the <u>IH-30 Corridor District</u>. The <u>IH-30 Corridor District</u> is "approximately 55% developed, with the remaining 45% being vacant or raw land". In this case the applicant is requesting to develop raw land that is identified as an opportunity zone within the <u>IH-30 Corridor District</u>, which is defined as land that is "...strategically placed or underutilized...that could be developed...with the highest and best use for the corridor." In this case, the Future Land Use Map identifies the subject property for *Special Commercial Corridor* land uses, which does not include industrial land uses; however, the subject property is already zoned for Light Industrial (LI) District land uses. This means that while the proposed development does not conform to the OURHometown Vision 2040 Comprehensive Plan's Future Land Use Map, the property's zoning designation allows this development *by-right*. That being said, the proposed *Office/Warehouse Building* does not appear to be inconsistent or negatively impact the adjacent properties.

ARCHITECTURAL REVIEW BOARD (ARB) RECOMMENDATION

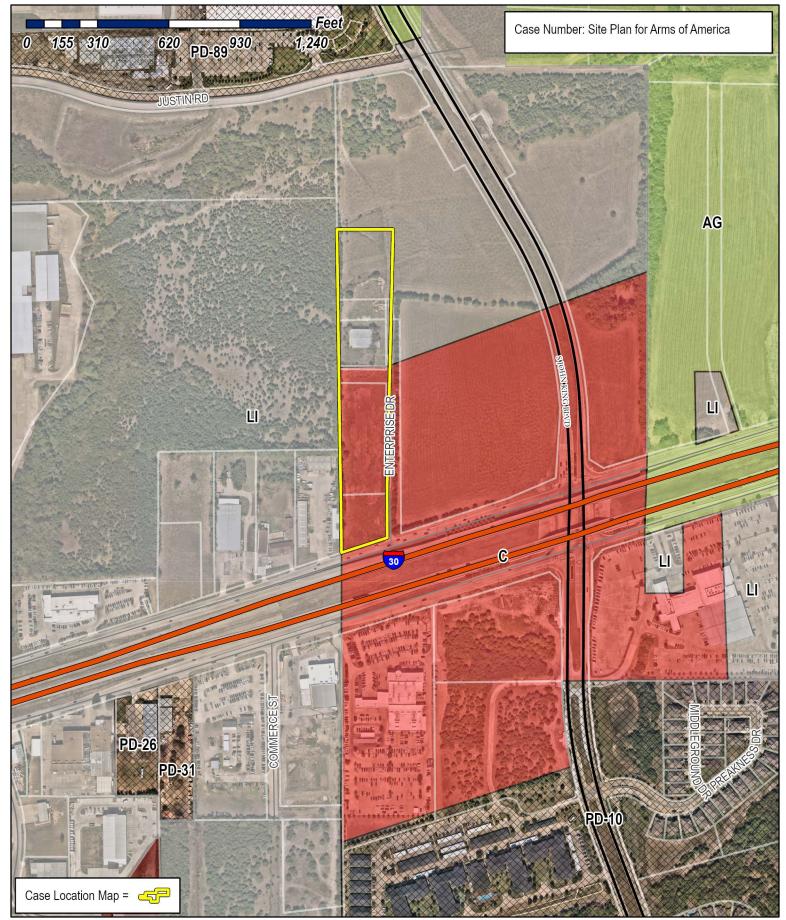
On November 1, 2023 the Architecture Review Board (ARB) reviewed the building elevations provided by the applicant. The ARB requested the applicant to continue the stone wainscot along the east elevation. The applicant has made the requested change, which will be reviewed by the ARB prior to the November 14, 2023 meeting.

CONDITIONS OF APPROVAL

If the Planning and Zoning Commission chooses to approve the applicant's <u>Site Plan</u> for the construction of Light Industrial Building on the subject property, then staff would propose the following conditions of approval:

- (1) All staff comments provided by the Planning, Engineering and Fire Department must be addressed prior to the submittal of engineering plans; and,
- (2) A photometric plan that conforms to the Unified Development Code (UDC) must be submit before Civil Engineering plans may be submit for review; and,
- (3) Any construction resulting from the approval of this <u>Site Plan</u> shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

| | DEVELOPMENT APPLICA City of Rockwall Planning and Zoning Department 385 S. Goliad Street Rockwall, Texas 75087 | ATION | STAFF USE ONLY PLANNING & ZONING CASE NO. SP2023-037 <u>NOTE:</u> THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW. DIRECTOR OF PLANNING: CITY ENGINEER: | | | | | | | | |
|--|--|---|---|--|--|--|--|--|--|--|--|
| PLEASE CHECK THE A | PPROPRIATE BOX BELOW TO INDICATE THE TYPE O | F DEVELOPME | ENT REQUEST [SELECT ONLY ONE BOX]: | | | | | | | | |
| PRELIMINARY PI FINAL PLAT (\$30 REPLAT (\$300.00 AMENDING OR M PLAT REINSTATE SITE PLAN APPLICA SITE PLAN (\$250 | \$100.00 + \$15.00 ACRE) ¹ LAT (\$200.00 + \$15.00 ACRE) ¹ 0.00 + \$20.00 ACRE) ¹ 0 + \$20.00 ACRE) ¹ 1 + \$20.00 ACRE) ¹ MINOR PLAT (\$150.00) EMENT REQUEST (\$100.00) ATION FEES: | ☐ ZONIN ☐ SPEC ☐ PD DE OTHER A ☐ TREE ☐ VARIA <u>NOTES:</u> 1: IN DETER: PER ACRE A 3: A \$1000. | G APPLICATION FEES: IING CHANGE (\$200.00 + \$15.00 ACRE) ¹ ICIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ^{1 & 2} DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹ RAPPLICATION FEES: IE REMOVAL (\$75.00) RIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) ² ERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE E AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE. 20.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT S CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING | | | | | | | | |
| PROPERTY INFO | RMATION [PLEASE PRINT] | | | | | | | | | | |
| ADDRESS | 1601 INTESTATE 30, ROCK | WALL . | TEXAS 75087 | | | | | | | | |
| SUBDIVISION | J LOCKHANT | 112115 | "LOT A0134 BLOCK 3-2 | | | | | | | | |
| GENERAL LOCATION | JOHN KING \$ 1-30 (NW | COD NER | 2 | | | | | | | | |
| | AN AND PLATTING INFORMATION [PLEAS | | | | | | | | | | |
| CURRENT ZONING | SALE REAL AND A REAL PROPERTY OF A DATA OF A D | | | | | | | | | | |
| | C2 | PROPOSE | | | | | | | | | |
| PROPOSED ZONING | C2 | | | | | | | | | | |
| REGARD TO ITS A | PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE TI | HAT DUE TO TH | LOTS [PROPOSED] THE PASSAGE OF <u>HB3167</u> THE CITY NO LONGER HAS FLEXIBILITY WIT MENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WI | | | | | | | | |
| OWNER/APPLICA | NT/AGENT INFORMATION [PLEASE PRINT/CH | ECK THE PRIMA | ARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED] | | | | | | | | |
| | C2LA, LLC | | LICANT GARDNER CONSTRUCTION | | | | | | | | |
| CONTACT PERSON | COREY FLECK | CONTACT PER | ERSON BART GARONER / JAMES BELT | | | | | | | | |
| ADDRESS | 382 RANCH TRAL | ADD | DRESS 15950 STATE HILHWAY 205 | | | | | | | | |
| CITY, STATE & ZIP | ROCKWALL TX 75032 | CITY, STATE | E&ZIP TERNELL TX 75160 | | | | | | | | |
| PHONE | 469-338-0262 | PH | PHONE 214-675-4435 | | | | | | | | |
| E-MAIL C | ORY @ ARMSOFAMERICA. COM | E | E-MAIL BART @ GARDNER - CONSTRUCTION . CA | | | | | | | | |
| NOTARY VERIFIC BEFORE ME, THE UNDERS STATED THE INFORMATIC | ATION [REQUIRED] SIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARE ON ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE | D_Jam | <u>res Belt</u> [OWNER] THE UNDERSIGNED, WH | | | | | | | | |
| | TO COVER THE COST OF THIS APPLICATION, HA | as been paid to t ee that the cit s also authoriz | ITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIL RIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATIC RESPONSE TO A REQUEST FOR PUBLIC INFORMATION." | | | | | | | | |
| GIVEN UNDER MY HAND A | and seal of office on this the $\frac{24}{24}$ day of $\frac{5}{5}$ | ept | _ 20_2.3 MOLLY FAYE JACKS | | | | | | | | |
| NOTARY PUBLIC IN AND F | OWNER'S SIGNATURE | Jack | MY COMMISSION EXPIRES OF 724-24 | | | | | | | | |
| DE | VELOPMENT APPLICATION • CITY OF ROCKWALL • 385 SC | OUTH GOLIAD ST | STREET • ROCKWALL, TX 75087 • [P] (972) 771-7745 | | | | | | | | |





City of Rockwall Planning & Zoning Department 385 S. Goliad Street Rockwall, Texas 75087 (P): (972) 771-7745 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



DATE: 11/7/2023

PROJECT NUMBER: PROJECT NAME: SITE ADDRESS/LOCATIONS: SP2023-037 Site Plan for Arms of America 1601 E INTERSTATE 30



VARIANCE LETTER/REQUEST

Mr. Lee,

Thank you for your assistance concerning the Arms of America development located at 1601 E Interstate 30. The following exception(s) & variance(s) are requested:

[1] 20% stone

[2] 90% masonry material

[3] primary articulation

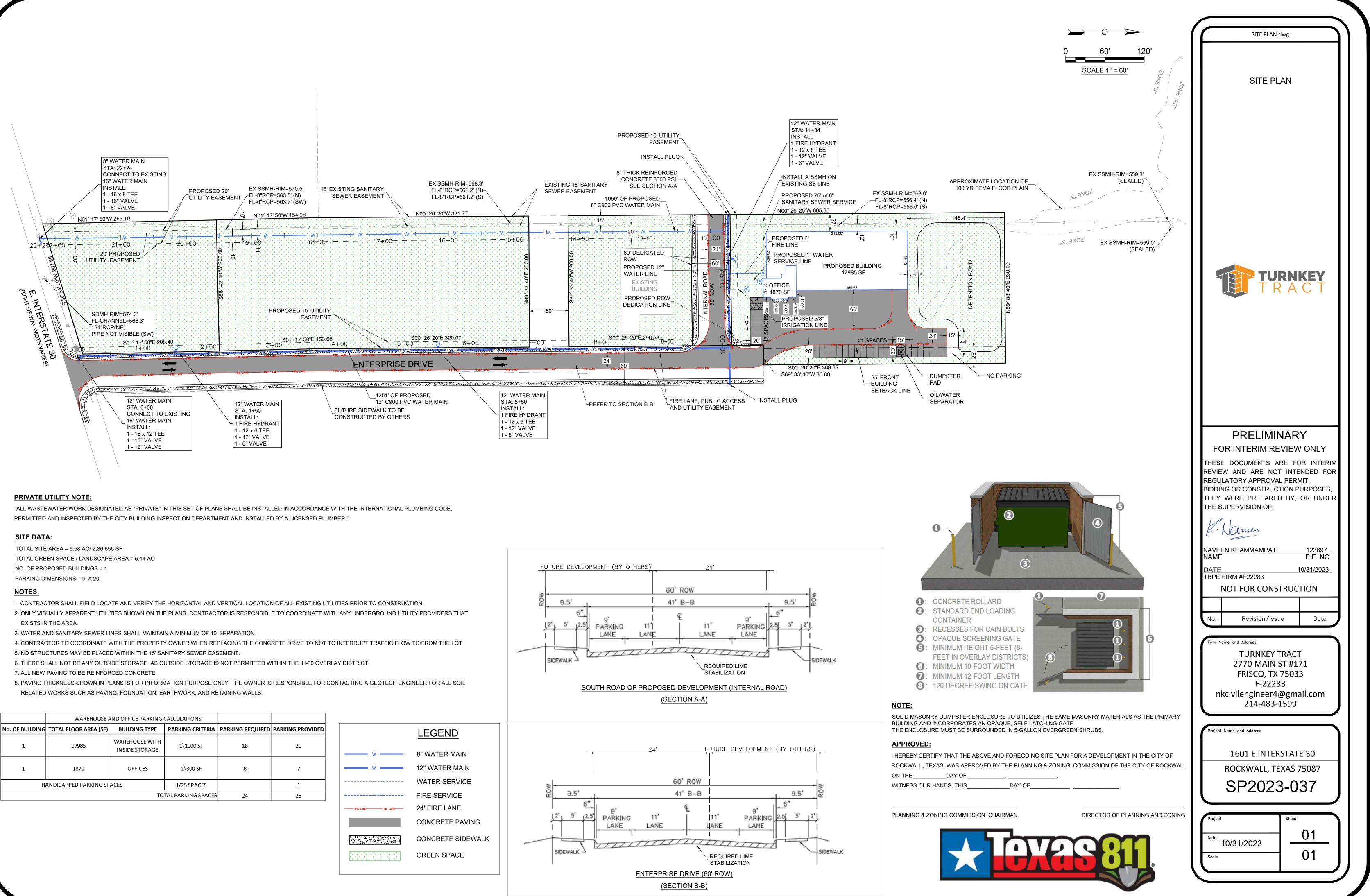
[4] roof pitch

Per the Unified Development Code (Subsection 09.01, of Article 11), the following compensatory measures will be utilized:

[1] providing a row of landscaping, composed of evergreen shrubs and accent trees, along the west and north sides of the proposed building[2] continue the stone wainscot along the east side of the building

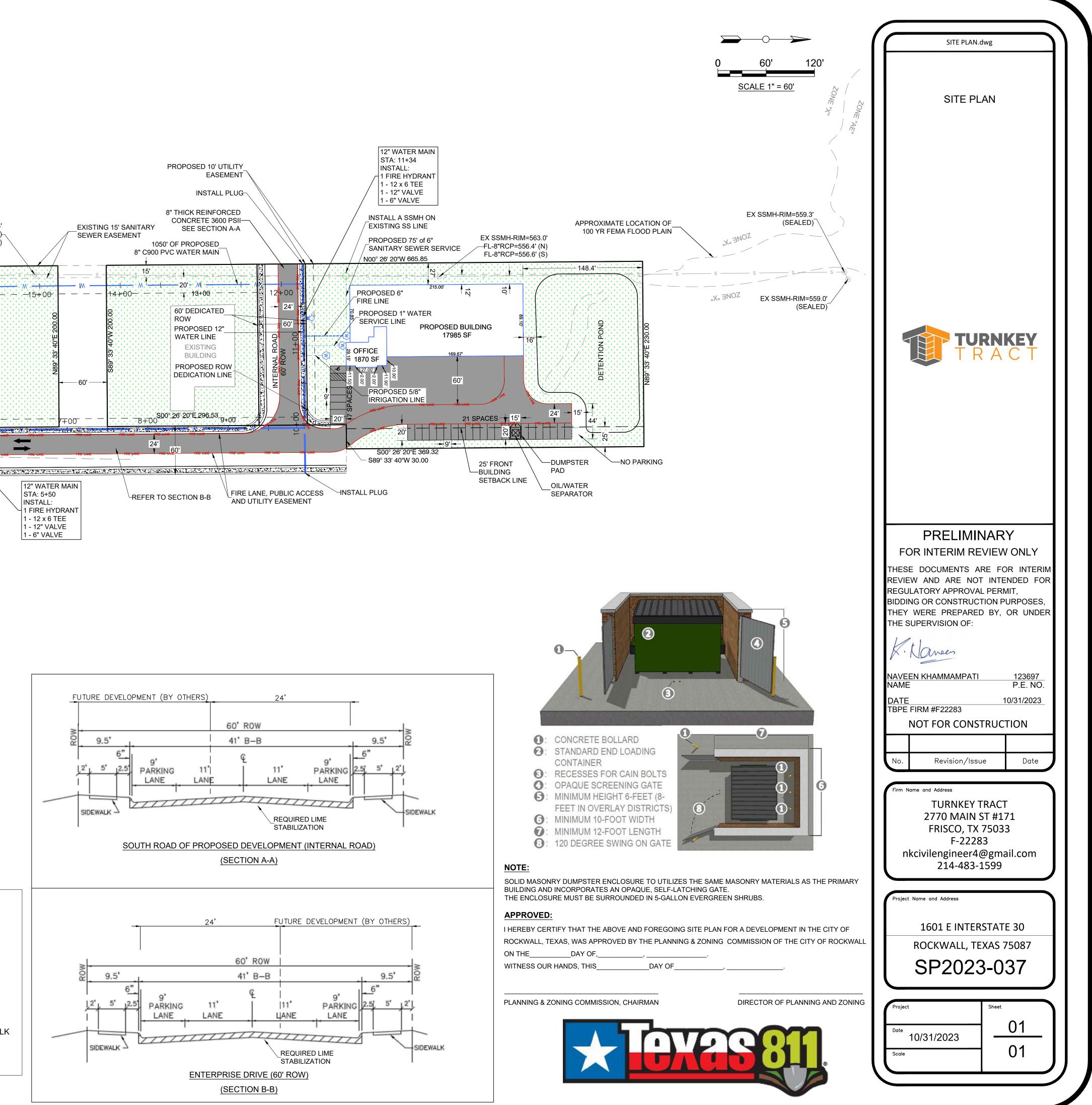
Thank you,

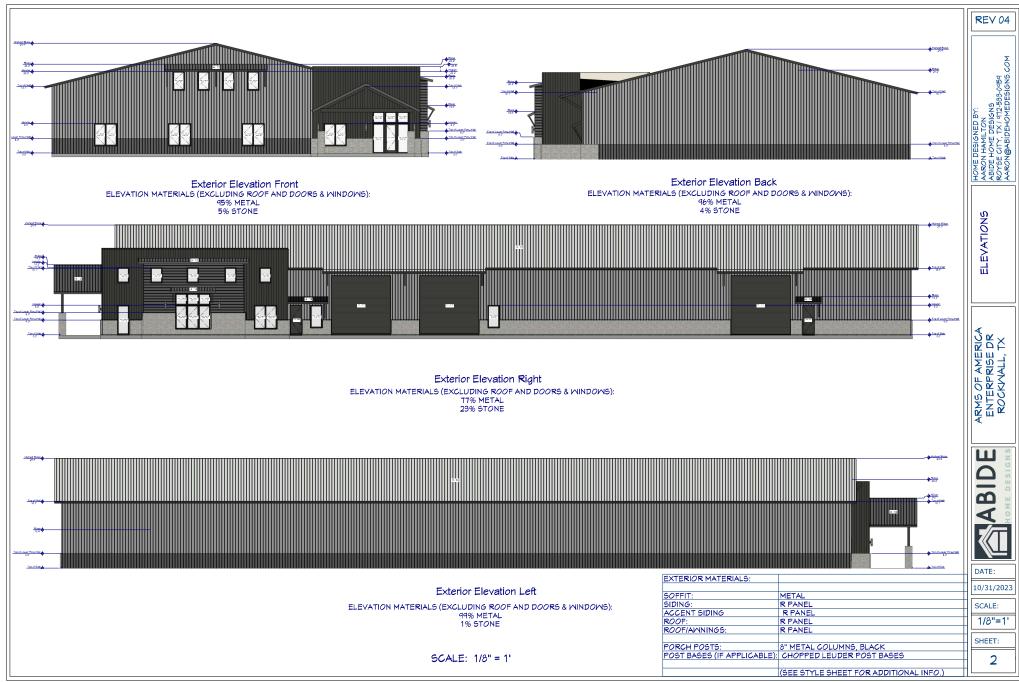
James Belt Gardner Construction 214.478.0240



| | WAREHOUSE A | ND OFFICE PARKING | | | |
|-----------------|-----------------------|----------------------------------|--------------------|------------------|------------------|
| No. OF BUILDING | TOTAL FLOOR AREA (SF) | BUILDING TYPE | PARKING CRITERIA | PARKING REQUIRED | PARKING PROVIDED |
| 1 | 17985 | WAREHOUSE WITH INSIDE STORAGE | 1\1000 SF | 18 | 20 |
| 1 | 1870 | OFFICES | 1\300 SF | 6 | 7 |
| H, | ANDICAPPED PARKING SP | ACES | 1/25 SPACES | | 1 |
| | | TO | TAL PARKING SPACES | 24 | 28 |
| | | | | | |

| | LEGEND |
|-----------|----------------|
| w | 8" WATER MAIN |
| w | 12" WATER MAIN |
| | WATER SERVIC |
| | FIRE SERVICE |
| FIRE LANE | 24' FIRE LANE |
| | CONCRETE PAV |
| | CONCRETE SIDI |
| | GREEN SPACE |
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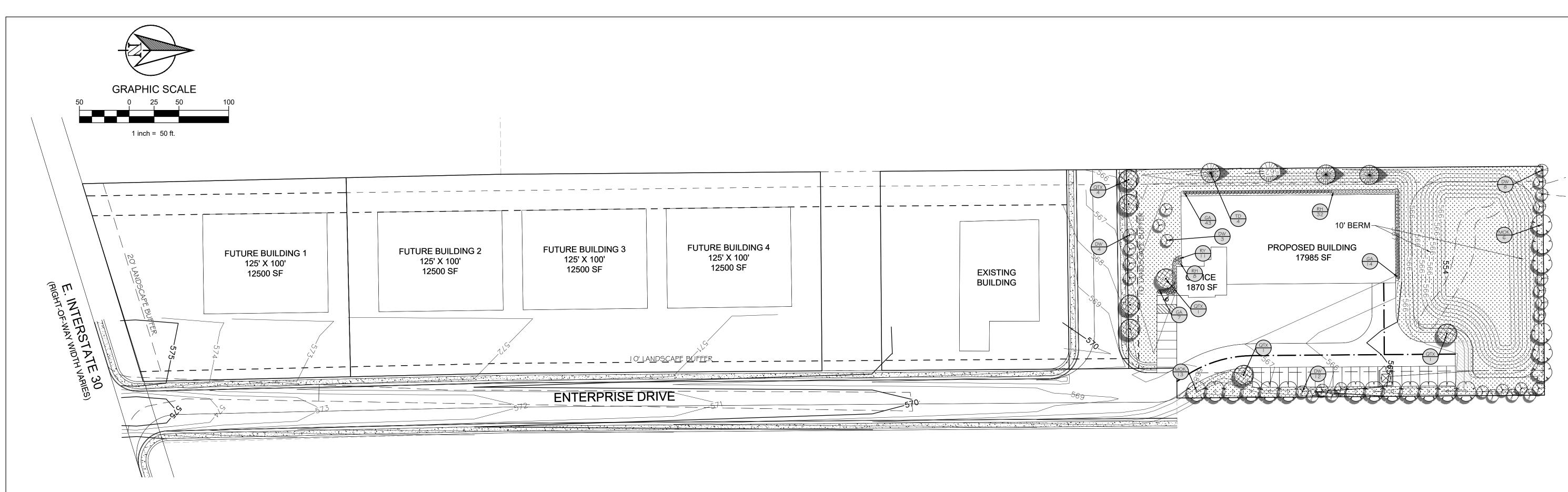




CASE NO.: SP2023-037

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CASE NO.: SP2023-037



PLANT SCHEDULE

| | TREES | CODE | COMMON / BOTANICAL NAME | SIZE | CONTAINER | <u>QTY</u> |
|--------|---------------|------|--|-------|-----------|------------|
| \sim | \bigcirc | DW | Desert Willow / Chilopsis linearis min. 4' ht; buffer tree | CONT. | PER HT. | 23 |
| · | | МОК | Monterey Oak / Quercus polymorpha `Monterey` mın. 14' ht; mıtıgatıon tree | CONT. | 4"Cal | 19 |
| بېېب | | QTX | Shumard Oak / Quercus shumardıı mitigation tree | CONT. | 4"Cal | 3 |
| | | TD | Bald Cypress / Taxodium distichum min. 6`ht.; street tree | CONT. | 4"Cal | 4 |
| | SHRUBS | CODE | COMMON / BOTANICAL NAME | SIZE | | QTY |
| | \bigotimes | GA | Glossy Abelia / Abelia grandiflora 36" o.c | 5 gal | | 64 |
| | | RY | Red Yucca / Hesperaloe parviflora 30" o.c. | 5 gal | | |
| | \bigcirc | RH | Indian Hawthorn / Raphiolepsis Indica `Snow` 36" o.c. | 5 gal | | 40 |
| | GROUND COVERS | CODE | COMMON / BOTANICAL NAME | SIZE | | QTY |
| | | CD | Bermuda Grass / Cynodon dactylon `tıf 419` | sod | | 45,938 sf |

| LANDSCAPE STANDARDS |
|--|
| 05.01 LANDSCAPE BUFFERS - NON-RESIDENT |
| ENTERPRISE DR.: |
| ±365' STREET FRONTAGE |
| |

TREES PROVIDED:

| 05.01 LANDSCAPE BUFFERS - NON-RESIDENTIA | L |
|--|--|
| ENTERPRISE DR.: | 20' WIDE BUFFER REQ. W/ 3 CANOPY + 4 ACCENT |
| ±365' STREET FRONTAGE | TREE PER 100 LIN. FT. OF FRONTAGE; GROUND COVER, |
| | BUILT-UP BERM AND SHRUBBERY ALONG ENTIRE |
| | FRONTAGE, 30" HIGH, MIN. |
| REQUIRED PLANTING: | 13 CANOPY TREES, 12 ACCENT TREES, W/ SHRUBS |
| PROVIDED 30' BUFFER: | 13 NEW CANOPY TREES; 12 ACCENT TREES |
| | |
| WEST PROPERTY LINE BUFFER: | NOT REQUIRED. PROPERTY ZONED COMMERCIAL (C) |
| | |
| 05.02 LANDSCAPE SCREENING | |
| REQ. HEADLIGHT SCREENING | HEAD-IN PARKING ADJ. TO STREET SHALL INCORP. |
| | MIN. 2' BERM W/ MATURE EVERGREEN SHRUBS |
| | ALONG ENTIRE PARKING AREAS |
| PROVIDED SCREENING | N/A |
| SCREENING FROM RESIDENTIAL | N/A |
| | |
| 05.03 LANDSCAPE REQUIREMENTS - COMMERC | |
| TOTAL SITE AREA: | 144,251 SF |
| LANDSCAPE AREA REQUIRED TOTAL SITE: | 28,850 SF (20%) |
| LANDSCAPE PROVIDED, TOTAL SITE: | ±29,121 SF |
| | |
| LOCATION OF LANDSCAPING: | MIN. 50% OF REQ. LANDSCAPING SHALL BE LOCATED |
| | IN THE FRONT OF & ALONG THE SIDE OF BUILDINGS |
| | W/ STREET FRONTAGE. |
| LANDSCAPE AREAS IN FRONT & SIDES | |
| OF BUILDINGS: | 102,608 SF (17.4%) |
| | |
| MIN. SIZE OF AREAS: | ALL REQ. LANDSCAPING SHALL BE NO LESS THAN 5' |
| | WIDE AND A MIN. OF 25 SF IN AREA |
| | |
| PARKING LOT LANDSCAPING | MIN. 5% OR 200 SF OF LANDSCAPING, WHICHEVER IS |
| | GREATER, IN THE INTERIOR OF PARKING LOT AREA. |
| PROPOSED PARKING AREA: | |
| REQ. PARKING LOT LANDSCAPING: | ±320 SF (6,400 x 5%) AND (1) LG. CANOPY TREE FOR |
| | EVERY 10 PARKING SPACES INTERNAL TO PARKING |
| | AREAS (PARKING AREA OVER 20,000 SF) |
| | REQ. PARKING SPACES MUST BE WITHIN 80' OF A |
| | CANOPY TREE TRUNK |
| PROPOSED PARKING LOT LANDSCAPING: | ±1,200 SF |
| | 28 PARKING SPACES / 10 = 28 (3) TREES |
| | |

3 CANOPY TREES

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GENERAL GRADING AND PLANTING NOTES

1. BY SUBMITTING A PROPOSAL FOR THE LANDSCAPE PLANTING SCOPE OF WORK, THE CONTRACTOR CONFIRMS THAT HE HAS READ, L COMPLY WITH, THE ASSOCIATED NOTES, SPECIFICATIONS, AND DETAILS WITH THIS PROJECT. VERAL CONTRACTOR IS RESPONSIBLE FOR REMOVING ALL EXISTING VEGETATION (EXCEPT WHERE NOTED TO REMAIN).

ONTEXT OF THESE PLANS, NOTES, AND SPECIFICATIONS, "FINISH GRADE" REFERS TO THE FINAL ELEVATION OF THE SOIL E (NOT TOP OF MULCH) AS INDICATED ON THE GRADING PLANS.

FORE STARTING WORK, THE LANDSCAPE CONTRACTOR SHALL VERIFY THAT THE ROUGH GRADES OF ALL LANDSCAPE REAS ARE WITHIN +/-0.1' OF FINISH GRADE. SEE SPECIFICATIONS FOR MORE DETAILED INSTRUCTION ON TURF AREA AND ANTING BED PREPARATION.

INSTRUCT AND MAINTAIN FINISH GRADES AS SHOWN ON GRADING PLANS, AND CONSTRUCT AND MAINTAIN SLOPES AS COMMENDED BY THE GEOTECHNICAL REPORT. ALL LANDSCAPE AREAS SHALL HAVE POSITIVE DRAINAGE AWAY FROM FRUCTURES AT THE MINIMUM SLOPE SPECIFIED IN THE REPORT AND ON THE GRADING PLANS, AND AREAS OF POTENTIAL NDING SHALL BE REGRADED TO BLEND IN WITH THE SURROUNDING GRADES AND ELIMINATE PONDING POTENTIAL. IE LANDSCAPE CONTRACTOR SHALL DETERMINE WHETHER OR NOT THE EXPORT OF ANY SOIL WILL BE NEEDED, TAKING TO ACCOUNT THE ROUGH GRADE PROVIDED, THE AMOUNT OF SOIL AMENDMENTS TO BE ADDED (**BASED ON A SOIL TEST**, R SPECIFICATIONS), AND THE FINISH GRADES TO BE ESTABLISHED.

TER INSTALLING SOIL AMENDMENTS IN SHRUB AREAS, AND IN ORDER TO ALLOW FOR PROPER MULCH DEPTH, ENSURE HAT THE FINISH GRADE IMMEDIATELY ADJACENT TO WALKS AND OTHER WALKING SURFACES IS 3" BELOW FINISH GRADE, PERING TO MEET FINISH GRADE AT APPROXIMATELY 18" AWAY FROM THE SURFACE. TER INSTALLING SOIL AMENDMENTS IN TURF AREAS, ENSURE THAT THE FINISH GRADE IN TURF AREAS IMMEDIATELY

JACENT TO WALKS AND OTHER WALKING SURFACES IS 1" BELOW FINISH GRADE, TAPERING TO MEET FINISH GRADE AT PROXIMATELY 18" AWAY FROM THE SURFACE. HOULD ANY CONFLICTS AND/OR DISCREPANCIES ARISE BETWEEN THE GRADING PLANS, GEOTECHNICAL REPORT, THESE

TES AND PLANS, AND ACTUAL CONDITIONS, THE CONTRACTOR SHALL IMMEDIATELY BRING SUCH ITEMS TO THE TENTION OF THE LANDSCAPE ARCHITECT, GENERAL CONTRACTOR, AND OWNER.

NT LOCATIONS ARE DIAGRAMMATIC. ACTUAL LOCATIONS SHALL BE VERIFIED WITH THE LANDSCAPE ARCHITECT OR ER PRIOR TO PLANTING. THE LANDSCAPE CONTRACTOR SHALL ENSURE THAT ALL REQUIREMENTS OF THE PERMITTING RITY ARE MET (I.E., MINIMUM PLANT QUANTITIES, PLANTING METHODS, TREE PROTECTION METHODS, ETC.).

HE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR DETERMINING PLANT QUANTITIES; PLANT QUANTITIES SHOWN ON GENDS AND CALLOUTS ARE FOR GENERAL INFORMATION ONLY. IN THE EVENT OF A DISCREPANCY BETWEEN THE PLAN ND THE PLANT LEGEND, THE PLANT QUANTITY AS SHOWN ON THE PLAN (FOR INDIVIDUAL SYMBOLS) OR CALLOUT (FOR ROUNDCOVER PATTERNS) SHALL TAKE PRECEDENCE.

SUBSTITUTIONS OF PLANT MATERIALS SHALL BE ALLOWED WITHOUT THE WRITTEN PERMISSION OF THE LANDSCAPE CHITECT. IF SOME OF THE PLANTS ARE NOT AVAILABLE, THE LANDSCAPE CONTRACTOR SHALL NOTIFY THE LANDSCAPE CHITECT IN WRITING (VIA PROPER CHANNELS).

E CONTRACTOR SHALL, AT A MINIMUM, PROVIDE REPRESENTATIVE PHOTOS OF ALL PLANTS PROPOSED FOR THE OJECT. THE CONTRACTOR SHALL ALLOW THE LANDSCAPE ARCHITECT AND THE OWNER/OWNER'S REPRESENTATIVE TO SPECT, AND APPROVE OR REJECT, ALL PLANTS DELIVERED TO THE JOBSITE. REFER TO SPECIFICATIONS FOR ADDITIONAL QUIREMENTS FOR SUBMITTALS.

ITRACTOR SHALL MAINTAIN THE LANDSCAPE IN A HEALTHY CONDITION FOR 90 DAYS AFTER ACCEPTANCE BY THE OWNER. TO SPECIFICATIONS FOR CONDITIONS OF ACCEPTANCE FOR THE START OF THE MAINTENANCE PERIOD, AND FOR FINAL ANCE AT THE END OF THE MAINTENANCE PERIOD.

E HYDROMULCH FOR ALL DISTURBED LANDSCAPE AREAS OUTSIDE PROPERTY LIMITS. 7. SEE SPECIFICATIONS AND DETAILS FOR FURTHER REQUIREMENTS.

SITE DATA: TOTAL SITE AREA = TOTAL GREEN SPACE / LANDSCAPE AREA = 5.14 ACNO. OF PROPOSED BUILDINGS = PARKING DIMENSIONS =

6.58 AC/ 2,86,656 SF 9' X 20'

PLANTING AND IRRIGATION GUARANTEE

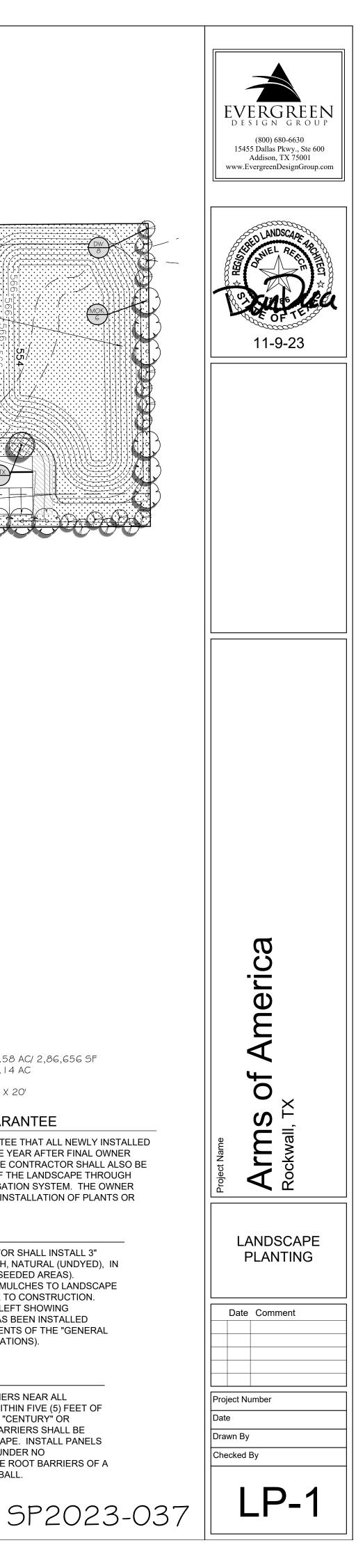
THE LANDSCAPE CONTRACTOR SHALL GUARANTEE THAT ALL NEWLY INSTALLED AND EXISTING PLANTS SHALL SURVIVE FOR ONE YEAR AFTER FINAL OWNER ACCEPTANCE OF THE INSTALLATION WORK. THE CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR APPROPRIATE WATERING OF THE LANDSCAPE THROUGH INSTALLATION OF A PROPERLY DESIGNED IRRIGATION SYSTEM. THE OWNER SHALL APPROVE THE SYSTEM DESIGN BEFORE INSTALLATION OF PLANTS OR IRRIGATION.

MULCHES

AFTER ALL PLANTING IS COMPLETE, CONTRACTOR SHALL INSTALL 3" THICK LAYER OF 1-1/2" SHREDDED WOOD MULCH, NATURAL (UNDYED), IN ALL PLANTING AREAS (EXCEPT FOR TURF AND SEEDED AREAS). CONTRACTOR SHALL SUBMIT SAMPLES OF ALL MULCHES TO LANDSCAPE ARCHITECT AND OWNER FOR APPROVAL PRIOR TO CONSTRUCTION. ABSOLUTELY NO EXPOSED GROUND SHALL BE LEFT SHOWING ANYWHERE ON THE PROJECT AFTER MULCH HAS BEEN INSTALLED (SUBJECT TO THE CONDITIONS AND REQUIREMENTS OF THE "GENERAL GRADING AND PLANTING NOTES" AND SPECIFICATIONS).

ROOT BARRIERS

THE CONTRACTOR SHALL INSTALL ROOT BARRIERS NEAR ALL NEWLY-PLANTED TREES THAT ARE LOCATED WITHIN FIVE (5) FEET OF PAVING OR CURBS. ROOT BARRIERS SHALL BE "CENTURY" OR "DEEP-ROOT" 24" DEEP PANELS (OR EQUAL). BARRIERS SHALL BE LOCATED IMMEDIATELY ADJACENT TO HARDSCAPE. INSTALL PANELS PER MANUFACTURER'S RECOMMENDATIONS. UNDER NO CIRCUMSTANCES SHALL THE CONTRACTOR USE ROOT BARRIERS OF A TYPE THAT COMPLETELY ENCIRCLE THE ROOTBALL.



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|-----|-----------|
| 110 | LO. |

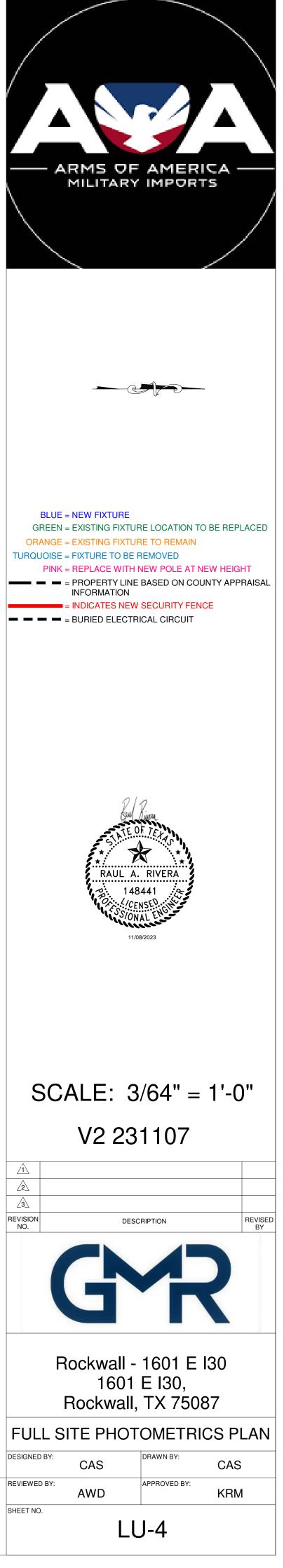
 THE SCOPE OF WORK FOR THIS PROJECT IS LIMITED TO EXTERIOR LIGHTING RENOVATIONS AS SHOWN ON THE PLANS.
 ALL PROPOSED LIGHTS WILL BE FULL CUTOFF LED LIGHT FIXTURES.
 ALL EXISTING LIGHTS WILL BE REPLACED WITH FULL CUT OFF LED

3. ALL EXISTING LIGHTS WILL BE REPLACED WITH FULL CUT OFF L LIGHT FIXTURES.

. REFERENCE THE LUMINAIRE SCHEDULE (SHEET LU-2) FOR ADDITIONAL LIGHT FIXTURE INFORMATION.

| CALCULATION SUMMARY FULL SITE | | | | | | | | | | | | | | |
|-------------------------------|---------|---------|---------|---------|---------|--|--|--|--|--|--|--|--|--|
| Calculation Points Name | Average | Maximum | Minimum | Ave/Min | Max/Min | | | | | | | | | |
| FULL SITE @ GRADE | 1.3 fc | 13.9 fc | 0.0 fc | 0.0 fc | 0.0 fc | | | | | | | | | |
| PARKING LOT @ 60" V | 1.8 fc | 13.9 fc | 0.1 fc | 12.5 fc | 94.6 fc | | | | | | | | | |
| PARKING LOT @ GRADE | 2.5 fc | 12.0 fc | 0.0 fc | 0.0 fc | 0.0 fc | | | | | | | | | |
| PROPERTY LINE @ GRADE | 0.1 fc | 0.2 fc | 0.0 fc | 0.0 fc | 0.0 fc | | | | | | | | | |

| 0.0 | 0.0 | 0.0 | 0.0 | 0.0 | 0.0 | 0.0 | 0.0 | 0.0 | 0.0 | 0.0 | 0.0 | 0.0 | 0.0 | 0.0 | 0.0 | 0.0 | 0.0 | 0.0 | 0.0 | 0.0 | 0.0 | 0.0 | 0.0 | 0.0 | 0.0 | 0.0 | 0.0 | 0.0 | 0.0 | 0.0 | 0.0 | 0.0 | 0.0 |
|----------|-----|-------|------------|-----------------------|------------------|-----------------|--------------|------------------|--------------------|-------------|--------------------|------------------|-------------|-------|-------------|-------------------|-------------------|------------------|-------------|-----------------|----------------|------------|-------|-----------------|------|-------|------------|--------------|-----|-----|-----|-----|-----|
| 0.0 | 0.0 | 0.0 | 0.0 | 0.0- | 0.0 | 0.0 | 0.0 | 0.0 | 0.0 | 0.0 | 0.0 | 0.0 | 0.0 | 0.0 | 0.0 | 0.0 | 0.0 | 0.0 | 0.0 | 0.0 | 0.0 | 0.0 | 0.0 | 0.0 | 0.0 | 0.0 | 0.0 | 0.0 | 0.0 | 0.0 | 0.0 | 0.0 | 0.0 |
| 0.0 | 0.0 | 0.0 | 0.0 | 0 <u>.0</u> | 0.0 | 0.0 | 0.0 | 0.0 | 0.0 | 0.0 | 0.0 | 0.0 | 0.0 | 0.0 | 0.0 | 0.0 | 0.0 | 0.0 | 0.0 | 0.0 | 0.0 | 0.0 | 0.0 | 0.0 | 0.0 | 0.0 | 0.0 | 0.0 | 0.0 | 0.0 | 0.0 | 0.0 | 0.0 |
| 0.0 | 0.0 | 0.0 | 0.0 | 0.0 | | | | | | | | | | | | | | | | | | | | | | 0.0 | 0.0 | 0.0 | 0.0 | 0.0 | 0.0 | 0.0 | 0.0 |
| 0.0 | 0.0 | 0.0 | 0.0 | 0.0 | | | | | | | | | | | | | | | | | | | | | | 0.0 | 0.0 | 0.0 | 0.0 | 0.0 | 0.0 | 0.0 | 0.0 |
| 0.0 | 0.0 | 0.0 | 0.0 | 0.0 | | | | | | | | | | | | | | | | | | | | | | 0.0 | 0.0 | 0.0 | 0.0 | 0.0 | 0.0 | 0.0 | 0.0 |
| 0.0 | 0.0 | 0.0 | 0.0 | l _{0.0} | | | | | | | | | | | | | | | | | | | | | | 0.1 | 0.1 | 0.1 | 0.1 | 0.1 | 0.1 | 0.0 | 0.0 |
| 0.0 | 0.0 | 0.0 | 0.0 | 0.0 | | | | | | | | | | | | | | | | | | | | | | 0.1 | 0.1 | 0.1 | 0.1 | 0.1 | 0.1 | 0.1 | 0.1 |
| | | _0.0_ | | 00 | | | | | | | | | | | | | | | | | | | | | | 0.3 | 0.2 | 0.2 | 0.2 | 0.2 | 0.1 | 0.1 | 0.1 |
| 0.0 | 0.0 | 0.0 | 1ليليل | | | | | | | | | | | | | | | | | | | | | | | 0.5 | 0.4 | 0.4 | 0.4 | 0.3 | 0.2 | 0.1 | 0.1 |
| 0.0 | 0.0 | 0.1 | 0.2 UU1 | | | | | | | 1U2 | | | | | | | | | | | | | | | | 0.9 | 0.9 | 0.8 | 0.6 | 0.5 | 0.3 | 0.2 | 0.1 |
| 0.4 | | 0.1 | 0.2 | | | | | | 1.5 | 22 | 1.1 | 4.0 | 4.3 | 7.1 | - | 7.0 | 6.0 | 8.2 | | 5.7 | 3.2 | 1.8 | 5.6 | | 10.8 | 5.1 | 3.3 | 2.1 | 1.3 | 0.9 | 0.6 | 0.3 | 0.2 |
| 0.8 | 1.2 | 1.9 - | 3.9 | <u>6.3</u> | 4.6 | | | 0.1 | 3 _{9.0} | DT1 10.3 | 6.9 | 5.8 | 6.0 | 8.8 | OT1 10.8 | 9.4 | 8.1 | 10.1 | OT1 10.7 | 8.0 | 5.7 | 5.7 | 7.3 | 01 11.0 | 10.6 | 7.2 | 5.1 | 3.5 | 2.0 | 1.3 | 0.8 | 0.5 | 0.3 |
| 4.1 | 1.6 | 2.5 | 4.2 | <u>9</u> . <u>7</u> 2 | 4.6 L | JU <u>\$2</u> 0 | 2 <u>년</u> U | 120.2 | 4.3 | 4.9 | 4.6 | 4.6 | 4.4 | 4.9 | 5.5 | 5.9 | 5.7 | 5.8 | 5.4 | 4.8 | 4.5 | 4.8 | 5.1 | 5.9 | 6.6 | 5.7 | 5.0 | 4.0 | 3.0 | 1.8 | 1.1 | 0.6 | 0.3 |
| 1.2 | 1.7 | 2.3 | 3.2 | 3.5 | 3.3 | 2.5 | 1.9 | 2.3 | 2.0 | 1.9 | 1.8 | 1.8 | 1.8 | 1.8 | 1.9 | 2.0 | 2.0 | 2.0 | 2.0 | 1.9 | 2.0 | 2.3 | 2.7 | 3.1 | 3.5 | | 4.0\ •• | 4.5 | 3.0 | 2.2 | 1.4 | 0.7 | 0.1 |
| 0.9 1 | 1.2 | 1.5 | 1.8 | 1.9 | 1.8 | 1.5 | 1.4 | 1.2 | 1.0 | 0.8 | 0.7 | 0.7 | 0.7 | 0.7 | 0.7 | 0.8 | 0.8 | 0.8 | 0.9 | 0.9 | 1.1 | 1.4 | 1/.7 | 2.3 | 2.7 | 3.7 | | 4.3 | 2.8 | 2.2 | 1.4 | 0.7 | 0.4 |
| 0.5 | 0.5 | 0.7 | 0.7 | 0.8 | 0.7 | 0.7 | 0.7 | 0.6 | 0.6 | 0.5 | 0.5 | 0.4 | 0.5 | 0.5 | 0.5 | 0.6 | 0.7 | 0.7 | 0.8 | 0.9 | 1.0 | 1.2 | 1.6 | 2.0 | 2.9 | 3.1 | 3.5 | 3.3 | 3.0 | 1.9 | 1.2 | 0.7 | 0.4 |
| Q.2 | 0.2 | 0.2 | 0.2 | 0.2 | 0.2 | 0.3 | 0.3 | 0.3 | 0.3 | 0.3 | 0.3 | 0.4 | 0.5 | 0.7 | 0.7 | 0.9 | 1.0 | 1.1 | 1.2 | 1.2 | 1.2 | 1.4 | 1.7 | 2.1 | 2.6 | 3.1 | 3.0 | 3.0 | 2.3 | 1.6 | 1.0 | 0.6 | 0.3 |
| 0.1 | 0.1 | 0.1 | 0.1 | 0.1 | 0.1 | 0.1 | 0.1 | 0.1 | 0.1 | 0.2 | 0.2 | 0.3 | 0.7 | 1.2 | 1.2 | 1.2 | 1.4 | 1.7 | 2.3 | 2.0 | 1.6 | 1.7 | 2.2 | 2.9 | 2.9 | 2.7 | 2.7 | 2.5 | 2.3 | 1.6 | 0.9 | 0.4 | 0.2 |
| 0.0 | 0.0 | 0_1 _ | -0.1 | 0.1 | 0.1 | 0.1 | 0.1 | 0.1 | 0.1 | 0.1 | 0.2 | 0.3 | 0.7 | 1.9 | 2.3 | 2.0 | 2.2 | 2.8 | 3.7 | 3.1 | 2.4 | 2.5 | 3.0 | 4.1 | 3.8 | 3.1 | 3.0 | 2.9 | 2.8 | 1.5 | 0.7 | 0.3 | 0.2 |
| 0.0 | 0.0 | 0.0 | 0.0 | 1 | 0.0 | 0.0 | 0.0 | 0.1 | 0.1 | 0.1 | 0.1 | 0.3 | 0.8 | 2.3 | 3.4 | 3.3 | 3.6 | 4.1 | 4.6 | 4.3 | 3.6 | 3.9 | 4.2 | 4.9 | 4.6 | 3.9 | 4.1 | 3.7 | 3.2 | 1.4 | 0.6 | 0.3 | 0.1 |
| 0.0 | 0.0 | 0.0 | 0.0 | ¹ 0.0 | 0.0 | 0.0 | 0.0 | | 0.0 | 0.1 | 0.1 | 0.3 | 0.8 | 2.4 | 2.2 | 2.3 | 2.3 AX1 | | 4.7 | | 2.8 | 2.4 AX1 | 3.0 | 4.8 | 3.5 | 3.1 | 2.β | 2.6 | 2.8 | 1.4 | 0.5 | 0.2 | 0.1 |
| 0.0 | 0.0 | 0.0 | 0.0 | <u>l0.0</u> . | <u> 0.0 </u> | <u> 0.0 </u> | -0.0- | - 0.0 | - 0.0 – | - 0.0- | - 0.1 - | -0 .2 | <u>-0.4</u> | -0.8- | -0.4- | -0.2 - | -0. 3- | 0.7 – | -1.7 - | -0:9 | 0.4 | -0.4- | -0.7- | 1 .7 | 1.1 | 0.4 - | - 0.3 | -0 <u>.4</u> | 0.9 | 0.6 | 0.3 | 0.1 | 0.1 |
| 0.0 | 0.0 | 0.0 | 0.0 | 0.0 | 0.0 | 0.0 | 0.0 | 0.0 | 0.0 | 0.0 | 0.0 | 0.1 | 0.0 | 0.0 | 0.1 | 0.1 | 0.1 | 0.1 | 0.1 | 0.1 | 0.1 | 0.2 | 0.1 | 0.1 | 0.1 | 0.2 | 0.2 | 0.1 | 0.1 | 0.1 | | 0.1 | 0.1 |
| 0.0 | 0.0 | 0.0 | 0.0 | 0.0 | 0.0 | 0.0 | 0.0 | 0.0 | 0.0 | 0.0 | 0.0 | 0.0 | 0.0 | 0.0 | 0.0 | 0.0 | 0.0 | 0.0 | 0.0 | 0.0 | 0.0 | 0.1 | 0.1 | 0.1 | 0.1 | 0.1 | 0.1 | 0.1 | 0.1 | 0.0 | 0.0 | 0.0 | 0.0 |



THIS LIGHTING PLAN ILLUSTRATES ILLUMINATE LEVELS CALCULATED FROM LABORATORY DATA UNDER CONTROLLED CONDITIONS IN ACCORDANCE WITH ILLUMINATING ENGINEERING SOCIETY OF NORTH AMERICAN (IESNA) APPROVED METHODS. ACTUAL SITE ILLUMINATION LEVELS AND PERFORMANCE OF LUMINAIRES MAY VARY DUE TO VARIATIONS IN WEATHER, ELECTRICAL VOLTAGE, TOLERANCE IN LAMPS AND OTHER RELATED VARIABLE FIELD CONDITIONS.

GC TO SEE NOTES BELOW

Rev. Date: V11 09/07/2021

TYPE AS THE EDGE[®] Series

LED Area/Flood Luminaire

Product Description

THE EDGE® Series has a slim, low profile design. Its rugged cast aluminum housing minimizes wind load requirements and features an integral, weathertight LED driver compartment and high performance aluminum heat sinks. Various mounting choices: Adjustable Arm, Direct Arm, Direct Arm Long, or Side Arm (details on page 2). Includes a leaf/debris guard. Applications: Parking lots, walkways, campuses, car dealerships, office complexes, and internal

roadways GC TO VERIFY THAT FIXTURES CAN BE MOUNTED PER PLAN AND ALL NECESSARY HARDWARE IS SPECIFIED FOR INSTALLATION PRIOR TO PURCHASING

Performance Summary

Patented NanoOptic® Product Technology

Assembled in the U.S.A. of U.S. and imported parts

CRI: Minimum 70 CRI (4000K & 5700K); 80 CRI (3000K); 90 CRI (5000K)

CCT: Turtle Friendly Amber, 3000K (+/- 300K), 4000K (+/- 300K), 5000K (+/- 500K), 5700K (+/- 500K) standard

Limited Warranty⁺: 10 years on luminaire/10 years on Colorfast DeltaGuard[®] finish /1 year on accessories

See http://creelighting.com/warranty for warranty terms

Accessories

Field-Installed

Bird Spikes

XA-BRDSPM

Hand-Held Remote XA-SENSREM

Ordering Information

Example: ARE-EDG-2M-AA-12-E-UL-SV-350

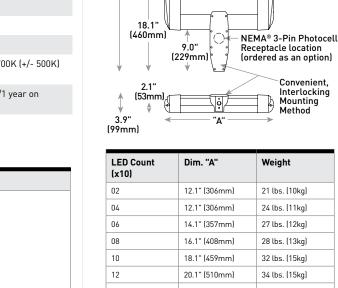
- For successful implementation of the programmable multi-level option, a minimum of one hand-held remote is required



- Unpainted stainless steel
- Shorting Cap XA-XSI SHRT
- NEMA® 3-Pin Photocell
- C-ACC-A-PCELL-NEMA3-LV
- On/off functionality only
 Available with UL voltage only
- GC TO VERIFY GC TO REFERENCE AND SPECIFY PLANS FOR COLOR IF NOT UL

DESIGNATION

| Product | Optic | Mounting* | LED Count | s |
|---------|-------|-----------|--------------|---|
| | | | | 1 |



DA Mount

27.1"

(688mm)

| LED Count (x10) | Dim. "A" | Weight |
|--------------------|---------------|----------------|
| 02 | 12.1" (306mm) | 21 lbs. (10kg) |
| 04 | 12.1" (306mm) | 24 lbs. (11kg) |
| 06 | 14.1" (357mm) | 27 lbs. (12kg) |
| 08 | 16.1" (408mm) | 28 lbs. (13kg) |
| 10 | 18.1" (459mm) | 32 lbs. (15kg) |
| 12 | 20.1" (510mm) | 34 lbs. (15kg) |
| 14 | 22.1" (560mm) | 37 lbs. (17kg) |
| 16 | 24.1" (611mm) | 41 lbs. (19kg) |

AA/DL/SA Mount - see page 22 for weight & dimensions

| Product | Optic | | | Mounting* | LED Count (x10) | Series | Voltage | Color Op- tions | Drive Current | Options |
|-------------|--|------------------------------------|---|--|--|--------|--|-----------------------|--|---|
| ARE-EDG | Type II Medium 2MB Type II Medium w/BLS 2MP Type II Me- dium w/ Partial BLS 3M | Medium 4MB Type IV Medium | 4MP Type IV Medium w/Partial BLS 5M Type V Medium 5S Type V Short | AA Adjustable Arm DA Direct Arm DL Direct Long Arm | 02 04 08 10 12 14 16 | E | UL Universal 120-277V UH Universal 347-480V | BZ Bronze SV | 350 350mA 525 525mA 700 700mA - Available with 20- 60 LEDs | DIM 0-10V Dimming PML2 Programmable Multi-Level - Control by others - Control by others 10-30' Mounting Height - Can't exceed specified drive current - Refer to PML spec sheet for details - Refer to PML spec sheet for details - Compatible only with 120V, 277V or 347V - Compatible only with 120V, 277V or 347V Receptacle - Compatible only with 120V, 277V or 347V - Refer to PML spec sheet for availability with PML options - Not available with SA moun - Refer to PML spec sheet for availability with PML options - Not available with SA moun - Intended for downlight appl - Refer to PML spec sheet for details - Sensor not included - Sensor not included - Refer to PML spec sheet for availability with - Refer to PML spec sheet for availability with - Refer to PML spec sheet for availability with - Minimum 80 CRI |
| FLD- EDG | 25 25° Flood 40 40° Flood | 70 70° Flood SN Sign | N6 NEMA® 6 | AA Adjustable Arm SA Side Arm - Available with 20-60 LEDs | _ | | | | | PML options Available with UL voltage only PML Programmable Multi-Level, 20-40' Mounting Height Refer to PML spec sheet for details Intended for downlight applications at 0° tilt TRL Amber Turtle Friendly LEDS Available only with 350mA 600nm dominant wavelengt Additional shielding lby oth be required for Florida Fish Wildlife Conservation Comn compliance |



CREE ÷ LIGHTING

US: creelighting.com (800) 236-6800 Canada: creelighting-canada.com (800) 473-1234

Product Specifications

CONSTRUCTION & MATERIALS

- · Slim, low profile, minimizing wind load requirements
- · Luminaire sides are rugged die cast aluminum with integral, weathertight LED driver compartment and high performance heat sinks
- DA and DL mount utilizes convenient interlocking mounting method. Mounting is rugged die cast aluminum, mounts to 3-6" (76-152mm) square or round pole and secures to pole with 5/16-18 UNC bolts spaced on 2" (51mm) centers
- AA and SA mounts are rugged die cast aluminum and mount to 2" (51mm) IP, 2.375" (60mm) 0.D. tenons
- Includes leaf/debris guard
- Exclusive Colorfast DeltaGuard[®] finish features an E-Coat epoxy primer with an ultra-durable powder topcoat, providing excellent resistance to corrosion, ultraviolet degradation and abrasion. Black, bronze, silver, and white are available
- Weight: See Dimensions and Weight Charts on pages 1 and 22

ELECTRICAL SYSTEM

- Input Voltage: 120-277V or 347-480V, 50/60Hz, Class 1 drivers
- Power Factor: > 0.9 at full load
- Total Harmonic Distortion: < 20% at full load
- DA and DL mounts designed with integral weathertight electrical box with terminal strips (12Ga-20Ga) for easy power hookup
- Integral 10kV surge suppression protection standard
- When code dictates fusing, a slow blow fuse or type C/D breaker should be used to address inrush current
- Maximium 10V Source Current: 20 LED (350mA): 10mA; 20 LED (525 & 700mA) and 40-80 LED: 0.15mA; 100-160 LED: 0.30mA

REGULATORY & VOLUNTARY QUALIFICATIONS

- cULus Listed
- Suitable for wet locations
- Enclosure rated IP66 per IEC 60529 when ordered without P or R options
- Consult factory for CE Certified products
- Certified to ANSI C136.31-2001, 3G bridge and overpass vibration standards when ordered with AA, DA and DL mounts
- ANSI C136.2 10kV surge protection, tested in accordance with IEEE/ANSI C62.41.2
- Meets FCC Part 15, Subpart B, Class A limits for conducted and radiated emissions
- Luminaire and finish endurance tested to withstand 5,000 hours of elevated ambient salt fog conditions as defined in ASTM Standard B 117
- DLC qualified with select SKUs. Refer to https://www.designlights.org/search/ for most current information
- Meets Buy American requirements within ARRA
- CA RESIDENTS WARNING: Cancer and Reproductive Harm www.p65warnings.ca.gov

| LED | | System | Total (| Current (| A) | | | |
|----------------|-----------------|-------------------|---------|-----------|------|------|------|------|
| Count (x10) | CCT | Watts 120-480V | 120V | 208V | 240V | 277V | 347V | 480V |
| 350mA | | | | | | | | |
| | 30K/40K/50K/57K | 25 | 0.21 | 0.13 | 0.11 | 0.10 | 0.08 | 0.07 |
| 02 | TRL | 19 | 0.16 | 0.09 | 0.08 | 0.07 | 0.05 | 0.04 |
| 0/ | 30K/40K/50K/57K | 46 | 0.36 | 0.23 | 0.21 | 0.20 | 0.15 | 0.12 |
| 04 | TRL | 35 | 0.29 | 0.17 | 0.15 | 0.13 | 0.10 | 0.07 |
| 0/ | 30K/40K/50K/57K | 66 | 0.52 | 0.31 | 0.28 | 0.26 | 0.20 | 0.15 |
| 06 | TRL | 50 | 0.41 | 0.24 | 0.21 | 0.18 | 0.14 | 0.10 |
| 00 | 30K/40K/50K/57K | 90 | 0.75 | 0.44 | 0.38 | 0.34 | 0.26 | 0.20 |
| 08 | TRL | 68 | 0.57 | 0.33 | 0.28 | 0.25 | 0.20 | 0.14 |
| 10 | 30K/40K/50K/57K | 110 | 0.92 | 0.53 | 0.47 | 0.41 | 0.32 | 0.24 |
| 10 | TRL | 83 | 0.69 | 0.40 | 0.35 | 0.30 | 0.24 | 0.17 |
| 12 | 30K/40K/50K/57K | 130 | 1.10 | 0.63 | 0.55 | 0.48 | 0.38 | 0.28 |
| IZ | TRL | 99 | 0.82 | 0.48 | 0.41 | 0.36 | 0.28 | 0.21 |
| 14 | 30K/40K/50K/57K | 158 | 1.32 | 0.77 | 0.68 | 0.62 | 0.47 | 0.35 |
| 14 | TRL | 120 | 1.00 | 0.58 | 0.50 | 0.43 | 0.34 | 0.25 |
| 1/ | 30K/40K/50K/57K | 179 | 1.49 | 0.87 | 0.77 | 0.68 | 0.53 | 0.39 |
| 16 | TRL | 136 | 1.13 | 0.65 | 0.57 | 0.49 | 0.39 | 0.28 |
| 525mA | | | | | | | | |
| 02 | 30K/40K/50K/57K | 37 | 0.30 | 0.19 | 0.17 | 0.16 | 0.12 | 0.10 |
| 04 | 30K/40K/50K/57K | 70 | 0.58 | 0.34 | 0.31 | 0.28 | 0.21 | 0.16 |
| 06 | 30K/40K/50K/57K | 101 | 0.84 | 0.49 | 0.43 | 0.38 | 0.30 | 0.22 |
| 08 | 30K/40K/50K/57K | 133 | 1.13 | 0.66 | 0.58 | 0.51 | 0.39 | 0.28 |
| 10 | 30K/40K/50K/57K | 171 | 1.43 | 0.83 | 0.74 | 0.66 | 0.50 | 0.38 |
| 12 | 30K/40K/50K/57K | 202 | 1.69 | 0.98 | 0.86 | 0.77 | 0.59 | 0.44 |
| 14 | 30K/40K/50K/57K | 232 | 1.94 | 1.12 | 0.98 | 0.87 | 0.68 | 0.50 |
| 16 | 30K/40K/50K/57K | 263 | 2.21 | 1.27 | 1.11 | 0.97 | 0.77 | 0.56 |
| 700mA | | | | | | | | |
| 02 | 30K/40K/50K/57K | 50 | 0.41 | 0.25 | 0.22 | 0.20 | 0.15 | 0.12 |
| 04 | 30K/40K/50K/57K | 93 | 0.78 | 0.46 | 0.40 | 0.36 | 0.27 | 0.20 |
| 06 | 30K/40K/50K/57K | 134 | 1.14 | 0.65 | 0.57 | 0.50 | 0.39 | 0.29 |

Electrical data at 25°C (77°F). Actual wattage may differ by +/- 10% when operating between 120-277V or 347-480V +/- 10%

THE EDGE® Series Ambient Adjusted Lumen Maintenance¹

| Ambient | ССТ | Initial LMF | 25K hr Reported ² LMF | 50K hr Reported ² LMF | 75K hr Reported ² / Estimated ³ LMF | 100K hr Estimated ³ LMF |
|---------|-----------------|----------------|--|--|--|--|
| 5°C | 30K/40K/50K/57K | 1.04 | 1.03 | 1.03 | 1.03 ² | 1.03 |
| (41°F) | TRL | 1.06 | 1.06 | 1.06 | 1.06 ³ | 1.06 |
| 10°C | 30K/40K/50K/57K | 1.03 | 1.02 | 1.02 | 1.02 ² | 1.02 |
| (50°F) | TRL | 1.04 | 1.04 | 1.04 | 1.04 ³ | 1.04 |
| 15°C | 30K/40K/50K/57K | 1.02 | 1.01 | 1.01 | 1.01 ² | 1.01 |
| (59°F) | TRL | 1.03 | 1.03 | 1.03 | 1.03 ³ | 1.03 |
| 20°C | 30K/40K/50K/57K | 1.01 | 0.99 | 0.99 | 0.99 ² | 0.99 |
| (68°F) | TRL | 1.01 | 1.01 | 1.01 | 1.01 ³ | 1.01 |
| 25°C | 30K/40K/50K/57K | 1.00 | 0.98 | 0.98 | 0.98 ² | 0.98 |
| (77°F) | TRL | 1.00 | 1.00 | 1.00 | 1.00 ³ | 1.00 |

¹ Lumen maintenance values at 25°C (77°F) are calculated per IES TM-21 based on IES LM-80 report data for the LED package and in-situ luminaire testing. Luminaire ambient temperature factors [LATF] have been applied to all lumen maintenance factors. Please refer to the <u>Temperature Zone Reference Document</u> for outdoor average nighttime ambient conditions.

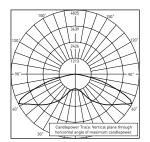
² In accordance with IES TM-21, Reported values represent interpolated values based on time durations that are up to 6x *Estimated values are calculated and represent time durations that exceed the 6x test duration of the LED.

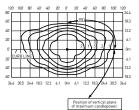
CREE 🔶 LIGHTING

Photometry

All published luminaire photometric testing performed to IES LM-79-08 standards. To obtain an IES file specific to your project consult: <u>http://creelighting.com/products/outdoor/area/cree-edge-series-1</u>

2M





RESTL Test Report #: PL10270-004B ARE-EDG-2M-**-06-E-UL-525-40K Initial Delivered Lumens: 10,053

ARE-EDG-2M-**-10-E-UL-525-40K Mounting Height: 25' (7.6m) A.F.G. Initial Delivered Lumens: 17,504 Initial FC at grade

| Type II Medi | um Distribution | l | | | | | | | | |
|--------------------|---------------------------------|--------------------------------------|---------------------------------|--------------------------------------|---------------------------------|--------------------------------------|---------------------------------|--------------------------------------|---------------------------------|--------------------------------------|
| | 3000K | | 4000K | | 5000K | | 5700K | | TRL | |
| LED Count (x10) | Initial Delivered Lumens* | BUG Ratings** Per TM- 15-11 |
| 350mA | | | | | | | | | | |
| 02 | 2,072 | B1 U0 G1 | 2,501 | B1 U0 G1 | 1,902 | B1 U0 G1 | 2,551 | B1 U0 G1 | 816 | B0 U0 G0 |
| 04 | 4,143 | B2 U0 G1 | 5,003 | B2 U0 G2 | 3,803 | B1 U0 G1 | 5,102 | B2 U0 G2 | 1,633 | B1 U0 G1 |
| 06 | 6,144 | B2 U0 G2 | 7,418 | B2 U0 G2 | 5,640 | B2 U0 G2 | 7,565 | B2 U0 G2 | 2,421 | B1 U0 G1 |
| 08 | 8,192 | B2 U0 G2 | 9,891 | B3 U0 G3 | 7,519 | B2 U0 G2 | 10,087 | B3 U0 G3 | 3,228 | B1 U0 G1 |
| 10 | 10,215 | B3 U0 G3 | 12,334 | B3 U0 G3 | 9,377 | B3 U0 G3 | 12,578 | B3 U0 G3 | 4,025 | B2 U0 G1 |
| 12 | 12,258 | B3 U0 G3 | 14,801 | B3 U0 G3 | 11,252 | B3 U0 G3 | 15,094 | B3 U0 G3 | 4,830 | B2 U0 G2 |
| 14 | 14,211 | B3 U0 G3 | 17,158 | B3 U0 G3 | 13,044 | B3 U0 G3 | 17,498 | B3 U0 G3 | 5,599 | B2 U0 G2 |
| 16 | 16,241 | B3 U0 G3 | 19,609 | B3 U0 G3 | 14,908 | B3 U0 G3 | 19,998 | B4 U0 G3 | 6,399 | B2 U0 G2 |
| 525mA | | | | | | | | | | |
| 02 | 2,943 | B1 U0 G1 | 3,550 | B1 U0 G1 | 2,702 | B1 U0 G1 | 3,624 | B1 U0 G1 | N | I/A |
| 04 | 5,886 | B2 U0 G2 | 7,099 | B2 U0 G2 | 5,403 | B2 U0 G2 | 7,248 | B2 U0 G2 | Ν | I/A |
| 06 | 8,729 | B3 U0 G3 | 10,527 | B3 U0 G3 | 8,012 | B2 U0 G2 | 10,748 | B3 U0 G3 | Ν | I/A |
| 08 | 11,638 | B3 U0 G3 | 14,037 | B3 U0 G3 | 10,683 | B3 U0 G3 | 14,331 | B3 U0 G3 | N | I/A |
| 10 | 14,513 | B3 U0 G3 | 17,504 | B3 U0 G3 | 13,322 | B3 U0 G3 | 17,870 | B3 U0 G3 | N | I/A |
| 12 | 17,415 | B3 U0 G3 | 21,004 | B4 U0 G4 | 15,986 | B3 U0 G3 | 21,444 | B4 U0 G4 | N | I/A |
| 14 | 20,189 | B4 U0 G3 | 24,350 | B4 U0 G4 | 18,532 | B3 U0 G3 | 24,860 | B4 U0 G4 | Ν | 1/A |
| 16 | 23,074 | B4 U0 G4 | 27,828 | B4 U0 G4 | 21,179 | B4 U0 G4 | 28,411 | B4 U0 G4 | Ν | I/A |
| 700mA | | | | | | | | | | |
| 02 | 3,472 | B1 U0 G1 | 4,189 | B2 U0 G1 | 3,187 | B1 U0 G1 | 4,275 | B2 U0 G2 | N | 1/A |
| 04 | 6,943 | B2 U0 G2 | 8,379 | B2 U0 G2 | 6,373 | B2 U0 G2 | 8,549 | B3 U0 G3 | N | I/A |
| 06 | 10,296 | B3 U0 G3 | 12,425 | B3 U0 G3 | 9,451 | B3 U0 G3 | 12,678 | B3 U0 G3 | Ν | I/A |

* Initial delivered lumens at 25°C (77°F). Actual production yield may vary between -10 and +10% of initial delivered lumens
** For more information on the IES BUG (Backlight-Uplight-Glare) Rating visit: https://www.ies.org/wp-content/uploads/2017/03/TM-15-11BUGRatingsAddendum.pdf.

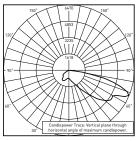
CREE ÷ LIGHTING

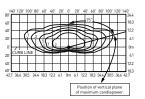
THE EDGE® LED Area/Flood Luminaire

Photometry

All published luminaire photometric testing performed to IES LM-79-08 standards. To obtain an IES file specific to your project consult: <u>http://creelighting.com/products/outdoor/area/cree-edge-series-1</u>

2MB





RESTL Test Report #: PL10023-003B ARE-EDG-2MB-**-06-E-UL-525-40K Initial Delivered Lumens: 7,784

ARE-EDG-2MB-**-10-E-UL-525-40K Mounting Height: 25' (7.6m) A.F.G. Initial Delivered Lumens: 13,185 Initial FC at grade

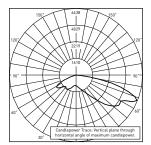
| Type II Medie | um Distributior | nw/BLS | | | | | | | | |
|--------------------|---------------------------------|--------------------------------------|---------------------------------|--------------------------------------|---------------------------------|--------------------------------------|---------------------------------|--------------------------------------|---------------------------------|--------------------------------------|
| | 3000K | | 4000K | | 5000K | | 5700K | | TRL | |
| LED Count (x10) | Initial Delivered Lumens* | BUG Ratings** Per TM- 15-11 |
| 350mA | · | · | | | | | | · | | Ì |
| 02 | 1,560 | B0 U0 G1 | 1,884 | B0 U0 G1 | 1,432 | B0 U0 G1 | 1,921 | B0 U0 G1 | 615 | B0 U0 G0 |
| 04 | 3,121 | B0 U0 G1 | 3,768 | B1 U0 G1 | 2,865 | B0 U0 G1 | 3,843 | B1 U0 G1 | 1,230 | B0 U0 G1 |
| 06 | 4,628 | B1 U0 G1 | 5,588 | B1 U0 G1 | 4,248 | B1 U0 G1 | 5,698 | B1 U0 G1 | 1,824 | B0 U0 G1 |
| 08 | 6,170 | B1 U0 G1 | 7,450 | B1 U0 G2 | 5,664 | B1 U0 G1 | 7,598 | B1 U0 G2 | 2,431 | B0 U0 G1 |
| 10 | 7,695 | B1 U0 G2 | 9,291 | B1 U0 G2 | 7,063 | B1 U0 G2 | 9,475 | B1 U0 G2 | 3,032 | B0 U0 G1 |
| 12 | 9,233 | B1 U0 G2 | 11,149 | B1 U0 G2 | 8,476 | B1 U0 G2 | 11,370 | B1 U0 G2 | 3,638 | B1 U0 G1 |
| 14 | 10,704 | B1 U0 G2 | 12,924 | B1 U0 G2 | 9,825 | B1 U0 G2 | 13,181 | B1 U0 G2 | 4,218 | B1 U0 G1 |
| 16 | 12,233 | B1 U0 G2 | 14,771 | B1 U0 G3 | 11,229 | B1 U0 G2 | 15,063 | B1 U0 G3 | 4,820 | B1 U0 G1 |
| 525mA | | | | | | | | | | |
| 02 | 2,217 | B0 U0 G1 | 2,674 | B0 U0 G1 | 2,035 | B0 U0 G1 | 2,730 | B0 U0 G1 | | N/A |
| 04 | 4,434 | B1 U0 G1 | 5,348 | B1 U0 G1 | 4,070 | B1 U0 G1 | 5,460 | B1 U0 G1 | | N/A |
| 06 | 6,575 | B1 U0 G2 | 7,930 | B1 U0 G2 | 6,035 | B1 U0 G1 | 8,096 | B1 U0 G2 | | N/A |
| 08 | 8,766 | B1 U0 G2 | 10,573 | B1 U0 G2 | 8,047 | B1 U0 G2 | 10,794 | B1 U0 G2 | | N/A |
| 10 | 10,932 | B1 U0 G2 | 13,185 | B1 U0 G2 | 10,034 | B1 U0 G2 | 13,461 | B1 U0 G2 | 1 | N/A |
| 12 | 13,118 | B1 U0 G2 | 15,821 | B2 U0 G3 | 12,041 | B1 U0 G2 | 16,153 | B2 U0 G3 | | N/A |
| 14 | 15,208 | B1 U0 G3 | 18,341 | B2 U0 G3 | 13,959 | B1 U0 G2 | 18,726 | B2 U0 G3 | | N/A |
| 16 | 17,380 | B2 U0 G3 | 20,962 | B2 U0 G3 | 15,953 | B2 U0 G3 | 21,401 | B2 U0 G3 | | N/A |
| 700mA | | | | | | | | | | |
| 02 | 2,615 | B0 U0 G1 | 3,156 | B0 U0 G1 | 2,400 | B0 U0 G1 | 3,220 | B0 U0 G1 | | N/A |
| 04 | 5,230 | B1 U0 G1 | 6,311 | B1 U0 G2 | 4,801 | B1 U0 G1 | 6,440 | B1 U0 G2 | | N/A |
| 06 | 7,755 | B1 U0 G2 | 9,359 | B1 U0 G2 | 7,119 | B1 U0 G2 | 9,549 | B1 U0 G2 | | N/A |

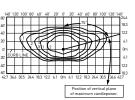


Photometry

All published luminaire photometric testing performed to IES LM-79-08 standards. To obtain an IES file specific to your project consult: <u>http://creelighting.com/products/outdoor/area/cree-edge-series-1</u>

2MP





RESTL Test Report #: PL10097-001B ARE-EDG-2MP-**-06-E-UL-525-40K Initial Delivered Lumens: 9,149

ARE-EDG-2MP-**-10-E-UL-525-40K Mounting Height: 25' (7.6m) A.F.G. Initial Delivered Lumens: 15,458 Initial FC at grade

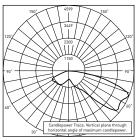
| Type II Medi | um Distributio | n w/Partial BLS | i | | | | | | | |
|--------------------|---------------------------------|--------------------------------------|---------------------------------|--------------------------------------|---------------------------------|--------------------------------------|---------------------------------|--------------------------------------|---------------------------------|--------------------------------------|
| | 3000K | | 4000K | | 5000K | | 5700K | | TRL | |
| LED Count (x10) | Initial Delivered Lumens* | BUG Ratings** Per TM- 15-11 |
| 350mA | | | | | | | | | | |
| 02 | 1,829 | B1 U0 G1 | 2,209 | B1 U0 G1 | 1,679 | B1 U0 G1 | 2,253 | B1 U0 G1 | 721 | B0 U0 G0 |
| 04 | 3,659 | B1 U0 G1 | 4,418 | B1 U0 G1 | 3,359 | B1 U0 G1 | 4,505 | B1 U0 G1 | 1,442 | B0 U0 G1 |
| 06 | 5,426 | B1 U0 G1 | 6,551 | B1 U0 G1 | 4,980 | B1 U0 G1 | 6,681 | B1 U0 G1 | 2,138 | B1 U0 G1 |
| 08 | 7,234 | B2 U0 G1 | 8,735 | B2 U0 G2 | 6,640 | B1 U0 G1 | 8,908 | B2 U0 G2 | 2,851 | B1 U0 G1 |
| 10 | 9,021 | B2 U0 G2 | 10,892 | B2 U0 G2 | 8,281 | B2 U0 G2 | 11,108 | B2 U0 G2 | 3,555 | B1 U0 G1 |
| 12 | 10,825 | B2 U0 G2 | 13,071 | B2 U0 G2 | 9,937 | B2 U0 G2 | 13,330 | B2 U0 G2 | 4,266 | B1 U0 G1 |
| 14 | 12,550 | B2 U0 G2 | 15,153 | B2 U0 G2 | 11,520 | B2 U0 G2 | 15,453 | B2 U0 G2 | 4,945 | B1 U0 G1 |
| 16 | 14,343 | B2 U0 G2 | 17,317 | B2 U0 G2 | 13,165 | B2 U0 G2 | 17,661 | B3 U0 G2 | 5,651 | B1 U0 G1 |
| 525mA | | | | | | | | | | |
| 02 | 2,599 | B1 U0 G1 | 3,135 | B1 U0 G1 | 2,386 | B1 U0 G1 | 3,200 | B1 U0 G1 | 1 | I/A |
| 04 | 5,198 | B1 U0 G1 | 6,270 | B1 U0 G1 | 4,772 | B1 U0 G1 | 6,401 | B1 U0 G1 | 1 | I/A |
| 06 | 7,708 | B2 U0 G2 | 9,297 | B2 U0 G2 | 7,076 | B2 U0 G1 | 9,492 | B2 U0 G2 | 1 | I/A |
| 08 | 10,278 | B2 U0 G2 | 12,396 | B2 U0 G2 | 9,434 | B2 U0 G2 | 12,656 | B2 U0 G2 | 1 | I/A |
| 10 | 12,817 | B2 U0 G2 | 15,458 | B2 U0 G2 | 11,764 | B2 U0 G2 | 15,782 | B2 U0 G2 | 1 | I/A |
| 12 | 15,380 | B2 U0 G2 | 18,549 | B3 U0 G3 | 14,117 | B2 U0 G2 | 18,938 | B3 U0 G3 | 1 | I/A |
| 14 | 17,830 | B3 U0 G2 | 21,504 | B3 U0 G3 | 16,366 | B2 U0 G2 | 21,954 | B3 U0 G3 | 1 | I/A |
| 16 | 20,377 | B3 U0 G3 | 24,576 | B3 U0 G3 | 18,704 | B3 U0 G3 | 25,091 | B3 U0 G3 | 1 | I/A |
| 700mA | | | | | | | | | | |
| 02 | 3,066 | B1 U0 G1 | 3,700 | B1 U0 G1 | 2,814 | B1 U0 G1 | 3,775 | B1 U0 G1 | 1 | I/A |
| 04 | 6,132 | B1 U0 G1 | 7,400 | B2 U0 G1 | 5,628 | B1 U0 G1 | 7,550 | B2 U0 G2 | 1 | I/A |
| 06 | 9,092 | B2 U0 G2 | 10,973 | B2 U0 G2 | 8,346 | B2 U0 G2 | 11,196 | B2 U0 G2 | 1 | I/A |

THE EDGE® LED Area/Flood Luminaire

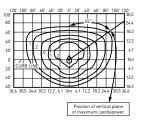
Photometry

All published luminaire photometric testing performed to IES LM-79-08 standards. To obtain an IES file specific to your project consult: <u>http://creelighting.com/products/outdoor/area/cree-edge-series-1</u>

3M



RESTL Test Report #: PL09405-001A ARE-EDG-3M-**-06-E-UL-525-40K Initial Delivered Lumens: 9,460



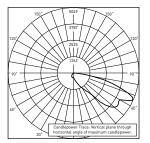
ARE-EDG-3M-**-10-E-UL-525-40K Mounting Height: 25' (7.6m) A.F.G. Initial Delivered Lumens: 16,594 Initial FC at grade

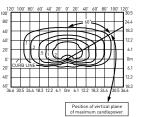
| Type III Medi | ium Distributio | n | | | | | | | | |
|--------------------|---------------------------------|--------------------------------------|---------------------------------|--------------------------------------|---------------------------------|--------------------------------------|---------------------------------|--------------------------------------|---------------------------------|--------------------------------------|
| | 3000K | | 4000K | | 5000K | | 5700K | | TRL | |
| LED Count (x10) | Initial Delivered Lumens* | BUG Ratings** Per TM- 15-11 |
| 350mA | | | | | | | | | | |
| 02 | 1,964 | B1 U0 G1 | 2,371 | B1 U0 G1 | 1,803 | B1 U0 G1 | 2,418 | B1 U0 G1 | 774 | B0 U0 G1 |
| 04 | 3,928 | B1 U0 G1 | 4,743 | B1 U0 G1 | 3,606 | B1 U0 G1 | 4,837 | B1 U0 G1 | 1,548 | B1 U0 G1 |
| 06 | 5,825 | B2 U0 G2 | 7,033 | B2 U0 G2 | 5,347 | B2 U0 G2 | 7,172 | B2 U0 G2 | 2,295 | B1 U0 G1 |
| 08 | 7,766 | B2 U0 G2 | 9,377 | B2 U0 G2 | 7,129 | B2 U0 G2 | 9,563 | B2 U0 G2 | 3,060 | B1 U0 G1 |
| 10 | 9,685 | B2 U0 G2 | 11,693 | B3 U0 G3 | 8,890 | B2 U0 G2 | 11,925 | B3 U0 G3 | 3,816 | B1 U0 G1 |
| 12 | 11,621 | B3 U0 G3 | 14,032 | B3 U0 G3 | 10,667 | B3 U0 G3 | 14,310 | B3 U0 G3 | 4,579 | B1 U0 G1 |
| 14 | 13,472 | B3 U0 G3 | 16,267 | B3 U0 G3 | 12,367 | B3 U0 G3 | 16,589 | B3 U0 G3 | 5,309 | B2 U0 G2 |
| 16 | 15,397 | B3 U0 G3 | 18,591 | B3 U0 G3 | 14,133 | B3 U0 G3 | 18,959 | B3 U0 G3 | 6,067 | B2 U0 G2 |
| 525mA | | | | | | | | | | |
| 02 | 2,790 | B1 U0 G1 | 3,365 | B1 U0 G1 | 2,561 | B1 U0 G1 | 3,436 | B1 U0 G1 | 1 | N/A |
| 04 | 5,581 | B2 U0 G2 | 6,731 | B2 U0 G2 | 5,122 | B2 U0 G2 | 6,872 | B2 U0 G2 | 1 | N/A |
| 06 | 8,275 | B2 U0 G2 | 9,981 | B3 U0 G3 | 7,596 | B2 U0 G2 | 10,190 | B3 U0 G3 | 1 | N/A |
| 08 | 11,034 | B3 U0 G3 | 13,307 | B3 U0 G3 | 10,128 | B3 U0 G3 | 13,586 | B3 U0 G3 | 1 | N/A |
| 10 | 13,759 | B3 U0 G3 | 16,594 | B3 U0 G3 | 12,630 | B3 U0 G3 | 16,942 | B3 U0 G3 | 1 | N/A |
| 12 | 16,511 | B3 U0 G3 | 19,913 | B3 U0 G3 | 15,155 | B3 U0 G3 | 20,330 | B3 U0 G3 | 1 | N/A |
| 14 | 19,141 | B3 U0 G3 | 23,085 | B3 U0 G3 | 17,569 | B3 U0 G3 | 23,569 | B3 U0 G3 | 1 | N/A |
| 16 | 21,875 | B3 U0 G3 | 26,383 | B4 U0 G4 | 20,079 | B3 U0 G3 | 26,936 | B4 U0 G4 | 1 | N/A |
| 700mA | | | | | | | | | | |
| 02 | 3,291 | B1 U0 G1 | 3,972 | B1 U0 G1 | 3,021 | B1 U0 G1 | 4,053 | B1 U0 G1 | 1 | N/A |
| 04 | 6,582 | B2 U0 G2 | 7,944 | B2 U0 G2 | 6,042 | B2 U0 G2 | 8,105 | B2 U0 G2 | 1 | N/A |
| 06 | 9,761 | B2 U0 G2 | 11,779 | B3 U0 G3 | 8,960 | B2 U0 G2 | 12,019 | B3 U0 G3 | 1 | N/A |

Photometry

All published luminaire photometric testing performed to IES LM-79-08 standards. To obtain an IES file specific to your project consult: <u>http://creelighting.com/products/outdoor/area/cree-edge-series-1</u>

ЗМВ





RESTL Test Report #: PL10023-001B ARE-EDG-3MB-**-06-E-UL-525-40K Initial Delivered Lumens: 7,602

ARE-EDG-3MB-**-10-E-UL-525-40K Mounting Height: 25' (7.6m) A.F.G. Initial Delivered Lumens: 12,275 Initial FC at grade

| | 3000K | | 4000K | | 5000K | | 5700K | 5700K | | TRL | |
|--------------------|---------------------------------|--------------------------------------|---------------------------------|--------------------------------------|---------------------------------|--------------------------------------|---------------------------------|--------------------------------------|---------------------------------|--------------------------------------|--|
| LED Count (x10) | Initial Delivered Lumens* | BUG Ratings** Per TM- 15-11 | |
| 350mA | | | 1 | | 1 | - | - | | 1 | | |
| 02 | 1,453 | B0 U0 G1 | 1,754 | B0 U0 G1 | 1,334 | B0 U0 G1 | 1,789 | B0 U0 G1 | 572 | B0 U0 G0 | |
| 04 | 2,906 | B0 U0 G1 | 3,508 | B1 U0 G1 | 2,667 | B0 U0 G1 | 3,578 | B1 U0 G1 | 1,145 | B0 U0 G1 | |
| 06 | 4,309 | B1 U0 G1 | 5,202 | B1 U0 G1 | 3,955 | B1 U0 G1 | 5,305 | B1 U0 G1 | 1,698 | B0 U0 G1 | |
| 08 | 5,745 | B1 U0 G2 | 6,936 | B1 U0 G2 | 5,273 | B1 U0 G1 | 7,074 | B1 U0 G2 | 2,264 | B0 U0 G1 | |
| 10 | 7,164 | B1 U0 G2 | 8,650 | B1 U0 G2 | 6,576 | B1 U0 G2 | 8,821 | B1 U0 G2 | 2,823 | B0 U0 G1 | |
| 12 | 8,597 | B1 U0 G2 | 10,380 | B1 U0 G2 | 7,891 | B1 U0 G2 | 10,585 | B1 U0 G2 | 3,387 | B1 U0 G1 | |
| 14 | 9,966 | B1 U0 G2 | 12,033 | B1 U0 G2 | 9,148 | B1 U0 G2 | 12,272 | B1 U0 G2 | 3,927 | B1 U0 G1 | |
| 16 | 11,390 | B1 U0 G2 | 13,752 | B2 U0 G3 | 10,455 | B1 U0 G2 | 14,025 | B2 U0 G3 | 4,488 | B1 U0 G1 | |
| 525mA | | | | - - | · | | | | · | | |
| 02 | 2,064 | B0 U0 G1 | 2,489 | B0 U0 G1 | 1,895 | B0 U0 G1 | 2,542 | B0 U0 G1 | | N/A | |
| 04 | 4,128 | B1 U0 G1 | 4,979 | B1 U0 G1 | 3,789 | B1 U0 G1 | 5,083 | B1 U0 G1 | | N/A | |
| 06 | 6,121 | B1 U0 G2 | 7,383 | B1 U0 G2 | 5,619 | B1 U0 G2 | 7,538 | B1 U0 G2 | | N/A | |
| 08 | 8,162 | B1 U0 G2 | 9,844 | B1 U0 G2 | 7,492 | B1 U0 G2 | 10,050 | B1 U0 G2 | | N/A | |
| 10 | 10,178 | B1 U0 G2 | 12,275 | B1 U0 G2 | 9,342 | B1 U0 G2 | 12,532 | B1 U0 G2 | | N/A | |
| 12 | 12,213 | B1 U0 G2 | 14,730 | B2 U0 G3 | 11,211 | B1 U0 G2 | 15,039 | B2 U0 G3 | | N/A | |
| 14 | 14,159 | B2 U0 G3 | 17,077 | B2 U0 G3 | 12,996 | B1 U0 G2 | 17,434 | B2 U0 G3 | | N/A | |
| 16 | 16,181 | B2 U0 G3 | 19,516 | B2 U0 G3 | 14,853 | B2 U0 G3 | 19,925 | B2 U0 G3 | | N/A | |
| 700mA | | | | | | | | | | | |
| 02 | 2,435 | B0 U0 G1 | 2,938 | B1 U0 G1 | 2,235 | B0 U0 G1 | 2,998 | B1 U0 G1 | | N/A | |
| 04 | 4,869 | B1 U0 G1 | 5,876 | B1 U0 G2 | 4,469 | B1 U0 G1 | 5,996 | B1 U0 G2 | | N/A | |
| 06 | 7,220 | B1 U0 G2 | 8,714 | B1 U0 G2 | 6,628 | B1 U0 G2 | 8,891 | B1 U0 G2 | | N/A | |

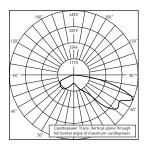


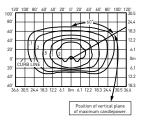
THE EDGE® LED Area/Flood Luminaire

Photometry

All published luminaire photometric testing performed to IES LM-79-08 standards. To obtain an IES file specific to your project consult: <u>http://creelighting.com/products/outdoor/area/cree-edge-series-1</u>

3MP





RESTL Test Report #: PL10097-002B ARE-EDG-3MP-**-06-E-UL-525-40K Initial Delivered Lumens: 8,670

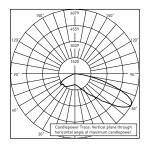
ARE-EDG-3MP-**-10-E-UL-525-40K Mounting Height: 25' (7.6m) A.F.G. Initial Delivered Lumens: 14,548 Initial FC at grade

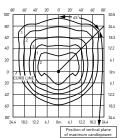
| Type III Med | ium Distributio | n w/Partial BLS | 5 | | | | | | | |
|--------------------|---------------------------------|--------------------------------------|---------------------------------|--------------------------------------|---------------------------------|--------------------------------------|---------------------------------|--------------------------------------|---------------------------------|--------------------------------------|
| | 3000K | | 4000K | | 5000K | | 5700K | | TRL | |
| LED Count (x10) | Initial Delivered Lumens* | BUG Ratings** Per TM- 15-11 |
| 350mA | | · | | | | | | | | · |
| 02 | 1,722 | B1 U0 G1 | 2,079 | B1 U0 G1 | 1,581 | B1 U0 G1 | 2,120 | B1 U0 G1 | 678 | B0 U0 G1 |
| 04 | 3,444 | B1 U0 G1 | 4,158 | B1 U0 G1 | 3,161 | B1 U0 G1 | 4,240 | B1 U0 G1 | 1,357 | B0 U0 G1 |
| 06 | 5,107 | B1 U0 G1 | 6,166 | B1 U0 G2 | 4,687 | B1 U0 G1 | 6,288 | B1 U0 G2 | 2,012 | B1 U0 G1 |
| 08 | 6,809 | B1 U0 G2 | 8,221 | B2 U0 G2 | 6,250 | B1 U0 G2 | 8,384 | B2 U0 G2 | 2,683 | B1 U0 G1 |
| 10 | 8,491 | B2 U0 G2 | 10,252 | B2 U0 G2 | 7,794 | B2 U0 G2 | 10,455 | B2 U0 G2 | 3,346 | B1 U0 G1 |
| 12 | 10,189 | B2 U0 G2 | 12,302 | B2 U0 G3 | 9,352 | B2 U0 G2 | 12,546 | B2 U0 G3 | 4,015 | B1 U0 G1 |
| 14 | 11,812 | B2 U0 G2 | 14,261 | B3 U0 G3 | 10,842 | B2 U0 G2 | 14,544 | B3 U0 G3 | 4,654 | B1 U0 G1 |
| 16 | 13,499 | B2 U0 G3 | 16,299 | B3 U0 G3 | 12,391 | B2 U0 G3 | 16,622 | B3 U0 G3 | 5,319 | B1 U0 G2 |
| 525mA | | | | | | | | | | |
| 02 | 2,446 | B1 U0 G1 | 2,950 | B1 U0 G1 | 2,245 | B1 U0 G1 | 3,012 | B1 U0 G1 | | N/A |
| 04 | 4,893 | B1 U0 G1 | 5,901 | B1 U0 G2 | 4,491 | B1 U0 G1 | 6,024 | B1 U0 G2 | | N/A |
| 06 | 7,255 | B2 U0 G2 | 8,750 | B2 U0 G2 | 6,659 | B1 U0 G2 | 8,933 | B2 U0 G2 | | N/A |
| 08 | 9,673 | B2 U0 G2 | 11,667 | B2 U0 G2 | 8,879 | B2 U0 G2 | 11,911 | B2 U0 G2 | 1 | N/A |
| 10 | 12,063 | B2 U0 G3 | 14,548 | B3 U0 G3 | 11,072 | B2 U0 G2 | 14,853 | B3 U0 G3 | 1 | N/A |
| 12 | 14,475 | B3 U0 G3 | 17,458 | B3 U0 G3 | 13,287 | B2 U0 G3 | 17,824 | B3 U0 G3 | 1 | N/A |
| 14 | 16,781 | B3 U0 G3 | 20,239 | B3 U0 G3 | 15,403 | B3 U0 G3 | 20,663 | B3 U0 G3 | 1 | N/A |
| 16 | 19,178 | B3 U0 G3 | 23,130 | B3 U0 G3 | 17,604 | B3 U0 G3 | 23,615 | B3 U0 G3 | 1 | N/A |
| 700mA | | | | | | | | | | |
| 02 | 2,885 | B1 U0 G1 | 3,482 | B1 U0 G1 | 2,649 | B1 U0 G1 | 3,553 | B1 U0 G1 | | N/A |
| 04 | 5,771 | B1 U0 G2 | 6,964 | B1 U0 G2 | 5,297 | B1 U0 G1 | 7,106 | B2 U0 G2 | 1 | N/A |
| 06 | 8,557 | B2 U0 G2 | 10,327 | B2 U0 G2 | 7,855 | B2 U0 G2 | 10,537 | B2 U0 G2 | 1 | N/A |

Photometry

All published luminaire photometric testing performed to IES LM-79-08 standards. To obtain an IES file specific to your project consult: <u>http://creelighting.com/products/</u> outdoor/area/cree-edge-series-1

4M





RESTL Test Report #: PL10270-001B ARE-EDG-4M-**-06-E-UL-525-40K Initial Delivered Lumens: 10,483

ARE-EDG-4M-**-10-E-UL-525-40K Mounting Height: 25' (7.6m) A.F.G. Initial Delivered Lumens: 17,504 Initial FC at grade

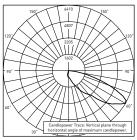
| Type IV Medi | um Distributior | 1 | | | | | | | | |
|--------------------|---------------------------------|--------------------------------------|---------------------------------|--------------------------------------|---------------------------------|--------------------------------------|---------------------------------|--------------------------------------|---------------------------------|--------------------------------------|
| | 3000K | | 4000K | | 5000K | | 5700K | | TRL | |
| LED Count (x10) | Initial Delivered Lumens* | BUG Ratings** Per TM- 15-11 |
| 350mA | | | | | | | | | | |
| 02 | 2,072 | B1 U0 G1 | 2,501 | B1 U0 G1 | 1,902 | B1 U0 G1 | 2,551 | B1 U0 G1 | 816 | B0 U0 G1 |
| 04 | 4,143 | B1 U0 G1 | 5,003 | B2 U0 G1 | 3,803 | B1 U0 G1 | 5,102 | B2 U0 G1 | 1,633 | B1 U0 G1 |
| 06 | 6,144 | B2 U0 G1 | 7,418 | B2 U0 G2 | 5,640 | B2 U0 G1 | 7,565 | B2 U0 G2 | 2,421 | B1 U0 G1 |
| 08 | 8,192 | B2 U0 G2 | 9,891 | B2 U0 G2 | 7,519 | B2 U0 G2 | 10,087 | B2 U0 G2 | 3,228 | B1 U0 G1 |
| 10 | 10,215 | B2 U0 G2 | 12,334 | B3 U0 G2 | 9,377 | B2 U0 G2 | 12,578 | B3 U0 G2 | 4,025 | B1 U0 G1 |
| 12 | 12,258 | B2 U0 G2 | 14,801 | B3 U0 G3 | 11,252 | B2 U0 G2 | 15,094 | B3 U0 G3 | 4,830 | B1 U0 G1 |
| 14 | 14,211 | B3 U0 G3 | 17,158 | B3 U0 G3 | 13,044 | B3 U0 G2 | 17,498 | B3 U0 G3 | 5,599 | B2 U0 G1 |
| 16 | 16,241 | B3 U0 G3 | 19,609 | B3 U0 G3 | 14,908 | B3 U0 G3 | 19,998 | B3 U0 G3 | 6,399 | B2 U0 G1 |
| 525mA | | | | | | | | | | |
| 02 | 2,943 | B1 U0 G1 | 3,550 | B1 U0 G1 | 2,702 | B1 U0 G1 | 3,624 | B1 U0 G1 | N | /A |
| 04 | 5,886 | B2 U0 G1 | 7,099 | B2 U0 G2 | 5,403 | B2 U0 G1 | 7,248 | B2 U0 G2 | N | /A |
| 06 | 8,729 | B2 U0 G2 | 10,527 | B2 U0 G2 | 8,012 | B2 U0 G2 | 10,748 | B2 U0 G2 | N | /A |
| 08 | 11,638 | B2 U0 G2 | 14,037 | B3 U0 G2 | 10,683 | B2 U0 G2 | 14,331 | B3 U0 G2 | N | /A |
| 10 | 14,513 | B3 U0 G3 | 17,504 | B3 U0 G3 | 13,322 | B3 U0 G2 | 17,870 | B3 U0 G3 | N | /A |
| 12 | 17,415 | B3 U0 G3 | 21,004 | B3 U0 G3 | 15,986 | B3 U0 G3 | 21,444 | B3 U0 G3 | N | /A |
| 14 | 20,189 | B3 U0 G3 | 24,350 | B3 U0 G3 | 18,532 | B3 U0 G3 | 24,860 | B4 U0 G3 | N | /A |
| 16 | 23,074 | B3 U0 G3 | 27,828 | B4 U0 G3 | 21,179 | B3 U0 G3 | 28,411 | B4 U0 G3 | N | /A |
| 700mA | | | | | | | | | | |
| 02 | 3,472 | B1 U0 G1 | 4,189 | B1 U0 G1 | 3,187 | B1 U0 G1 | 4,275 | B1 U0 G1 | N | /A |
| 04 | 6,943 | B2 U0 G1 | 8,379 | B2 U0 G2 | 6,373 | B2 U0 G1 | 8,549 | B2 U0 G2 | N | /A |
| 06 | 10,296 | B2 U0 G2 | 12,425 | B3 U0 G2 | 9,451 | B2 U0 G2 | 12,678 | B3 U0 G2 | N | /A |

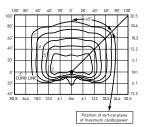
THE EDGE® LED Area/Flood Luminaire

Photometry

All published luminaire photometric testing performed to IES LM-79-08 standards. To obtain an IES file specific to your project consult: http://creelighting.com/products/ outdoor/area/cree-edge-series-1

4MB





RESTL Test Report #: PL10023-002B ARE-EDG-4MB-**-06-E-UL-525-40K Initial Delivered Lumens: 7,985

ARE-EDG-4MB-**-10-E-UL-525-40K Mounting Height: 25' (7.6m) A.F.G. Initial Delivered Lumens: 13,185 Initial FC at grade

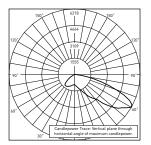
| Type IV Medi | ium Distributio | n w/BLS | | | | | | | | |
|--------------------|---------------------------------|--------------------------------------|---------------------------------|--------------------------------------|---------------------------------|--------------------------------------|---------------------------------|--------------------------------------|---------------------------------|--------------------------------------|
| LED Count (x10) | 3000K | | 4000K | | 5000K | | 5700K | | TRL | |
| | Initial Delivered Lumens* | BUG Ratings** Per TM- 15-11 |
| 350mA | · | | | | | | | | | |
| 02 | 1,560 | B0 U0 G1 | 1,884 | B0 U0 G1 | 1,432 | B0 U0 G1 | 1,921 | B0 U0 G1 | 615 | B0 U0 G0 |
| 04 | 3,121 | B1 U0 G1 | 3,768 | B1 U0 G1 | 2,865 | B0 U0 G1 | 3,843 | B1 U0 G1 | 1,230 | B0 U0 G1 |
| 06 | 4,628 | B1 U0 G1 | 5,588 | B1 U0 G1 | 4,248 | B1 U0 G1 | 5,698 | B1 U0 G2 | 1,824 | B0 U0 G1 |
| 08 | 6,170 | B1 U0 G2 | 7,450 | B1 U0 G2 | 5,664 | B1 U0 G2 | 7,598 | B1 U0 G2 | 2,431 | B0 U0 G1 |
| 10 | 7,695 | B1 U0 G2 | 9,291 | B1 U0 G2 | 7,063 | B1 U0 G2 | 9,475 | B1 U0 G2 | 3,032 | B1 U0 G1 |
| 12 | 9,233 | B1 U0 G2 | 11,149 | B1 U0 G2 | 8,476 | B1 U0 G2 | 11,370 | B1 U0 G2 | 3,638 | B1 U0 G1 |
| 14 | 10,704 | B1 U0 G2 | 12,924 | B1 U0 G2 | 9,825 | B1 U0 G2 | 13,181 | B1 U0 G2 | 4,218 | B1 U0 G1 |
| 16 | 12,233 | B1 U0 G2 | 14,771 | B2 U0 G2 | 11,229 | B1 U0 G2 | 15,063 | B2 U0 G2 | 4,820 | B1 U0 G1 |
| 525mA | | | | | | | | | | |
| 02 | 2,217 | B1 U0 G1 | 2,674 | B1 U0 G1 | 2,035 | B1 U0 G1 | 2,730 | B1 U0 G1 | N/A | |
| 04 | 4,434 | B1 U0 G1 | 5,348 | B1 U0 G1 | 4,070 | B1 U0 G1 | 5,460 | B1 U0 G1 | N/A | |
| 06 | 6,575 | B1 U0 G2 | 7,930 | B1 U0 G2 | 6,035 | B1 U0 G2 | 8,096 | B1 U0 G2 | N/A | |
| 08 | 8,766 | B1 U0 G2 | 10,573 | B1 U0 G2 | 8,047 | B1 U0 G2 | 10,794 | B1 U0 G2 | N/A | |
| 10 | 10,932 | B1 U0 G2 | 13,185 | B1 U0 G2 | 10,034 | B1 U0 G2 | 13,461 | B2 U0 G2 | N/A | |
| 12 | 13,118 | B1 U0 G2 | 15,821 | B2 U0 G3 | 12,041 | B1 U0 G2 | 16,153 | B2 U0 G3 | N/A | |
| 14 | 15,208 | B2 U0 G2 | 18,341 | B2 U0 G3 | 13,959 | B2 U0 G2 | 18,726 | B2 U0 G3 | N/A | |
| 16 | 17,380 | B2 U0 G3 | 20,962 | B2 U0 G3 | 15,953 | B2 U0 G3 | 21,401 | B2 U0 G3 | N/A | |
| 700mA | | | | | | | | | | |
| 02 | 2,615 | B1 U0 G1 | 3,156 | B1 U0 G1 | 2,400 | B1 U0 G1 | 3,220 | B1 U0 G1 | N/A | |
| 04 | 5,230 | B1 U0 G1 | 6,311 | B1 U0 G2 | 4,801 | B1 U0 G1 | 6,440 | B1 U0 G2 | N/A | |
| 06 | 7,755 | B1 U0 G2 | 9,359 | B1 U0 G2 | 7,119 | B1 U0 G2 | 9,549 | B1 U0 G2 | N/A | |

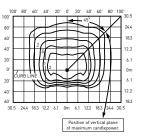
* Initial delivered lumens at 25°C [77°F]. Actual production yield may vary between -10 and +10% of initial delivered lumens ** For more information on the IES BUG [Backlight-Uplight-Glare] Rating visit: <u>https://www.ies.org/wp-content/uploads/2017/03/TM-15-11BUGRatingsAddendum.pdf.</u>

Photometry

All published luminaire photometric testing performed to IES LM-79-08 standards. To obtain an IES file specific to your project consult: http://creelighting.com/products/ outdoor/area/cree-edge-series-1

4MP





RESTL Test Report #: PL10097-003B ARE-EDG-4MP-**-06-E-UL-525-40K Initial Delivered Lumens: 9,410

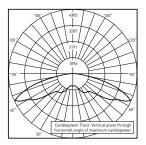
ARE-EDG-4MP-**-10-E-UL-525-40K Mounting Height: 25' (7.6m) A.F.G. Initial Delivered Lumens: 15,458 Initial FC at grade

| Type IV Med | ium Distributio | n w/Partial BLS | 5 | | | | | | | |
|--------------------|---------------------------------|--------------------------------------|---------------------------------|--------------------------------------|---------------------------------|--------------------------------------|---------------------------------|--------------------------------------|---------------------------------|--------------------------------------|
| | 3000K | | 4000K | | 5000K | | 5700K | | TRL | |
| LED Count (x10) | Initial Delivered Lumens* | BUG Ratings** Per TM- 15-11 |
| 350mA | | | | | | | | | | |
| 02 | 1,829 | B1 U0 G1 | 2,209 | B1 U0 G1 | 1,679 | B1 U0 G1 | 2,253 | B1 U0 G1 | 721 | B0 U0 G0 |
| 04 | 3,659 | B1 U0 G1 | 4,418 | B1 U0 G1 | 3,359 | B1 U0 G1 | 4,505 | B1 U0 G1 | 1,442 | B1 U0 G1 |
| 06 | 5,426 | B1 U0 G1 | 6,551 | B2 U0 G1 | 4,980 | B1 U0 G1 | 6,681 | B2 U0 G1 | 2,138 | B1 U0 G1 |
| 08 | 7,234 | B2 U0 G2 | 8,735 | B2 U0 G2 | 6,640 | B2 U0 G1 | 8,908 | B2 U0 G2 | 2,851 | B1 U0 G1 |
| 10 | 9,021 | B2 U0 G2 | 10,892 | B2 U0 G2 | 8,281 | B2 U0 G2 | 11,108 | B2 U0 G2 | 3,555 | B1 U0 G1 |
| 12 | 10,825 | B2 U0 G2 | 13,071 | B2 U0 G2 | 9,937 | B2 U0 G2 | 13,330 | B2 U0 G2 | 4,266 | B1 U0 G1 |
| 14 | 12,550 | B2 U0 G2 | 15,153 | B2 U0 G2 | 11,520 | B2 U0 G2 | 15,453 | B3 U0 G2 | 4,945 | B1 U0 G1 |
| 16 | 14,343 | B2 U0 G2 | 17,317 | B3 U0 G2 | 13,165 | B2 U0 G2 | 17,661 | B3 U0 G2 | 5,651 | B1 U0 G1 |
| 525mA | | | | | | | | | | |
| 02 | 2,599 | B1 U0 G1 | 3,135 | B1 U0 G1 | 2,386 | B1 U0 G1 | 3,200 | B1 U0 G1 | N/A | |
| 04 | 5,198 | B1 U0 G1 | 6,270 | B2 U0 G1 | 4,772 | B1 U0 G1 | 6,401 | B2 U0 G1 | N/A | |
| 06 | 7,708 | B2 U0 G2 | 9,297 | B2 U0 G2 | 7,076 | B2 U0 G2 | 9,492 | B2 U0 G2 | N/A | |
| 08 | 10,278 | B2 U0 G2 | 12,396 | B2 U0 G2 | 9,434 | B2 U0 G2 | 12,656 | B2 U0 G2 | N/A | |
| 10 | 12,817 | B2 U0 G2 | 15,458 | B3 U0 G2 | 11,764 | B2 U0 G2 | 15,782 | B3 U0 G2 | N/A | |
| 12 | 15,380 | B3 U0 G2 | 18,549 | B3 U0 G2 | 14,117 | B2 U0 G2 | 18,938 | B3 U0 G3 | N/A | |
| 14 | 17,830 | B3 U0 G2 | 21,504 | B3 U0 G3 | 16,366 | B3 U0 G2 | 21,954 | B3 U0 G3 | N/A | |
| 16 | 20,377 | B3 U0 G3 | 24,576 | B3 U0 G3 | 18,704 | B3 U0 G3 | 25,091 | B3 U0 G3 | N/A | |
| 700mA | | | | | | | | | | |
| 02 | 3,066 | B1 U0 G1 | 3,700 | B1 U0 G1 | 2,814 | B1 U0 G1 | 3,775 | B1 U0 G1 | N/A | |
| 04 | 6,132 | B2 U0 G1 | 7,400 | B2 U0 G2 | 5,628 | B1 U0 G1 | 7,550 | B2 U0 G2 | N/A | |
| 06 | 9,092 | B2 U0 G2 | 10,973 | B2 U0 G2 | 8,346 | B2 U0 G2 | 11,196 | B2 U0 G2 | N/A | |

Photometry

All published luminaire photometric testing performed to IES LM-79-08 standards. To obtain an IES file specific to your project consult: http://creelighting.com/products/ outdoor/area/cree-edge-series-1

5M



RESTL Test Report #: PL09285-001 ARE-EDG-5M-**-06-E-UL-700-40K Initial Delivered Lumens: 13,136



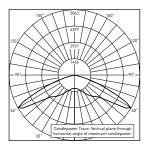
ARE-EDG-5M-**-10-E-UL-525-40K Mounting Height: 25' (7.6m) A.F.G. Initial Delivered Lumens: 18,413 Initial FC at grade

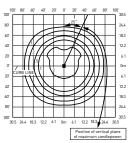
| Type V Mediu | Type V Medium Distribution | | | | | | | | | |
|--------------------|---------------------------------|--------------------------------------|---------------------------------|--------------------------------------|---------------------------------|--------------------------------------|---------------------------------|--------------------------------------|---------------------------------|--------------------------------------|
| | 3000K | | 4000K | | 5000K | | 5700K | | TRL | |
| LED Count (x10) | Initial Delivered Lumens* | BUG Ratings** Per TM- 15-11 |
| 350mA | | | | | | | | | | |
| 02 | 2,179 | B2 U0 G1 | 2,631 | B2 U0 G1 | 2,000 | B1 U0 G1 | 2,683 | B2 U0 G1 | 859 | B1 U0 G1 |
| 04 | 4,358 | B3 U0 G1 | 5,262 | B3 U0 G1 | 4,001 | B2 U0 G1 | 5,367 | B3 U0 G1 | 1,717 | B1 U0 G1 |
| 06 | 6,463 | B3 U0 G1 | 7,804 | B3 U0 G2 | 5,932 | B3 U0 G1 | 7,958 | B3 U0 G2 | 2,547 | B2 U0 G1 |
| 08 | 8,617 | B3 U0 G2 | 10,405 | B4 U0 G2 | 7,910 | B3 U0 G2 | 10,611 | B4 U0 G2 | 3,395 | B2 U0 G1 |
| 10 | 10,746 | B4 U0 G2 | 12,975 | B4 U0 G2 | 9,864 | B3 U0 G2 | 13,232 | B4 U0 G2 | 4,234 | B3 U0 G1 |
| 12 | 12,895 | B4 U0 G2 | 15,570 | B4 U0 G3 | 11,836 | B4 U0 G2 | 15,878 | B4 U0 G3 | 5,081 | B3 U0 G1 |
| 14 | 14,949 | B4 U0 G3 | 18,049 | B4 U0 G3 | 13,722 | B4 U0 G2 | 18,407 | B4 U0 G3 | 5,890 | B3 U0 G1 |
| 16 | 17,085 | B4 U0 G3 | 20,628 | B5 U0 G3 | 15,682 | B4 U0 G3 | 21,037 | B5 U0 G3 | 6,732 | B3 U0 G2 |
| 525mA | | | | | | | | | | |
| 02 | 3,096 | B2 U0 G1 | 3,734 | B3 U0 G1 | 2,842 | B2 U0 G1 | 3,812 | B3 U0 G1 | | N/A |
| 04 | 6,192 | B3 U0 G1 | 7,468 | B3 U0 G2 | 5,684 | B3 U0 G1 | 7,625 | B3 U0 G2 | | N/A |
| 06 | 9,182 | B3 U0 G2 | 11,074 | B4 U0 G2 | 8,428 | B3 U0 G2 | 11,306 | B4 U0 G2 | | N/A |
| 08 | 12,243 | B4 U0 G2 | 14,766 | B4 U0 G2 | 11,238 | B4 U0 G2 | 15,075 | B4 U0 G3 | | N/A |
| 10 | 15,267 | B4 U0 G3 | 18,413 | B4 U0 G3 | 14,014 | B4 U0 G2 | 18,799 | B4 U0 G3 | | N/A |
| 12 | 18,320 | B4 U0 G3 | 22,096 | B5 U0 G3 | 16,816 | B4 U0 G3 | 22,558 | B5 U0 G3 | | N/A |
| 14 | 21,238 | B5 U0 G3 | 25,615 | B5 U0 G3 | 19,495 | B4 U0 G3 | 26,151 | B5 U0 G3 | | N/A |
| 16 | 24,272 | B5 U0 G3 | 29,274 | B5 U0 G3 | 22,280 | B5 U0 G3 | 29,887 | B5 U0 G3 | | N/A |
| 700mA | | | | | | | | | | |
| 02 | 3,652 | B3 U0 G1 | 4,407 | B3 U0 G1 | 3,352 | B2 U0 G1 | 4,497 | B3 U0 G1 | | N/A |
| 04 | 7,304 | B3 U0 G2 | 8,814 | B3 U0 G2 | 6,704 | B3 U0 G2 | 8,993 | B3 U0 G2 | | N/A |
| 06 | 10,831 | B4 U0 G2 | 13,070 | B4 U0 G2 | 9,941 | B3 U0 G2 | 13,336 | B4 U0 G2 | | N/A |

* Initial delivered lumens at 25°C (77°F). Actual production yield may vary between -10 and +10% of initial delivered lumens
** For more information on the IES BUG (Backlight-Uplight-Glare) Rating visit: <u>https://www.ies.org/wp-content/uploads/2017/03/TM-15-11BUGRatingsAddendum.pdf.</u>

All published luminaire photometric testing performed to IES LM-79-08 standards. To obtain an IES file specific to your project consult: http://creelighting.com/products/ outdoor/area/cree-edge-series-1

5S





RESTL Test Report #: PL09286-001A ARE-EDG-5S-**-06-E-UL-700-40K Initial Delivered Lumens: 14,123

ARE-EDG-5S-**-10-E-UL-525-40K Mounting Height: 25' (7.6m) A.F.G. Initial Delivered Lumens: 20,459 Initial FC at grade

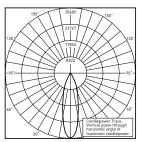
| Type V Short Distribution | | | | | | | | | | |
|---------------------------|---------------------------------|--------------------------------------|---------------------------------|--------------------------------------|---------------------------------|--------------------------------------|---------------------------------|--------------------------------------|---------------------------------|--------------------------------------|
| | 3000K | | 4000K | | 5000K | | 5700K | | TRL | |
| LED Count (x10) | Initial Delivered Lumens* | BUG Ratings** Per TM- 15-11 |
| 350mA | | | | | | | | | | |
| 02 | 2,421 | B1 U0 G0 | 2,924 | B2 U0 G0 | 2,223 | B1 U0 G0 | 2,982 | B2 U0 G0 | 954 | B1 U0 G0 |
| 04 | 4,843 | B2 U0 G1 | 5,847 | B3 U0 G1 | 4,445 | B2 U0 G1 | 5,963 | B3 U0 G1 | 1,908 | B1 U0 G0 |
| 06 | 7,181 | B3 U0 G1 | 8,671 | B3 U0 G1 | 6,592 | B3 U0 G1 | 8,842 | B3 U0 G1 | 2,830 | B2 U0 G0 |
| 08 | 9,575 | B3 U0 G1 | 11,561 | B3 U0 G2 | 8,789 | B3 U0 G1 | 11,790 | B3 U0 G2 | 3,773 | B2 U0 G1 |
| 10 | 11,940 | B3 U0 G2 | 14,416 | B4 U0 G2 | 10,960 | B3 U0 G2 | 14,702 | B4 U0 G2 | 4,705 | B2 U0 G1 |
| 12 | 14,328 | B4 U0 G2 | 17,300 | B4 U0 G2 | 13,152 | B3 U0 G2 | 17,642 | B4 U0 G2 | 5,646 | B3 U0 G1 |
| 14 | 16,610 | B4 U0 G2 | 20,055 | B4 U0 G2 | 15,246 | B4 U0 G2 | 20,453 | B4 U0 G2 | 6,545 | B3 U0 G1 |
| 16 | 18,983 | B4 U0 G2 | 22,920 | B4 U0 G2 | 17,424 | B4 U0 G2 | 23,374 | B4 U0 G2 | 7,480 | B3 U0 G1 |
| 525mA | | | | | | | | | | |
| 02 | 3,440 | B2 U0 G0 | 4,149 | B2 U0 G1 | 3,158 | B2 U0 G0 | 4,236 | B2 U0 G1 | N | I/A |
| 04 | 6,880 | B3 U0 G1 | 8,298 | B3 U0 G1 | 6,315 | B3 U0 G1 | 8,472 | B3 U0 G1 | N | I/A |
| 06 | 10,202 | B3 U0 G2 | 12,305 | B3 U0 G2 | 9,365 | B3 U0 G1 | 12,563 | B3 U0 G2 | N | I/A |
| 08 | 13,603 | B3 U0 G2 | 16,406 | B4 U0 G2 | 12,486 | B3 U0 G2 | 16,750 | B4 U0 G2 | N | I/A |
| 10 | 16,963 | B4 U0 G2 | 20,459 | B4 U0 G2 | 15,571 | B4 U0 G2 | 20,887 | B4 U0 G2 | Ν | I/A |
| 12 | 20,356 | B4 U0 G2 | 24,551 | B4 U0 G2 | 18,685 | B4 U0 G2 | 25,065 | B4 U0 G2 | Ν | I/A |
| 14 | 23,598 | B4 U0 G2 | 28,461 | B5 U0 G3 | 21,661 | B4 U0 G2 | 29,057 | B5 U0 G3 | Ν | I/A |
| 16 | 26,969 | B4 U0 G2 | 32,527 | B5 U0 G3 | 24,755 | B4 U0 G2 | 33,208 | B5 U0 G3 | Ν | I/A |
| 700mA | | | | | | | | | | |
| 02 | 4,058 | B2 U0 G1 | 4,897 | B2 U0 G1 | 3,725 | B2 U0 G1 | 4,996 | B2 U0 G1 | N | I/A |
| 04 | 8,115 | B3 U0 G1 | 9,793 | B3 U0 G1 | 7,449 | B3 U0 G1 | 9,993 | B3 U0 G2 | N | I/A |
| 06 | 12,034 | B3 U0 G2 | 14,523 | B4 U0 G2 | 11,046 | B3 U0 G2 | 14,818 | B4 U0 G2 | N | I/A |



Photometry

All published luminaire photometric testing performed to IES LM-79-08 standards. To obtain an IES file specific to your project consult: <u>http://creelighting.com/products/outdoor/area/cree-edge-series-1</u>

25°



RESTL Test Report #: PL09832-003B FLD-EDG-25-**-06-E-UL-700-40K Initial Delivered Lumens: 14,998

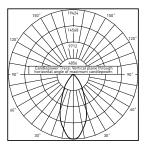
FLD-EDG-25-**-10-E-UL-525-40K Mounting Height: 25' [7.6m] A.F.G., 60° Tilt Initial Delivered Lumens: 20,913 Initial FC at grade

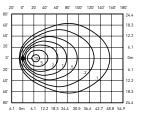
| 25° Flood Dis | 25° Flood Distribution | | | | | | | | |
|--------------------|---------------------------------|---------------------------------|---------------------------------|---------------------------------|---------------------------------|--|--|--|--|
| | 3000K | 4000K | 5000K | 5700K | TRL | | | | |
| LED Count (x10) | Initial Delivered Lumens* | Initial Delivered Lumens* | Initial Delivered Lumens* | Initial Delivered Lumens* | Initial Delivered Lumens* | | | | |
| 350mA | | | | | | | | | |
| 02 | 2,475 | 2,989 | 2,272 | 3,048 | 975 | | | | |
| 04 | 4,950 | 5,977 | 4,544 | 6,096 | 1,951 | | | | |
| 06 | 7,341 | 8,863 | 6,738 | 9,039 | 2,892 | | | | |
| 08 | 9,788 | 11,818 | 8,984 | 12,052 | 3,857 | | | | |
| 10 | 12,205 | 14,737 | 11,203 | 15,029 | 4,809 | | | | |
| 12 | 14,646 | 17,684 | 13,444 | 18,035 | 5,771 | | | | |
| 14 | 16,979 | 20,501 | 15,585 | 20,907 | 6,690 | | | | |
| 16 | 19,405 | 23,429 | 17,812 | 23,894 | 7,646 | | | | |
| 525mA | | | | | | | | | |
| 02 | 3,516 | 4,241 | 3,228 | 4,330 | N/A | | | | |
| 04 | 7,033 | 8,482 | 6,456 | 8,660 | N/A | | | | |
| 06 | 10,429 | 12,578 | 9,573 | 12,842 | N/A | | | | |
| 08 | 13,905 | 16,771 | 12,764 | 17,122 | N/A | | | | |
| 10 | 17,340 | 20,913 | 15,917 | 21,352 | N/A | | | | |
| 12 | 20,808 | 25,096 | 19,100 | 25,622 | N/A | | | | |
| 14 | 24,122 | 29,093 | 22,142 | 29,703 | N/A | | | | |
| 16 | 27,568 | 33,250 | 25,305 | 33,946 | N/A | | | | |
| 700mA | | | · | · | · | | | | |
| 02 | 4,148 | 5,006 | 3,807 | 5,107 | N/A | | | | |
| 04 | 8,296 | 10,011 | 7,615 | 10,215 | N/A | | | | |
| 06 | 12,301 | 14,845 | 11,292 | 15,147 | N/A | | | | |



All published luminaire photometric testing performed to IES LM-79-08 standards. To obtain an IES file specific to your project consult: <u>http://creelighting.com/products/outdoor/area/cree-edge-series-1</u>

40°





RESTL Test Report #: PL09832-002B FLD-EDG-40-**-06-E-UL-700-40K Initial Delivered Lumens: 13,808

FLD-EDG-40-**-10-E-UL-525-40K Mounting Height: 25' (7.6m) A.F.G., 60° Tilt Initial Delivered Lumens: 20,459 Initial FC at grade

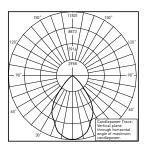
| 40° Flood Distribution | | | | | | | | |
|------------------------|---------------------------------|---------------------------------|---------------------------------|---------------------------------|---------------------------------|--|--|--|
| | 3000K | 4000K | 5000K | 5700K | TRL | | | |
| LED Count (x10) | Initial Delivered Lumens* | Initial Delivered Lumens* | Initial Delivered Lumens* | Initial Delivered Lumens* | Initial Delivered Lumens* | | | |
| 350mA | | | | | | | | |
| 02 | 2,421 | 2,924 | 2,223 | 2,982 | 954 | | | |
| 04 | 4,843 | 5,847 | 4,445 | 5,963 | 1,908 | | | |
| 06 | 7,181 | 8,671 | 6,592 | 8,842 | 2,830 | | | |
| 08 | 9,575 | 11,561 | 8,789 | 11,790 | 3,773 | | | |
| 10 | 11,940 | 14,416 | 10,960 | 14,702 | 4,705 | | | |
| 12 | 14,328 | 17,300 | 13,152 | 17,642 | 5,646 | | | |
| 14 | 16,610 | 20,055 | 15,246 | 20,453 | 6,545 | | | |
| 16 | 18,983 | 22,920 | 17,424 | 23,374 | 7,480 | | | |
| 525mA | | | | | | | | |
| 02 | 3,440 | 4,149 | 3,158 | 4,236 | N/A | | | |
| 04 | 6,880 | 8,298 | 6,315 | 8,472 | N/A | | | |
| 06 | 10,202 | 12,305 | 9,365 | 12,563 | N/A | | | |
| 08 | 13,603 | 16,406 | 12,486 | 16,750 | N/A | | | |
| 10 | 16,963 | 20,459 | 15,571 | 20,887 | N/A | | | |
| 12 | 20,356 | 24,551 | 18,685 | 25,065 | N/A | | | |
| 14 | 23,598 | 28,461 | 21,661 | 29,057 | N/A | | | |
| 16 | 26,969 | 32,527 | 24,755 | 33,208 | N/A | | | |
| 700mA | | | | | | | | |
| 02 | 4,058 | 4,897 | 3,725 | 4,996 | N/A | | | |
| 04 | 8,115 | 9,793 | 7,449 | 9,993 | N/A | | | |
| 06 | 12,034 | 14,523 | 11,046 | 14,818 | N/A | | | |

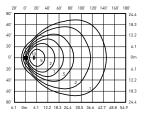


Photometry

All published luminaire photometric testing performed to IES LM-79-08 standards. To obtain an IES file specific to your project consult: <u>http://creelighting.com/products/outdoor/area/cree-edge-series-1</u>

70°





RESTL Test Report #: PL09832-001B FLD-EDG-70-**-06-E-UL-700-40K Initial Delivered Lumens: 13,888

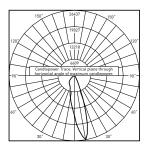
FLD-EDG-70-**-10-E-UL-525-40K Mounting Height: 25' (7.6m) A.F.G., 60° Tilt Initial Delivered Lumens: 18,640 Initial FC at grade

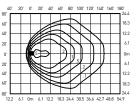
| 70° Flood Dis | 70° Flood Distribution | | | | | | | | |
|--------------------|---------------------------------|---------------------------------|---------------------------------|---------------------------------|---------------------------------|--|--|--|--|
| | 3000K | 4000K | 5000K | 5700K | TRL | | | | |
| LED Count (x10) | Initial Delivered Lumens* | Initial Delivered Lumens* | Initial Delivered Lumens* | Initial Delivered Lumens* | Initial Delivered Lumens* | | | | |
| 350mA | | | | | | | | | |
| 02 | 2,206 | 2,664 | 2,025 | 2,716 | 869 | | | | |
| 04 | 4,412 | 5,327 | 4,050 | 5,433 | 1,739 | | | | |
| 06 | 6,543 | 7,900 | 6,006 | 8,056 | 2,578 | | | | |
| 08 | 8,724 | 10,533 | 8,008 | 10,742 | 3,437 | | | | |
| 10 | 10,879 | 13,135 | 9,986 | 13,395 | 4,286 | | | | |
| 12 | 13,054 | 15,762 | 11,983 | 16,074 | 5,144 | | | | |
| 14 | 15,133 | 18,272 | 13,891 | 18,635 | 5,963 | | | | |
| 16 | 17,295 | 20,883 | 15,876 | 21,297 | 6,815 | | | | |
| 525mA | | | | | | | | | |
| 02 | 3,134 | 3,780 | 2,877 | 3,859 | N/A | | | | |
| 04 | 6,269 | 7,560 | 5,754 | 7,719 | N/A | | | | |
| 06 | 9,295 | 11,211 | 8,532 | 11,446 | N/A | | | | |
| 08 | 12,394 | 14,948 | 11,377 | 15,261 | N/A | | | | |
| 10 | 15,455 | 18,640 | 14,187 | 19,031 | N/A | | | | |
| 12 | 18,546 | 22,368 | 17,024 | 22,837 | N/A | | | | |
| 14 | 21,500 | 25,931 | 19,735 | 26,474 | N/A | | | | |
| 16 | 24,572 | 29,636 | 22,555 | 30,256 | N/A | | | | |
| 700mA | | | | | | | | | |
| 02 | 3,697 | 4,461 | 3,393 | 4,552 | N/A | | | | |
| 04 | 7,394 | 8,923 | 6,787 | 9,104 | N/A | | | | |
| 06 | 10,964 | 13,232 | 10,064 | 13,501 | N/A | | | | |



All published luminaire photometric testing performed to IES LM-79-08 standards. To obtain an IES file specific to your project consult: <u>http://creelighting.com/products/outdoor/area/cree-edge-series-1</u>

SN





RESTL Test Report #: PL10142-001B FLD-EDG-SN-**-06-E-UL-700-40K Initial Delivered Lumens: 13,701

FLD-EDG-SN-**-10-E-UL-525-40K Mounting Height: 25' (7.6m) A.F.G., 60° Tilt Initial Delivered Lumens: 18,868 Initial FC at grade

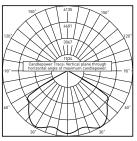
| SN Flood Dist | SN Flood Distribution | | | | | | | | |
|--------------------|---------------------------------|---------------------------------|---------------------------------|---------------------------------|---------------------------------|--|--|--|--|
| | 3000K | 4000K | 5000K | 5700K | TRL | | | | |
| LED Count (x10) | Initial Delivered Lumens' | Initial Delivered Lumens* | Initial Delivered Lumens* | Initial Delivered Lumens* | Initial Delivered Lumens* | | | | |
| 350mA | | | | | | | | | |
| 02 | 2,233 | 2,696 | 2,050 | 2,750 | 880 | | | | |
| 04 | 4,466 | 5,392 | 4,099 | 5,499 | 1,760 | | | | |
| 06 | 6,623 | 7,996 | 6,079 | 8,155 | 2,609 | | | | |
| 08 | 8,830 | 10,662 | 8,105 | 10,873 | 3,479 | | | | |
| 10 | 11,011 | 13,295 | 10,107 | 13,559 | 4,339 | | | | |
| 12 | 13,213 | 15,954 | 12,129 | 16,270 | 5,206 | | | | |
| 14 | 15,318 | 18,495 | 14,061 | 18,862 | 6,036 | | | | |
| 16 | 17,506 | 21,137 | 16,069 | 21,556 | 6,898 | | | | |
| 525mA | | | | | | | | | |
| 02 | 3,172 | 3,826 | 2,912 | 3,906 | N/A | | | | |
| 04 | 6,345 | 7,653 | 5,824 | 7,813 | N/A | | | | |
| 06 | 9,409 | 11,348 | 8,636 | 11,585 | N/A | | | | |
| 08 | 12,545 | 15,130 | 11,515 | 15,447 | N/A | | | | |
| 10 | 15,644 | 18,868 | 14,360 | 19,263 | N/A | | | | |
| 12 | 18,773 | 22,641 | 17,231 | 23,115 | N/A | | | | |
| 14 | 21,763 | 26,247 | 19,976 | 26,797 | N/A | | | | |
| 16 | 24,871 | 29,997 | 22,830 | 30,625 | N/A | | | | |
| 700mA | | | | | | | | | |
| 02 | 3,742 | 4,516 | 3,435 | 4,608 | N/A | | | | |
| 04 | 7,484 | 9,032 | 6,870 | 9,215 | N/A | | | | |
| 06 | 11,098 | 13,393 | 10,187 | 13,665 | N/A | | | | |



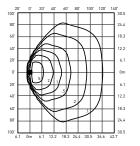
Photometry

All published luminaire photometric testing performed to IES LM-79-08 standards. To obtain an IES file specific to your project consult: <u>http://creelighting.com/products/outdoor/area/cree-edge-series-1</u>

N6



RESTL Test Report #: PL09832-004B FLD-EDG-N6-**-06-E-UL-700-40K Initial Delivered Lumens: 15,251



FLD-EDG-N6-**-10-E-UL-525-40K Mounting Height: 25' (7.6m) A.F.G., 60° Tilt Initial Delivered Lumens: 20,913 Initial FC at grade

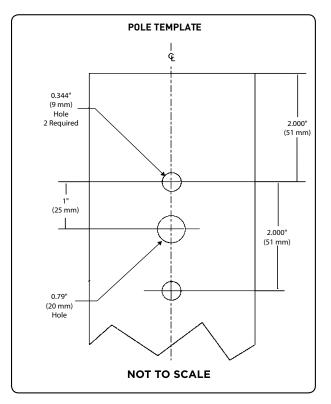
| NEMA® 6 Flood Distribution | | | | | | | | |
|----------------------------|---------------------------------|---------------------------------|---------------------------------|---------------------------------|---------------------------------|--|--|--|
| | 3000K | 4000K | 5000K | 5700K | TRL | | | |
| LED Count (x10) | Initial Delivered Lumens* | Initial Delivered Lumens* | Initial Delivered Lumens* | Initial Delivered Lumens* | Initial Delivered Lumens* | | | |
| 350mA | | | | | | | | |
| 02 | 2,475 | 2,989 | 2,272 | 3,048 | 975 | | | |
| 04 | 4,950 | 5,977 | 4,544 | 6,096 | 1,951 | | | |
| 06 | 7,341 | 8,863 | 6,738 | 9,039 | 2,892 | | | |
| 08 | 9,788 | 11,818 | 8,984 | 12,052 | 3,857 | | | |
| 10 | 12,205 | 14,737 | 11,203 | 15,029 | 4,809 | | | |
| 12 | 14,646 | 17,684 | 13,444 | 18,035 | 5,771 | | | |
| 14 | 16,979 | 20,501 | 15,585 | 20,907 | 6,690 | | | |
| 16 | 19,405 | 23,429 | 17,812 | 23,894 | 7,646 | | | |
| 525mA | | | | | | | | |
| 02 | 3,516 | 4,241 | 3,228 | 4,330 | N/A | | | |
| 04 | 7,033 | 8,482 | 6,456 | 8,660 | N/A | | | |
| 06 | 10,429 | 12,578 | 9,573 | 12,842 | N/A | | | |
| 08 | 13,905 | 16,771 | 12,764 | 17,122 | N/A | | | |
| 10 | 17,340 | 20,913 | 15,917 | 21,352 | N/A | | | |
| 12 | 20,808 | 25,096 | 19,100 | 25,622 | N/A | | | |
| 14 | 24,122 | 29,093 | 22,142 | 29,703 | N/A | | | |
| 16 | 27,568 | 33,250 | 25,305 | 33,946 | N/A | | | |
| 700mA | | | | | | | | |
| 02 | 4,148 | 5,006 | 3,807 | 5,107 | N/A | | | |
| 04 | 8,296 | 10,011 | 7,615 | 10,215 | N/A | | | |
| 06 | 12,301 | 14,845 | 11,292 | 15,147 | N/A | | | |



Luminaire EPA

| Fixed Arm Mount - | ARE-EDG-DA | | | | | |
|-------------------|------------|---------------------------------|----------|---------------------------------|---------------------|---------------------------------|
| LED Count (x10) | Single | 2 @ 90° | 2 @ 180° | 3 @ 90° | 3 @ 120° | 4 @ 90° |
| | | - - | | | | |
| | • | | | | ★ * ♦ | |
| 02 | 0.60 | 0.87 | 1.20 | 1.47 | 1.47 | 1.75 |
| 04 | 0.60 | 0.87 | 1.20 | 1.47 | 1.47 | 1.75 |
| 06 | 0.60 | 0.92 | 1.20 | 1.51 | 1.51 | 1.83 |
| 08 | 0.60 | 0.96 N/A with 3" poles | 1.20 | 1.55 N/A with 3" poles | 1.55 | 1.91 N/A with 3" poles |
| 10 | 0.60 | 1.00 N/A with 3" poles | 1.20 | 1.60 N/A with 3" poles | 1.60 | 2.00 N/A with 3" poles |
| 12 | 0.60 | 1.04 N/A with 3" poles | 1.20 | 1.64 N/A with 3" poles | 1.64 | 2.08 N/A with 3" poles |
| 14 | 0.60 | 1.08 N/A with 3" or 4" poles | 1.20 | 1.68 N/A with 3" or 4" poles | 1.68 | 2.16 N/A with 3" or 4" poles |
| 16 | 0.60 | 1.12 N/A with 3" or 4" poles | 1.20 | 1.72 N/A with 3" or 4" poles | 1.72 | 2.24 N/A with 3" or 4" poles |
| Fixed Arm Mount - | ARE-EDG-DL | · | | | | · · |
| 02 | 0.75 | 1.02 | 1.50 | 1.77 | 1.77 | 1.91 |
| 04 | 0.75 | 1.02 | 1.50 | 1.77 | 1.77 | 1.91 |
| 06 | 0.75 | 1.07 | 1.50 | 1.82 | 1.82 | 1.98 |
| 08 | 0.75 | 1.11 | 1.50 | 1.86 | 1.86 | 2.04 |
| 10 | 0.75 | 1.15 | 1.50 | 1.90 | 1.90 | 2.10 |
| 12 | 0.75 | 1.19 | 1.50 | 1.94 | 1.94 | 2.16 |
| 14 | 0.75 | 1.23 | 1.50 | 1.98 | 1.98 | 2.22 |
| 16 | 0.75 | 1.27 | 1.50 | 2.02 | 2.02 | 2.28 |

Fixture Mounting Drill Pattern for DA and DL Mounts



US: <u>creelighting.com</u> (800) 236-6800 Canada: <u>creelighting-canada.com</u> (800) 473-1234



Luminaire EPA

| | | - | - | | - | | - | _ | |
|-----------------|---|--|--|---------------------------------|---|---|---------------------------------|---|---|
| LED Count (x10) | Single | 2 @ 90° | 2 @ 180° | In-Line 2 @ 180° | 3 @ 90° | 3 @ 120° | In-Line 3 @ 180° | 4 @ 90° | In-Line 4 @ 180 |
| Tenon Configu | Iration If used wit | th Cree Lighting to | enons, please add | tenon EPA with L | uminaire EPA | | | | |
| | | | | | | | | ━╂━ | |
| | Vertical: PB-1A*; PT-1; PW-1A3** Horizontal: By others | Vertical: PB-2A*; PB-2R2.375; PW-2A3** Horizontal: PD-2A4(90); PT-2(90) | Vertical: PB-2A*; PB-2R2.375; PW-2A3** Horizontal: PD-2A4(180); PT-2(180) | Vertical: PB-2A*; PB-2R2.375 | Vertical: PB-3A*; PB-3R2.375 Horizontal: PD-3A4(90); PT-3(90) | Vertical: PB-3A*; PB-3R2.375 Horizontal: PT-3(120) | Vertical: PB-3A*; PB-3R2.375 | Vertical: PB-4A*(90); PB-4R2.375 Horizontal: PD-4A4(90) PT-4(90) | Vertical: PB-4A*(180); PB-4R2.375 |
| 0° Tilt | | | | | | | | | |
| 02 | 0.66 | 0.98 | 1.32 | 1.32 | 1.77 | 1.64 | 1.98 | 1.91 | 2.64 |
| 04 | 0.66 | 0.98 | 1.32 | 1.32 | 1.64 | 1.64 | 1.98 | 1.97 | 2.64 |
| 06 | 0.66 | 1.02 | 1.32 | 1.32 | 1.68 | 1.68 | 1.98 | 2.05 | 2.64 |
| 08 | 0.66 | 1.07 | 1.32 | 1.32 | 1.80 | 1.72 | 1.98 1.98 | 2.29 | 2.64 |
| 12 | 0.66 | 1.15 | 1.32 | 1.32 | 1.76 | 1.76 | 1.98 | 2.21 | 2.64 |
| 14 | 0.66 | 1.19 | 1.32 | 1.32 | 1.84 | 1.84 | 1.98 | 2.38 | 2.64 |
| 16 | 0.66 | 1.23 | 1.32 | N/A | 1.89 | 1.89 | N/A | 2.46 | N/A |
| 30° Tilt | | | | | | | | | |
| 02 | 0.71 | 1.37 | 1.42 | 1.42 | 2.08 | 2.08 | 2.13 | 2.73 | 2.84 |
| 04 | 0.71 | 1.37 | 1.42 | 1.42 | 2.08 | 2.08 | 2.13 | 2.73 | 2.84 |
| 06 | 0.82 | 1.48 | 1.64 | 1.64 | 2.30 | 2.30 | 2.46 | 2.95 | 3.28 |
| 08 | 0.93 | 1.59 | 1.86 | 1.86 | 2.52 | 2.52 | 2.79 | 3.17 | 3.72 |
| 10 | 1.04 | 1.70 | 2.08 | 2.08 | 2.74 | 2.74 | 3.12 | 3.40 | 4.16 |
| 12 | 1.15 | 1.81 | 2.30 | 2.30 | 2.96 | 2.96 | 3.45 | 3.62 | 4.60 |
| 14 | 1.26 | 1.92 | 2.52 | 2.52 | 3.18 | 3.18 | 3.78 | 3.84 | 5.04 |
| 16 | 1.37 | 2.03 | 2.74 | N/A | 3.40 | 3.40 | N/A | 4.06 | N/A |
| 45° Tilt | | 1 | 1 | 1 | | 1 | 1 | | |
| 02 | 0.89 | 1.55 | 1.78 | 1.78 | 2.45 | 2.45 | 2.67 | 3.10 | 3.56 |
| 04 | 0.89 | 1.55 | 1.78 | 1.78 | 2.45 | 2.45 | 2.67 | 3.10 | 3.56 |
| 06 | 1.03 | 1.69 | 2.06 | 2.06 | 2.72 | 2.72 | 3.09 | 3.38 | 4.12 |
| 08 | 1.17 | 1.83 | 2.34 | 2.34 | 3.00 | 3.00 | 3.51 | 3.66 | 4.68 |
| 10 | 1.31 | 1.97 | 2.62 | 2.62 | 3.28 | 3.28 | 3.93 | 3.94 | 5.24 |
| 12 | 1.45 | 2.11 | 2.90 | 2.90 | 3.56 | 3.56 | 4.35 | 4.21 | 5.80 |
| 14 | 1.59 | 2.25 | 3.18 | 3.18 | 3.83 | 3.83 | 4.77 | 4.49 | 6.36 |
| 16 | 1.73 | 2.38 | 3.46 | N/A | 4.11 | 4.11 | N/A | 4.77 | N/A |
| 60° Tilt | | | | | | | | | |
| 02 | 1.20 | 1.86 | 2.40 | 2.40 | 3.06 | 3.06 | 3.60 | 3.72 | 4.80 |
| 04 | 1.20 | 1.86 | 2.40 | 2.40 | 3.06 | 3.06 | 3.60 | 3.72 | 4.80 |
| 06 | 1.39 | 2.05 | 2.78 | 2.78 | 3.44 | 3.44 | 4.17 | 4.10 | 5.56 |
| 08 | 1.58 | 2.23 | 3.16 | 3.16 | 3.81 | 3.81 | 4.74 | 4.47 | 6.32 |
| 10 | 1.77 | 2.42 | 3.54 | 3.54 | 4.19 | 4.19 | 5.31 | 4.84 | 7.08 |
| 12 | 1.95 | 2.61 | 3.90 | 3.90 | 4.56 | 4.56 | 5.85 | 5.22 | 7.80 |
| 14 | 2.14 | 2.80 | 4.28 | 4.28 | 4.94 | 4.94 | 6.42 | 5.59 | 8.56 |
| 16 | 2.33 | 2.98 | 4.66 | N/A | 5.31 | 5.31 | N/A | 5.97 | N/A |

CREE ÷ LIGHTING[®]

* Specify pole size: 3 [3"], 4 [4"], 5 [5"], or 6 (6") for single, double or triple luminaire orientation or 4 [4"], 5 (5"), or 6 (6") for quad luminaire orientation ** These EPA values must be multiplied by the following ratio: Fixture Mounting Height/Total Pole Height. Specify pole size: 3 (3"), 4 (4"), 5 [5"), or 6 (6")

US: <u>creelighting.com</u> (800) 236-6800 Canada: <u>creelighting-canada.com</u> (800) 473-1234

Luminaire EPA

| Adjustable Arm Mount – ARE-EDG-AA/FLD-EDG-AA/SA | | | | | | | | | |
|---|---|--|--|---------------------------------|---|---|---------------------------------|---|---|
| LED Count (x10) | Single | 2 @ 90° | 2 @ 180° | In-Line 2 ៧ 180° | 3 @ 90° | 3 @ 120° | In-Line 3 ପ 180° | 4 @ 90° | In-Line 4 @ 180° |
| Tenon Confi | guration If used wit | th Cree Lighting to | enons, please add | tenon EPA with L | uminaire EPA | | | | |
| | | | | T | | * | | | |
| | Vertical: PB-1A*; PT-1; PW-1A3** Horizontal: By others | Vertical: PB-2A*; PB-2R2.375; PW-2A3** Horizontal: PD-2A4[90]; PT-2[90] | Vertical: PB-2A*; PB-2R2.375; PW-2A3** Horizontal: PD-2A4(180); PT-2(180) | Vertical: PB-2A*; PB-2R2.375 | Vertical: PB-3A*; PB-3R2.375 Horizontal: PD-3A4(90); PT-3(90) | Vertical: PB-3A*; PB-3R2.375 Horizontal: PT-3(120) | Vertical: PB-3A*; PB-3R2.375 | Vertical: PB-4A*(90); PB-4R2.375 Horizontal: PD-4A4(90) PT-4(90) | Vertical: PB-4A*(180); PB-4R2.375 |
| 90° Tilt | | | | | | | | | |
| 02 | 1.85 | 2.51 | 3.70 | 3.64 | 4.36 | 4.36 | 5.55 | 5.02 | 7.40 |
| 04 | 1.85 | 2.51 | 3.70 | 3.64 | 4.36 | 4.36 | 5.55 | 5.02 | 7.40 |
| 06 | 2.14 | 2.80 | 4.28 | 4.22 | 4.94 | 4.94 | 6.42 | 5.59 | 8.56 |
| 08 | 2.43 | 3.09 | 4.86 | 4.78 | 5.51 | 5.51 | 7.29 | 6.17 N/A with horizontal tenon | 9.72 |
| 10 | 2.71 | 3.37 | 5.42 | 5.34 | 6.08 | 6.08 | 8.13 | 6.74 N/A with horizontal tenon | 10.84 |
| 12 | 3.00 | 3.66 | 6.00 | 5.90 | 6.66 | 6.66 | 9.00 | 7.31 N/A with horizontal tenon | 12.00 |
| 14 | 3.29 | 3.95 N/A with PW- 2A3** | 6.58 | 6.48 | 7.23 | 7.23 | 9.87 | 7.89 N/A with horizontal tenon | 13.16 |
| 16 | 3.57 | 4.23 N/A with PW- 2A3** | 7.14 | N/A | 7.81 | 7.81 | N/A | 8.46 N/A with horizontal tenon | N/A |

* Specify pole size: 3 (3"), 4 (4"), 5 (5"), or 6 (6") for single, double or triple luminaire orientation or 4 (4"), 5 (5"), or 6 (6") for quad luminaire orientation ** These EPA values must be multiplied by the following ratio: Fixture Mounting Height/Total Pole Height. Specify pole size: 3 (3"), 4 (4"), 5 (5"), or 6 (6")

Tenon EPA

| Part Number | EPA |
|------------------|------|
| PB-1A* | None |
| PB-2A* | 0.82 |
| PB-3A* | 1.52 |
| PB-4A*(180) | 2.22 |
| PB-4A*(90) | 1.11 |
| PB-2R2.375 | 0.92 |
| PB-3R2.375 | 1.62 |
| PB-4R2.375 | 2.32 |
| PD Series Tenons | 0.09 |
| PT Series Tenons | 0.10 |
| PW-1A3** | 0.47 |
| PW-2A3** | 0.94 |
| WM-2 | 0.08 |
| WM-4 | 0.25 |
| WM-DM | None |

* Specify pole size: 3 (3"), 4 (4"), 5 (5"), or 6 (6") for single, double or triple luminaire orientation or 4 (4"), 5 (5"), or 6 (6") for quad luminaire orientation * These EPA values must be multiplied by the following ratio: Fixture Mounting Height/Total Pole Height. Specify pole size: 3 (3"), 4 (4"), 5 (5"), or 6 (6")

Tenons and Brackets[‡] (must specify color)

Square Internal Mount Vertical Tenons (Steel)
 Provide the field for Square Internal Mount Horizontal Tenons (Aluminum) - Mounts to 4" (102mm) square aluminum or steel poles

PD-2A4(90) – 90° Twin PD-3A4(90) – 90° Triple PD-2A4(180) – 180° Twin PD-4A4(90) – 90° Quad

Wall Mount Brackets Mounts to wall or roof

WM-2 – Horizontal for AA and SA mounts WM-4 – L-Shape for AA and SA mounts WM-DM – Plate for DA and DL mounts

Round External Mount Vertical Tenons (Steel) - Mounts to 2.375" (60mm) O.D. round aluminum or steel poles or tenons PB-2R2.375 - Twin PB-4R2.375 - Quad PB-3R2.375 - Triple Round External Mount Horizontal Tenons (Aluminum) - Mounts to 2.375" (60mm) 0.D. round aluminum or steel

poles or tenons . - Mounts to square pole with PB-1A* tenon PT-3(90) - 90° Triple PT-1 – Single (Vertical) PT-2(90) – 90° Twin PT-2(180) – 180° Twin

PT-3(120) - 120° Triple PT-4(90) - 90° Quad Mid-Pole Bracket - Mounts to square pole PW-1A3** - Single

PW-2A3** - Double

Ground Mount Post

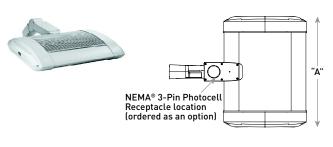
- For ground mounted flood luminaires PGM-1 - For use with AA and SA mounts

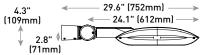
* Refer to the Bracket and Tenons spec sheet for more details

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US: creelighting.com (800) 236-6800 Canada: creelighting-canada.com (800) 473-1234

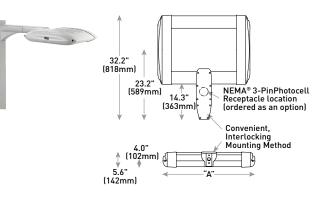
AA Mount





| LED Count (x10) | Dim. "A" | Weight |
|--------------------|---------------|----------------|
| 02 | 12.1" (306mm) | 21 lbs. (10kg) |
| 04 | 12.1" (306mm) | 24 lbs. (11kg) |
| 06 | 14.1" (357mm) | 27 lbs. (12kg) |
| 08 | 16.1" (408mm) | 28 lbs. (13kg) |
| 10 | 18.1" (459mm) | 32 lbs. (15kg) |
| 12 | 20.1" (510mm) | 34 lbs. (15kg) |
| 14 | 22.1" (560mm) | 37 lbs. (17kg) |
| 16 | 24.1" (611mm) | 41 lbs. (19kg) |

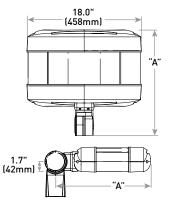
DL Mount



| LED Count (x10) | Dim. "A" | Weight |
|--------------------|---------------|----------------|
| 02 | 12.1" (306mm) | 23 lbs. (10kg) |
| 04 | 12.1" (306mm) | 26 lbs. (12kg) |
| 06 | 14.1" (357mm) | 29 lbs. (13kg) |
| 08 | 16.1" (408mm) | 30 lbs. (14kg) |
| 10 | 18.1" (459mm) | 34 lbs. (15kg) |
| 12 | 20.1" (510mm) | 36 lbs. (16kg) |
| 14 | 22.1" (560mm) | 42 lbs. (19kg) |
| 16 | 24.1" (611mm) | 44 lbs. (20kg) |

SA Mount





| LED Count (x10) | Dim. "A" | Weight |
|--------------------|---------------|----------------|
| 02 | 16.0" (406mm) | 25 lbs. (11kg) |
| 04 | 18.0" (457mm) | 26 lbs. (12kg) |
| 06 | 20.0" (508mm) | 28 lbs. (13kg) |

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CREE ÷ LIGHTING

A COMPANY OF IDEAL INDUSTRIES, INC.

THE EDGE[®] Series TYPE AX

LED Area/Flood Luminaire

Product Description

THE EDGE® Series has a slim, low profile design. Its rugged cast aluminum housing minimizes wind load requirements and features an integral, weathertight LED driver compartment and high performance aluminum heat sinks. Various mounting choices: Adjustable Arm, Direct Arm, Direct Arm Long, or Side Arm (details on page 2). Includes a leaf/debris guard.

Applications: Parking lots, walkways, campuses, car dealerships, office complexes, and internal roadways GC TO VERIFY THAT FIXTURES CAN BE MOUNTED PER PLAN AND ALL NECESSARY HARDWARE IS SPECIFIED FOR

INSTALLATION PRIOR TO PURCHASING

Performance Summary

Patented NanoOptic® Product Technology

Assembled in the U.S.A. of U.S. and imported parts

CRI: Minimum 70 CRI (4000K & 5700K); 80 CRI (3000K); 90 CRI (5000K)

CCT: Turtle Friendly Amber, 3000K (+/- 300K), 4000K (+/- 300K), 5000K (+/- 500K), 5700K (+/- 500K) standard

 $Limited \ Warranty^{t}:$ 10 years on luminaire/10 years on Colorfast DeltaGuard^ $^{\otimes}$ finish /1 year on accessories

^tSee <u>http://creelighting.com/warranty</u> for warranty terms

Accessories

Field-Installed

Bird Spikes

XA-BRDSPK

Hand-Held Remote XA-SENSREM

For successful implementation of the programmable multi-level option, a minimum of one hand-held remote is required



- Four-pack - Unpainted stainless steel
- Shorting Cap
- XA-XSLSHRT
- NEMA[®] 3-Pin Photocell C-ACC-A-PCELL-NEMA3-LV
- On/off functionality only
- Available with UL voltage only
- GC TO VERIFY GC TO REFERENCE
- AND SPECIFY

CIFY PLANS FOR COLOR DESIGNATION

DECICION

Ordering Information Example: ARE-EDG-2M-AA-12-E-UL-SV-350

| | | | | | | E | \mathbf{N} | | | |
|-------------|--|--|---|--|--|--------|--|-----------------------|--|---|
| Product | Optic | | | Mounting* | LED Count (x10) | Series | Voltage | Color Op- tions | Drive Current | Options |
| ARE-EDG | Type II Medium 2MB Type II Medium w/BLS 2MP Type II Me- dium w/ Partial BLS 3M | w/BLS 3MP Type III Medium w/Partial BLS 4M Type IV Medium 4MB Type IV Medium | 4MP Type IV Medium w/Partial BLS 5M Type V Medium 5S Type V Short | AA Adjustable Arm DA Direct Arm DL Direct Long Arm | 02 04 08 10 12 14 16 | E | UL Universa 120-277 UH Universa 347-480 | l BZ Bronze | 350 350mA 525 525mA 700 700mA - Avaitable with 20- 60 LEDs | (phase to neutral) - 3-pin receptacle per ANSI C136.1 |
| FLD- EDG | 25 25° Flood 40 40° Flood | 70 70° Flood SN Sign | N6 NEMA® 6 | AA Adjustable Arm SA Side Arm - Available with 20-60 LEDs | _ | | | | | PML options Available with UL voltage only PML Programmable Multi-Level, 20-40' Mounting Height Refer to PML spec sheet for details Intended for downlight applications at 0° tilt 40K 4000K Color Temperature Minimum 70 CRI Color temperature per luminaire S000K Color Temperature Minimum 70 CRI Color temperature per luminaire 50K 5000K Color Temperature Minimum 70 CRI Color temperature per luminaire TRL Amber Turtle Friendly LEDs Available only with 350mA 600m dominant wavelength Additional shielding (by others) m be required for Florida Fish and Wildlife Conservation Commission compliance |

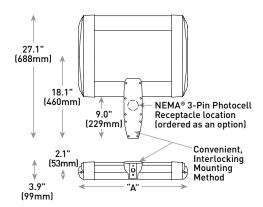




ARE-EDG-4MB-DA-06-E-UL-BZ-700-40K

Rev. Date: V11 09/07/2021
DA Mount GC TO SEE NOTES BELOW





| LED Count (x10) | Dim. "A" | Weight |
|--------------------|---------------|----------------|
| 02 | 12.1" (306mm) | 21 lbs. (10kg) |
| 04 | 12.1" (306mm) | 24 lbs. (11kg) |
| 06 | 14.1" (357mm) | 27 lbs. (12kg) |
| 08 | 16.1" (408mm) | 28 lbs. (13kg) |
| 10 | 18.1" (459mm) | 32 lbs. (15kg) |
| 12 | 20.1" (510mm) | 34 lbs. (15kg) |
| 14 | 22.1" (560mm) | 37 lbs. (17kg) |
| 16 | 24.1" (611mm) | 41 lbs. (19kg) |

AA/DL/SA Mount - see page 22 for weight & dimensions



US: <u>creelighting.com</u> (800) 236-6800 Canada: <u>creelighting-canada.com</u> (800) 473-1234

Product Specifications

CONSTRUCTION & MATERIALS

- · Slim, low profile, minimizing wind load requirements
- · Luminaire sides are rugged die cast aluminum with integral, weathertight LED driver compartment and high performance heat sinks
- DA and DL mount utilizes convenient interlocking mounting method. Mounting is rugged die cast aluminum, mounts to 3-6" (76-152mm) square or round pole and secures to pole with 5/16-18 UNC bolts spaced on 2" (51mm) centers
- AA and SA mounts are rugged die cast aluminum and mount to 2" (51mm) IP, 2.375" (60mm) 0.D. tenons
- Includes leaf/debris guard
- Exclusive Colorfast DeltaGuard[®] finish features an E-Coat epoxy primer with an ultra-durable powder topcoat, providing excellent resistance to corrosion, ultraviolet degradation and abrasion. Black, bronze, silver, and white are available
- Weight: See Dimensions and Weight Charts on pages 1 and 22

ELECTRICAL SYSTEM

- Input Voltage: 120-277V or 347-480V, 50/60Hz, Class 1 drivers
- Power Factor: > 0.9 at full load
- Total Harmonic Distortion: < 20% at full load
- DA and DL mounts designed with integral weathertight electrical box with terminal strips (12Ga-20Ga) for easy power hookup
- Integral 10kV surge suppression protection standard
- When code dictates fusing, a slow blow fuse or type C/D breaker should be used to address inrush current
- Maximium 10V Source Current: 20 LED (350mA): 10mA; 20 LED (525 & 700mA) and 40-80 LED: 0.15mA; 100-160 LED: 0.30mA

REGULATORY & VOLUNTARY QUALIFICATIONS

- cULus Listed
- Suitable for wet locations
- Enclosure rated IP66 per IEC 60529 when ordered without P or R options
- Consult factory for CE Certified products
- Certified to ANSI C136.31-2001, 3G bridge and overpass vibration standards when ordered with AA, DA and DL mounts
- ANSI C136.2 10kV surge protection, tested in accordance with IEEE/ANSI C62.41.2
- Meets FCC Part 15, Subpart B, Class A limits for conducted and radiated emissions
- Luminaire and finish endurance tested to withstand 5,000 hours of elevated ambient salt fog conditions as defined in ASTM Standard B 117
- DLC qualified with select SKUs. Refer to https://www.designlights.org/search/ for most current information
- Meets Buy American requirements within ARRA
- CA RESIDENTS WARNING: Cancer and Reproductive Harm www.p65warnings.ca.gov

| Electric | cal Data* | | | | | | | |
|--------------|-----------------|-----------------|---------|---------|------|------|------|------|
| LED Count | ССТ | System Watts | Total (| Current | A) | | | |
| (x10) | | 120-480V | 120V | 208V | 240V | 277V | 347V | 480V |
| 350mA | | | | | | | | |
| 02 | 30K/40K/50K/57K | 25 | 0.21 | 0.13 | 0.11 | 0.10 | 0.08 | 0.07 |
| UZ | TRL | 19 | 0.16 | 0.09 | 0.08 | 0.07 | 0.05 | 0.04 |
| 04 | 30K/40K/50K/57K | 46 | 0.36 | 0.23 | 0.21 | 0.20 | 0.15 | 0.12 |
| 04 | TRL | 35 | 0.29 | 0.17 | 0.15 | 0.13 | 0.10 | 0.07 |
| 0/ | 30K/40K/50K/57K | 66 | 0.52 | 0.31 | 0.28 | 0.26 | 0.20 | 0.15 |
| 06 | TRL | 50 | 0.41 | 0.24 | 0.21 | 0.18 | 0.14 | 0.10 |
| 08 | 30K/40K/50K/57K | 90 | 0.75 | 0.44 | 0.38 | 0.34 | 0.26 | 0.20 |
| 00 | TRL | 68 | 0.57 | 0.33 | 0.28 | 0.25 | 0.20 | 0.14 |
| 10 | 30K/40K/50K/57K | 110 | 0.92 | 0.53 | 0.47 | 0.41 | 0.32 | 0.24 |
| 10 | TRL | 83 | 0.69 | 0.40 | 0.35 | 0.30 | 0.24 | 0.17 |
| 12 | 30K/40K/50K/57K | 130 | 1.10 | 0.63 | 0.55 | 0.48 | 0.38 | 0.28 |
| 12 | TRL | 99 | 0.82 | 0.48 | 0.41 | 0.36 | 0.28 | 0.21 |
| 14 | 30K/40K/50K/57K | 158 | 1.32 | 0.77 | 0.68 | 0.62 | 0.47 | 0.35 |
| 14 | TRL | 120 | 1.00 | 0.58 | 0.50 | 0.43 | 0.34 | 0.25 |
| 16 | 30K/40K/50K/57K | 179 | 1.49 | 0.87 | 0.77 | 0.68 | 0.53 | 0.39 |
| 10 | TRL | 136 | 1.13 | 0.65 | 0.57 | 0.49 | 0.39 | 0.28 |
| 525mA | | | | | | | | |
| 02 | 30K/40K/50K/57K | 37 | 0.30 | 0.19 | 0.17 | 0.16 | 0.12 | 0.10 |
| 04 | 30K/40K/50K/57K | 70 | 0.58 | 0.34 | 0.31 | 0.28 | 0.21 | 0.16 |
| 06 | 30K/40K/50K/57K | 101 | 0.84 | 0.49 | 0.43 | 0.38 | 0.30 | 0.22 |
| 08 | 30K/40K/50K/57K | 133 | 1.13 | 0.66 | 0.58 | 0.51 | 0.39 | 0.28 |
| 10 | 30K/40K/50K/57K | 171 | 1.43 | 0.83 | 0.74 | 0.66 | 0.50 | 0.38 |
| 12 | 30K/40K/50K/57K | 202 | 1.69 | 0.98 | 0.86 | 0.77 | 0.59 | 0.44 |
| 14 | 30K/40K/50K/57K | 232 | 1.94 | 1.12 | 0.98 | 0.87 | 0.68 | 0.50 |
| 16 | 30K/40K/50K/57K | 263 | 2.21 | 1.27 | 1.11 | 0.97 | 0.77 | 0.56 |
| 700mA | | | | | | | | |
| 02 | 30K/40K/50K/57K | 50 | 0.41 | 0.25 | 0.22 | 0.20 | 0.15 | 0.12 |
| 04 | 30K/40K/50K/57K | 93 | 0.78 | 0.46 | 0.40 | 0.36 | 0.27 | 0.20 |
| 06 | 30K/40K/50K/57K | 134 | 1.14 | 0.65 | 0.57 | 0.50 | 0.39 | 0.29 |

Electrical data at 25°C (77°F). Actual wattage may differ by +/- 10% when operating between 120-277V or 347-480V +/- 10%

THE EDGE® Series Ambient Adjusted Lumen Maintenance¹

| Ambient | ССТ | Initial LMF | 25K hr Reported ² LMF | 50K hr Reported ² LMF | 75K hr Reported ² / Estimated ³ LMF | 100K hr Estimated ³ LMF |
|---------|-----------------|----------------|--|--|--|--|
| 5°C | 30K/40K/50K/57K | 1.04 | 1.03 | 1.03 | 1.03 ² | 1.03 |
| (41°F) | TRL | 1.06 | 1.06 | 1.06 | 1.06 ³ | 1.06 |
| 10°C | 30K/40K/50K/57K | 1.03 | 1.02 | 1.02 | 1.02 ² | 1.02 |
| (50°F) | TRL | 1.04 | 1.04 | 1.04 | 1.04 ³ | 1.04 |
| 15°C | 30K/40K/50K/57K | 1.02 | 1.01 | 1.01 | 1.01 ² | 1.01 |
| (59°F) | TRL | 1.03 | 1.03 | 1.03 | 1.03 ³ | 1.03 |
| 20°C | 30K/40K/50K/57K | 1.01 | 0.99 | 0.99 | 0.99 ² | 0.99 |
| (68°F) | TRL | 1.01 | 1.01 | 1.01 | 1.01 ³ | 1.01 |
| 25°C | 30K/40K/50K/57K | 1.00 | 0.98 | 0.98 | 0.98 ² | 0.98 |
| (77°F) | TRL | 1.00 | 1.00 | 1.00 | 1.00 ³ | 1.00 |

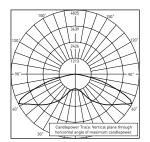
¹ Lumen maintenance values at 25°C (77°F) are calculated per IES TM-21 based on IES LM-80 report data for the LED package and in-situ luminaire testing. Luminaire ambient temperature factors [LATF] have been applied to all lumen maintenance factors. Please refer to the <u>Temperature Zone Reference Document</u> for outdoor average nighttime ambient conditions.

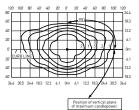
² In accordance with IES TM-21, Reported values represent interpolated values based on time durations that are up to 6x *Estimated values are calculated and represent time durations that exceed the 6x test duration of the LED.

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All published luminaire photometric testing performed to IES LM-79-08 standards. To obtain an IES file specific to your project consult: <u>http://creelighting.com/products/outdoor/area/cree-edge-series-1</u>

2M





RESTL Test Report #: PL10270-004B ARE-EDG-2M-**-06-E-UL-525-40K Initial Delivered Lumens: 10,053

ARE-EDG-2M-**-10-E-UL-525-40K Mounting Height: 25' (7.6m) A.F.G. Initial Delivered Lumens: 17,504 Initial FC at grade

| Type II Medi | um Distribution | l | | | | | | | | |
|--------------------|---------------------------------|--------------------------------------|---------------------------------|--------------------------------------|---------------------------------|--------------------------------------|---------------------------------|--------------------------------------|---------------------------------|--------------------------------------|
| | 3000K | | 4000K | | 5000K | | 5700K | | TRL | |
| LED Count (x10) | Initial Delivered Lumens* | BUG Ratings** Per TM- 15-11 |
| 350mA | | | | | | | | | | |
| 02 | 2,072 | B1 U0 G1 | 2,501 | B1 U0 G1 | 1,902 | B1 U0 G1 | 2,551 | B1 U0 G1 | 816 | B0 U0 G0 |
| 04 | 4,143 | B2 U0 G1 | 5,003 | B2 U0 G2 | 3,803 | B1 U0 G1 | 5,102 | B2 U0 G2 | 1,633 | B1 U0 G1 |
| 06 | 6,144 | B2 U0 G2 | 7,418 | B2 U0 G2 | 5,640 | B2 U0 G2 | 7,565 | B2 U0 G2 | 2,421 | B1 U0 G1 |
| 08 | 8,192 | B2 U0 G2 | 9,891 | B3 U0 G3 | 7,519 | B2 U0 G2 | 10,087 | B3 U0 G3 | 3,228 | B1 U0 G1 |
| 10 | 10,215 | B3 U0 G3 | 12,334 | B3 U0 G3 | 9,377 | B3 U0 G3 | 12,578 | B3 U0 G3 | 4,025 | B2 U0 G1 |
| 12 | 12,258 | B3 U0 G3 | 14,801 | B3 U0 G3 | 11,252 | B3 U0 G3 | 15,094 | B3 U0 G3 | 4,830 | B2 U0 G2 |
| 14 | 14,211 | B3 U0 G3 | 17,158 | B3 U0 G3 | 13,044 | B3 U0 G3 | 17,498 | B3 U0 G3 | 5,599 | B2 U0 G2 |
| 16 | 16,241 | B3 U0 G3 | 19,609 | B3 U0 G3 | 14,908 | B3 U0 G3 | 19,998 | B4 U0 G3 | 6,399 | B2 U0 G2 |
| 525mA | | | | | | | | | | |
| 02 | 2,943 | B1 U0 G1 | 3,550 | B1 U0 G1 | 2,702 | B1 U0 G1 | 3,624 | B1 U0 G1 | N | I/A |
| 04 | 5,886 | B2 U0 G2 | 7,099 | B2 U0 G2 | 5,403 | B2 U0 G2 | 7,248 | B2 U0 G2 | Ν | I/A |
| 06 | 8,729 | B3 U0 G3 | 10,527 | B3 U0 G3 | 8,012 | B2 U0 G2 | 10,748 | B3 U0 G3 | Ν | I/A |
| 08 | 11,638 | B3 U0 G3 | 14,037 | B3 U0 G3 | 10,683 | B3 U0 G3 | 14,331 | B3 U0 G3 | N | I/A |
| 10 | 14,513 | B3 U0 G3 | 17,504 | B3 U0 G3 | 13,322 | B3 U0 G3 | 17,870 | B3 U0 G3 | N | I/A |
| 12 | 17,415 | B3 U0 G3 | 21,004 | B4 U0 G4 | 15,986 | B3 U0 G3 | 21,444 | B4 U0 G4 | N | I/A |
| 14 | 20,189 | B4 U0 G3 | 24,350 | B4 U0 G4 | 18,532 | B3 U0 G3 | 24,860 | B4 U0 G4 | Ν | 1/A |
| 16 | 23,074 | B4 U0 G4 | 27,828 | B4 U0 G4 | 21,179 | B4 U0 G4 | 28,411 | B4 U0 G4 | Ν | I/A |
| 700mA | | | | | | | | | | |
| 02 | 3,472 | B1 U0 G1 | 4,189 | B2 U0 G1 | 3,187 | B1 U0 G1 | 4,275 | B2 U0 G2 | Ν | 1/A |
| 04 | 6,943 | B2 U0 G2 | 8,379 | B2 U0 G2 | 6,373 | B2 U0 G2 | 8,549 | B3 U0 G3 | N | I/A |
| 06 | 10,296 | B3 U0 G3 | 12,425 | B3 U0 G3 | 9,451 | B3 U0 G3 | 12,678 | B3 U0 G3 | Ν | I/A |

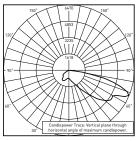
* Initial delivered lumens at 25°C (77°F). Actual production yield may vary between -10 and +10% of initial delivered lumens
** For more information on the IES BUG (Backlight-Uplight-Glare) Rating visit: https://www.ies.org/wp-content/uploads/2017/03/TM-15-11BUGRatingsAddendum.pdf.

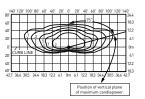
CREE ÷ LIGHTING

Photometry

All published luminaire photometric testing performed to IES LM-79-08 standards. To obtain an IES file specific to your project consult: <u>http://creelighting.com/products/outdoor/area/cree-edge-series-1</u>

2MB





RESTL Test Report #: PL10023-003B ARE-EDG-2MB-**-06-E-UL-525-40K Initial Delivered Lumens: 7,784

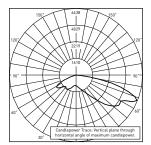
ARE-EDG-2MB-**-10-E-UL-525-40K Mounting Height: 25' (7.6m) A.F.G. Initial Delivered Lumens: 13,185 Initial FC at grade

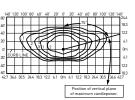
| Type II Medie | um Distributior | nw/BLS | | | | | | | | |
|--------------------|---------------------------------|--------------------------------------|---------------------------------|--------------------------------------|---------------------------------|--------------------------------------|---------------------------------|--------------------------------------|---------------------------------|--------------------------------------|
| | 3000K | | 4000K | | 5000K | | 5700K | | TRL | |
| LED Count (x10) | Initial Delivered Lumens* | BUG Ratings** Per TM- 15-11 |
| 350mA | · | · | | | | | | Ì | | Ì |
| 02 | 1,560 | B0 U0 G1 | 1,884 | B0 U0 G1 | 1,432 | B0 U0 G1 | 1,921 | B0 U0 G1 | 615 | B0 U0 G0 |
| 04 | 3,121 | B0 U0 G1 | 3,768 | B1 U0 G1 | 2,865 | B0 U0 G1 | 3,843 | B1 U0 G1 | 1,230 | B0 U0 G1 |
| 06 | 4,628 | B1 U0 G1 | 5,588 | B1 U0 G1 | 4,248 | B1 U0 G1 | 5,698 | B1 U0 G1 | 1,824 | B0 U0 G1 |
| 08 | 6,170 | B1 U0 G1 | 7,450 | B1 U0 G2 | 5,664 | B1 U0 G1 | 7,598 | B1 U0 G2 | 2,431 | B0 U0 G1 |
| 10 | 7,695 | B1 U0 G2 | 9,291 | B1 U0 G2 | 7,063 | B1 U0 G2 | 9,475 | B1 U0 G2 | 3,032 | B0 U0 G1 |
| 12 | 9,233 | B1 U0 G2 | 11,149 | B1 U0 G2 | 8,476 | B1 U0 G2 | 11,370 | B1 U0 G2 | 3,638 | B1 U0 G1 |
| 14 | 10,704 | B1 U0 G2 | 12,924 | B1 U0 G2 | 9,825 | B1 U0 G2 | 13,181 | B1 U0 G2 | 4,218 | B1 U0 G1 |
| 16 | 12,233 | B1 U0 G2 | 14,771 | B1 U0 G3 | 11,229 | B1 U0 G2 | 15,063 | B1 U0 G3 | 4,820 | B1 U0 G1 |
| 525mA | | | | | | | | | | |
| 02 | 2,217 | B0 U0 G1 | 2,674 | B0 U0 G1 | 2,035 | B0 U0 G1 | 2,730 | B0 U0 G1 | | N/A |
| 04 | 4,434 | B1 U0 G1 | 5,348 | B1 U0 G1 | 4,070 | B1 U0 G1 | 5,460 | B1 U0 G1 | | N/A |
| 06 | 6,575 | B1 U0 G2 | 7,930 | B1 U0 G2 | 6,035 | B1 U0 G1 | 8,096 | B1 U0 G2 | | N/A |
| 08 | 8,766 | B1 U0 G2 | 10,573 | B1 U0 G2 | 8,047 | B1 U0 G2 | 10,794 | B1 U0 G2 | | N/A |
| 10 | 10,932 | B1 U0 G2 | 13,185 | B1 U0 G2 | 10,034 | B1 U0 G2 | 13,461 | B1 U0 G2 | 1 | N/A |
| 12 | 13,118 | B1 U0 G2 | 15,821 | B2 U0 G3 | 12,041 | B1 U0 G2 | 16,153 | B2 U0 G3 | | N/A |
| 14 | 15,208 | B1 U0 G3 | 18,341 | B2 U0 G3 | 13,959 | B1 U0 G2 | 18,726 | B2 U0 G3 | | N/A |
| 16 | 17,380 | B2 U0 G3 | 20,962 | B2 U0 G3 | 15,953 | B2 U0 G3 | 21,401 | B2 U0 G3 | | N/A |
| 700mA | | | | | | | | | | |
| 02 | 2,615 | B0 U0 G1 | 3,156 | B0 U0 G1 | 2,400 | B0 U0 G1 | 3,220 | B0 U0 G1 | | N/A |
| 04 | 5,230 | B1 U0 G1 | 6,311 | B1 U0 G2 | 4,801 | B1 U0 G1 | 6,440 | B1 U0 G2 | | N/A |
| 06 | 7,755 | B1 U0 G2 | 9,359 | B1 U0 G2 | 7,119 | B1 U0 G2 | 9,549 | B1 U0 G2 | | N/A |



All published luminaire photometric testing performed to IES LM-79-08 standards. To obtain an IES file specific to your project consult: <u>http://creelighting.com/products/outdoor/area/cree-edge-series-1</u>

2MP





RESTL Test Report #: PL10097-001B ARE-EDG-2MP-**-06-E-UL-525-40K Initial Delivered Lumens: 9,149

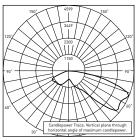
ARE-EDG-2MP-**-10-E-UL-525-40K Mounting Height: 25' (7.6m) A.F.G. Initial Delivered Lumens: 15,458 Initial FC at grade

| Type II Medi | um Distributio | n w/Partial BLS | i | | | | | | | |
|--------------------|---------------------------------|--------------------------------------|---------------------------------|--------------------------------------|---------------------------------|--------------------------------------|---------------------------------|--------------------------------------|---------------------------------|--------------------------------------|
| | 3000K | | 4000K | | 5000K | | 5700K | | TRL | |
| LED Count (x10) | Initial Delivered Lumens* | BUG Ratings** Per TM- 15-11 |
| 350mA | | | | | | | | | | |
| 02 | 1,829 | B1 U0 G1 | 2,209 | B1 U0 G1 | 1,679 | B1 U0 G1 | 2,253 | B1 U0 G1 | 721 | B0 U0 G0 |
| 04 | 3,659 | B1 U0 G1 | 4,418 | B1 U0 G1 | 3,359 | B1 U0 G1 | 4,505 | B1 U0 G1 | 1,442 | B0 U0 G1 |
| 06 | 5,426 | B1 U0 G1 | 6,551 | B1 U0 G1 | 4,980 | B1 U0 G1 | 6,681 | B1 U0 G1 | 2,138 | B1 U0 G1 |
| 08 | 7,234 | B2 U0 G1 | 8,735 | B2 U0 G2 | 6,640 | B1 U0 G1 | 8,908 | B2 U0 G2 | 2,851 | B1 U0 G1 |
| 10 | 9,021 | B2 U0 G2 | 10,892 | B2 U0 G2 | 8,281 | B2 U0 G2 | 11,108 | B2 U0 G2 | 3,555 | B1 U0 G1 |
| 12 | 10,825 | B2 U0 G2 | 13,071 | B2 U0 G2 | 9,937 | B2 U0 G2 | 13,330 | B2 U0 G2 | 4,266 | B1 U0 G1 |
| 14 | 12,550 | B2 U0 G2 | 15,153 | B2 U0 G2 | 11,520 | B2 U0 G2 | 15,453 | B2 U0 G2 | 4,945 | B1 U0 G1 |
| 16 | 14,343 | B2 U0 G2 | 17,317 | B2 U0 G2 | 13,165 | B2 U0 G2 | 17,661 | B3 U0 G2 | 5,651 | B1 U0 G1 |
| 525mA | | | | | | | | | | |
| 02 | 2,599 | B1 U0 G1 | 3,135 | B1 U0 G1 | 2,386 | B1 U0 G1 | 3,200 | B1 U0 G1 | 1 | I/A |
| 04 | 5,198 | B1 U0 G1 | 6,270 | B1 U0 G1 | 4,772 | B1 U0 G1 | 6,401 | B1 U0 G1 | 1 | I/A |
| 06 | 7,708 | B2 U0 G2 | 9,297 | B2 U0 G2 | 7,076 | B2 U0 G1 | 9,492 | B2 U0 G2 | 1 | I/A |
| 08 | 10,278 | B2 U0 G2 | 12,396 | B2 U0 G2 | 9,434 | B2 U0 G2 | 12,656 | B2 U0 G2 | 1 | I/A |
| 10 | 12,817 | B2 U0 G2 | 15,458 | B2 U0 G2 | 11,764 | B2 U0 G2 | 15,782 | B2 U0 G2 | 1 | I/A |
| 12 | 15,380 | B2 U0 G2 | 18,549 | B3 U0 G3 | 14,117 | B2 U0 G2 | 18,938 | B3 U0 G3 | 1 | I/A |
| 14 | 17,830 | B3 U0 G2 | 21,504 | B3 U0 G3 | 16,366 | B2 U0 G2 | 21,954 | B3 U0 G3 | 1 | I/A |
| 16 | 20,377 | B3 U0 G3 | 24,576 | B3 U0 G3 | 18,704 | B3 U0 G3 | 25,091 | B3 U0 G3 | 1 | I/A |
| 700mA | | | | | | | | | | |
| 02 | 3,066 | B1 U0 G1 | 3,700 | B1 U0 G1 | 2,814 | B1 U0 G1 | 3,775 | B1 U0 G1 | 1 | I/A |
| 04 | 6,132 | B1 U0 G1 | 7,400 | B2 U0 G1 | 5,628 | B1 U0 G1 | 7,550 | B2 U0 G2 | 1 | I/A |
| 06 | 9,092 | B2 U0 G2 | 10,973 | B2 U0 G2 | 8,346 | B2 U0 G2 | 11,196 | B2 U0 G2 | 1 | I/A |

Photometry

All published luminaire photometric testing performed to IES LM-79-08 standards. To obtain an IES file specific to your project consult: <u>http://creelighting.com/products/outdoor/area/cree-edge-series-1</u>

3M



RESTL Test Report #: PL09405-001A ARE-EDG-3M-**-06-E-UL-525-40K Initial Delivered Lumens: 9,460

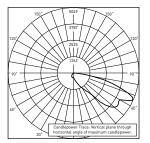
ARE-EDG-3M-**-10-E-UL-525-40K Mounting Height: 25' (7.6m) A.F.G. Initial Delivered Lumens: 16,594 Initial FC at grade

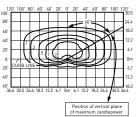
| Type III Med | ium Distributio | n | | | | | | | | |
|--------------------|---------------------------------|--------------------------------------|---------------------------------|--------------------------------------|---------------------------------|--------------------------------------|---------------------------------|--------------------------------------|---------------------------------|--------------------------------------|
| | 3000K | | 4000K | | 5000K | | 5700K | | TRL | |
| LED Count (x10) | Initial Delivered Lumens* | BUG Ratings** Per TM- 15-11 |
| 350mA | | | 1 | | | | - | | | |
| 02 | 1,964 | B1 U0 G1 | 2,371 | B1 U0 G1 | 1,803 | B1 U0 G1 | 2,418 | B1 U0 G1 | 774 | B0 U0 G1 |
| 04 | 3,928 | B1 U0 G1 | 4,743 | B1 U0 G1 | 3,606 | B1 U0 G1 | 4,837 | B1 U0 G1 | 1,548 | B1 U0 G1 |
| 06 | 5,825 | B2 U0 G2 | 7,033 | B2 U0 G2 | 5,347 | B2 U0 G2 | 7,172 | B2 U0 G2 | 2,295 | B1 U0 G1 |
| 08 | 7,766 | B2 U0 G2 | 9,377 | B2 U0 G2 | 7,129 | B2 U0 G2 | 9,563 | B2 U0 G2 | 3,060 | B1 U0 G1 |
| 10 | 9,685 | B2 U0 G2 | 11,693 | B3 U0 G3 | 8,890 | B2 U0 G2 | 11,925 | B3 U0 G3 | 3,816 | B1 U0 G1 |
| 12 | 11,621 | B3 U0 G3 | 14,032 | B3 U0 G3 | 10,667 | B3 U0 G3 | 14,310 | B3 U0 G3 | 4,579 | B1 U0 G1 |
| 14 | 13,472 | B3 U0 G3 | 16,267 | B3 U0 G3 | 12,367 | B3 U0 G3 | 16,589 | B3 U0 G3 | 5,309 | B2 U0 G2 |
| 16 | 15,397 | B3 U0 G3 | 18,591 | B3 U0 G3 | 14,133 | B3 U0 G3 | 18,959 | B3 U0 G3 | 6,067 | B2 U0 G2 |
| 525mA | | | | | | | | | | |
| 02 | 2,790 | B1 U0 G1 | 3,365 | B1 U0 G1 | 2,561 | B1 U0 G1 | 3,436 | B1 U0 G1 | | N/A |
| 04 | 5,581 | B2 U0 G2 | 6,731 | B2 U0 G2 | 5,122 | B2 U0 G2 | 6,872 | B2 U0 G2 | | N/A |
| 06 | 8,275 | B2 U0 G2 | 9,981 | B3 U0 G3 | 7,596 | B2 U0 G2 | 10,190 | B3 U0 G3 | | N/A |
| 08 | 11,034 | B3 U0 G3 | 13,307 | B3 U0 G3 | 10,128 | B3 U0 G3 | 13,586 | B3 U0 G3 | | N/A |
| 10 | 13,759 | B3 U0 G3 | 16,594 | B3 U0 G3 | 12,630 | B3 U0 G3 | 16,942 | B3 U0 G3 | | N/A |
| 12 | 16,511 | B3 U0 G3 | 19,913 | B3 U0 G3 | 15,155 | B3 U0 G3 | 20,330 | B3 U0 G3 | | N/A |
| 14 | 19,141 | B3 U0 G3 | 23,085 | B3 U0 G3 | 17,569 | B3 U0 G3 | 23,569 | B3 U0 G3 | | N/A |
| 16 | 21,875 | B3 U0 G3 | 26,383 | B4 U0 G4 | 20,079 | B3 U0 G3 | 26,936 | B4 U0 G4 | | N/A |
| 700mA | | | | | | | | | | |
| 02 | 3,291 | B1 U0 G1 | 3,972 | B1 U0 G1 | 3,021 | B1 U0 G1 | 4,053 | B1 U0 G1 | | N/A |
| 04 | 6,582 | B2 U0 G2 | 7,944 | B2 U0 G2 | 6,042 | B2 U0 G2 | 8,105 | B2 U0 G2 | | N/A |
| 06 | 9,761 | B2 U0 G2 | 11,779 | B3 U0 G3 | 8,960 | B2 U0 G2 | 12,019 | B3 U0 G3 | | N/A |



All published luminaire photometric testing performed to IES LM-79-08 standards. To obtain an IES file specific to your project consult: <u>http://creelighting.com/products/outdoor/area/cree-edge-series-1</u>

ЗМВ





RESTL Test Report #: PL10023-001B ARE-EDG-3MB-**-06-E-UL-525-40K Initial Delivered Lumens: 7,602

ARE-EDG-3MB-**-10-E-UL-525-40K Mounting Height: 25' (7.6m) A.F.G. Initial Delivered Lumens: 12,275 Initial FC at grade

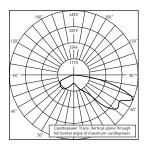
| Type III Med | ium Distributio | n w/BLS | | | | | | | | |
|--------------------|---------------------------------|--------------------------------------|---------------------------------|--------------------------------------|---------------------------------|--------------------------------------|---------------------------------|--------------------------------------|---------------------------------|--------------------------------------|
| | 3000K | | 4000K | | 5000K | | 5700K | | TRL | |
| LED Count (x10) | Initial Delivered Lumens* | BUG Ratings** Per TM- 15-11 |
| 350mA | | 1 | | | | | 1 | 1 | 1 | 1 |
| 02 | 1,453 | B0 U0 G1 | 1,754 | B0 U0 G1 | 1,334 | B0 U0 G1 | 1,789 | B0 U0 G1 | 572 | B0 U0 G0 |
| 04 | 2,906 | B0 U0 G1 | 3,508 | B1 U0 G1 | 2,667 | B0 U0 G1 | 3,578 | B1 U0 G1 | 1,145 | B0 U0 G1 |
| 06 | 4,309 | B1 U0 G1 | 5,202 | B1 U0 G1 | 3,955 | B1 U0 G1 | 5,305 | B1 U0 G1 | 1,698 | B0 U0 G1 |
| 08 | 5,745 | B1 U0 G2 | 6,936 | B1 U0 G2 | 5,273 | B1 U0 G1 | 7,074 | B1 U0 G2 | 2,264 | B0 U0 G1 |
| 10 | 7,164 | B1 U0 G2 | 8,650 | B1 U0 G2 | 6,576 | B1 U0 G2 | 8,821 | B1 U0 G2 | 2,823 | B0 U0 G1 |
| 12 | 8,597 | B1 U0 G2 | 10,380 | B1 U0 G2 | 7,891 | B1 U0 G2 | 10,585 | B1 U0 G2 | 3,387 | B1 U0 G1 |
| 14 | 9,966 | B1 U0 G2 | 12,033 | B1 U0 G2 | 9,148 | B1 U0 G2 | 12,272 | B1 U0 G2 | 3,927 | B1 U0 G1 |
| 16 | 11,390 | B1 U0 G2 | 13,752 | B2 U0 G3 | 10,455 | B1 U0 G2 | 14,025 | B2 U0 G3 | 4,488 | B1 U0 G1 |
| 525mA | | | | | | | | | | |
| 02 | 2,064 | B0 U0 G1 | 2,489 | B0 U0 G1 | 1,895 | B0 U0 G1 | 2,542 | B0 U0 G1 | 1 | I/A |
| 04 | 4,128 | B1 U0 G1 | 4,979 | B1 U0 G1 | 3,789 | B1 U0 G1 | 5,083 | B1 U0 G1 | ١ | J/A |
| 06 | 6,121 | B1 U0 G2 | 7,383 | B1 U0 G2 | 5,619 | B1 U0 G2 | 7,538 | B1 U0 G2 | ١ | I/A |
| 08 | 8,162 | B1 U0 G2 | 9,844 | B1 U0 G2 | 7,492 | B1 U0 G2 | 10,050 | B1 U0 G2 | ١ | I/A |
| 10 | 10,178 | B1 U0 G2 | 12,275 | B1 U0 G2 | 9,342 | B1 U0 G2 | 12,532 | B1 U0 G2 | 1 | 1/A |
| 12 | 12,213 | B1 U0 G2 | 14,730 | B2 U0 G3 | 11,211 | B1 U0 G2 | 15,039 | B2 U0 G3 | 1 | I/A |
| 14 | 14,159 | B2 U0 G3 | 17,077 | B2 U0 G3 | 12,996 | B1 U0 G2 | 17,434 | B2 U0 G3 | 1 | I/A |
| 16 | 16,181 | B2 U0 G3 | 19,516 | B2 U0 G3 | 14,853 | B2 U0 G3 | 19,925 | B2 U0 G3 | 1 | I/A |
| 700mA | | | | | | | | | | |
| 02 | 2,435 | B0 U0 G1 | 2,938 | B1 U0 G1 | 2,235 | B0 U0 G1 | 2,998 | B1 U0 G1 | 1 | J/A |
| 04 | 4,869 | B1 U0 G1 | 5,876 | B1 U0 G2 | 4,469 | B1 U0 G1 | 5,996 | B1 U0 G2 | ١ | J/A |
| 06 | 7,220 | B1 U0 G2 | 8,714 | B1 U0 G2 | 6,628 | B1 U0 G2 | 8,891 | B1 U0 G2 | ١ | I/A |

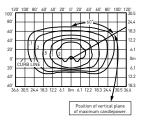


Photometry

All published luminaire photometric testing performed to IES LM-79-08 standards. To obtain an IES file specific to your project consult: <u>http://creelighting.com/products/outdoor/area/cree-edge-series-1</u>

3MP





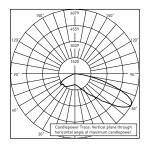
RESTL Test Report #: PL10097-002B ARE-EDG-3MP-**-06-E-UL-525-40K Initial Delivered Lumens: 8,670

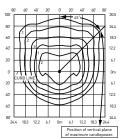
ARE-EDG-3MP-**-10-E-UL-525-40K Mounting Height: 25' (7.6m) A.F.G. Initial Delivered Lumens: 14,548 Initial FC at grade

| Type III Med | ium Distributio | n w/Partial BLS | 5 | | | | | | | |
|--------------------|---------------------------------|--------------------------------------|---------------------------------|--------------------------------------|---------------------------------|--------------------------------------|---------------------------------|--------------------------------------|---------------------------------|--------------------------------------|
| | 3000K 4000K 5000K 5700K | | | | | | | TRL | | |
| LED Count (x10) | Initial Delivered Lumens* | BUG Ratings** Per TM- 15-11 |
| 350mA | | · | | | | | | | | · |
| 02 | 1,722 | B1 U0 G1 | 2,079 | B1 U0 G1 | 1,581 | B1 U0 G1 | 2,120 | B1 U0 G1 | 678 | B0 U0 G1 |
| 04 | 3,444 | B1 U0 G1 | 4,158 | B1 U0 G1 | 3,161 | B1 U0 G1 | 4,240 | B1 U0 G1 | 1,357 | B0 U0 G1 |
| 06 | 5,107 | B1 U0 G1 | 6,166 | B1 U0 G2 | 4,687 | B1 U0 G1 | 6,288 | B1 U0 G2 | 2,012 | B1 U0 G1 |
| 08 | 6,809 | B1 U0 G2 | 8,221 | B2 U0 G2 | 6,250 | B1 U0 G2 | 8,384 | B2 U0 G2 | 2,683 | B1 U0 G1 |
| 10 | 8,491 | B2 U0 G2 | 10,252 | B2 U0 G2 | 7,794 | B2 U0 G2 | 10,455 | B2 U0 G2 | 3,346 | B1 U0 G1 |
| 12 | 10,189 | B2 U0 G2 | 12,302 | B2 U0 G3 | 9,352 | B2 U0 G2 | 12,546 | B2 U0 G3 | 4,015 | B1 U0 G1 |
| 14 | 11,812 | B2 U0 G2 | 14,261 | B3 U0 G3 | 10,842 | B2 U0 G2 | 14,544 | B3 U0 G3 | 4,654 | B1 U0 G1 |
| 16 | 13,499 | B2 U0 G3 | 16,299 | B3 U0 G3 | 12,391 | B2 U0 G3 | 16,622 | B3 U0 G3 | 5,319 | B1 U0 G2 |
| 525mA | | | | | | | | | | |
| 02 | 2,446 | B1 U0 G1 | 2,950 | B1 U0 G1 | 2,245 | B1 U0 G1 | 3,012 | B1 U0 G1 | | N/A |
| 04 | 4,893 | B1 U0 G1 | 5,901 | B1 U0 G2 | 4,491 | B1 U0 G1 | 6,024 | B1 U0 G2 | | N/A |
| 06 | 7,255 | B2 U0 G2 | 8,750 | B2 U0 G2 | 6,659 | B1 U0 G2 | 8,933 | B2 U0 G2 | | N/A |
| 08 | 9,673 | B2 U0 G2 | 11,667 | B2 U0 G2 | 8,879 | B2 U0 G2 | 11,911 | B2 U0 G2 | 1 | N/A |
| 10 | 12,063 | B2 U0 G3 | 14,548 | B3 U0 G3 | 11,072 | B2 U0 G2 | 14,853 | B3 U0 G3 | 1 | N/A |
| 12 | 14,475 | B3 U0 G3 | 17,458 | B3 U0 G3 | 13,287 | B2 U0 G3 | 17,824 | B3 U0 G3 | 1 | N/A |
| 14 | 16,781 | B3 U0 G3 | 20,239 | B3 U0 G3 | 15,403 | B3 U0 G3 | 20,663 | B3 U0 G3 | 1 | N/A |
| 16 | 19,178 | B3 U0 G3 | 23,130 | B3 U0 G3 | 17,604 | B3 U0 G3 | 23,615 | B3 U0 G3 | 1 | N/A |
| 700mA | | | | | | | | | | |
| 02 | 2,885 | B1 U0 G1 | 3,482 | B1 U0 G1 | 2,649 | B1 U0 G1 | 3,553 | B1 U0 G1 | | N/A |
| 04 | 5,771 | B1 U0 G2 | 6,964 | B1 U0 G2 | 5,297 | B1 U0 G1 | 7,106 | B2 U0 G2 | 1 | N/A |
| 06 | 8,557 | B2 U0 G2 | 10,327 | B2 U0 G2 | 7,855 | B2 U0 G2 | 10,537 | B2 U0 G2 | 1 | N/A |

All published luminaire photometric testing performed to IES LM-79-08 standards. To obtain an IES file specific to your project consult: <u>http://creelighting.com/products/</u> outdoor/area/cree-edge-series-1

4M





RESTL Test Report #: PL10270-001B ARE-EDG-4M-**-06-E-UL-525-40K Initial Delivered Lumens: 10,483

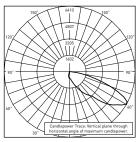
ARE-EDG-4M-**-10-E-UL-525-40K Mounting Height: 25' (7.6m) A.F.G. Initial Delivered Lumens: 17,504 Initial FC at grade

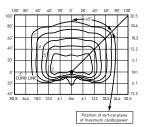
| Type IV Medi | um Distributior | 1 | | | | | | | | |
|--------------------|---------------------------------|--------------------------------------|---------------------------------|--------------------------------------|---------------------------------|--------------------------------------|---------------------------------|--------------------------------------|---------------------------------|--------------------------------------|
| | 3000K | | 4000K | | 5000K | | 5700K | | TRL | |
| LED Count (x10) | Initial Delivered Lumens* | BUG Ratings** Per TM- 15-11 |
| 350mA | | | | | | | | | | |
| 02 | 2,072 | B1 U0 G1 | 2,501 | B1 U0 G1 | 1,902 | B1 U0 G1 | 2,551 | B1 U0 G1 | 816 | B0 U0 G1 |
| 04 | 4,143 | B1 U0 G1 | 5,003 | B2 U0 G1 | 3,803 | B1 U0 G1 | 5,102 | B2 U0 G1 | 1,633 | B1 U0 G1 |
| 06 | 6,144 | B2 U0 G1 | 7,418 | B2 U0 G2 | 5,640 | B2 U0 G1 | 7,565 | B2 U0 G2 | 2,421 | B1 U0 G1 |
| 08 | 8,192 | B2 U0 G2 | 9,891 | B2 U0 G2 | 7,519 | B2 U0 G2 | 10,087 | B2 U0 G2 | 3,228 | B1 U0 G1 |
| 10 | 10,215 | B2 U0 G2 | 12,334 | B3 U0 G2 | 9,377 | B2 U0 G2 | 12,578 | B3 U0 G2 | 4,025 | B1 U0 G1 |
| 12 | 12,258 | B2 U0 G2 | 14,801 | B3 U0 G3 | 11,252 | B2 U0 G2 | 15,094 | B3 U0 G3 | 4,830 | B1 U0 G1 |
| 14 | 14,211 | B3 U0 G3 | 17,158 | B3 U0 G3 | 13,044 | B3 U0 G2 | 17,498 | B3 U0 G3 | 5,599 | B2 U0 G1 |
| 16 | 16,241 | B3 U0 G3 | 19,609 | B3 U0 G3 | 14,908 | B3 U0 G3 | 19,998 | B3 U0 G3 | 6,399 | B2 U0 G1 |
| 525mA | | | | | | | | | | |
| 02 | 2,943 | B1 U0 G1 | 3,550 | B1 U0 G1 | 2,702 | B1 U0 G1 | 3,624 | B1 U0 G1 | N | /A |
| 04 | 5,886 | B2 U0 G1 | 7,099 | B2 U0 G2 | 5,403 | B2 U0 G1 | 7,248 | B2 U0 G2 | N | /A |
| 06 | 8,729 | B2 U0 G2 | 10,527 | B2 U0 G2 | 8,012 | B2 U0 G2 | 10,748 | B2 U0 G2 | N | /A |
| 08 | 11,638 | B2 U0 G2 | 14,037 | B3 U0 G2 | 10,683 | B2 U0 G2 | 14,331 | B3 U0 G2 | N | /A |
| 10 | 14,513 | B3 U0 G3 | 17,504 | B3 U0 G3 | 13,322 | B3 U0 G2 | 17,870 | B3 U0 G3 | N | /A |
| 12 | 17,415 | B3 U0 G3 | 21,004 | B3 U0 G3 | 15,986 | B3 U0 G3 | 21,444 | B3 U0 G3 | N | /A |
| 14 | 20,189 | B3 U0 G3 | 24,350 | B3 U0 G3 | 18,532 | B3 U0 G3 | 24,860 | B4 U0 G3 | N | /A |
| 16 | 23,074 | B3 U0 G3 | 27,828 | B4 U0 G3 | 21,179 | B3 U0 G3 | 28,411 | B4 U0 G3 | N | /A |
| 700mA | | | | | | | | | | |
| 02 | 3,472 | B1 U0 G1 | 4,189 | B1 U0 G1 | 3,187 | B1 U0 G1 | 4,275 | B1 U0 G1 | N | /A |
| 04 | 6,943 | B2 U0 G1 | 8,379 | B2 U0 G2 | 6,373 | B2 U0 G1 | 8,549 | B2 U0 G2 | N | /A |
| 06 | 10,296 | B2 U0 G2 | 12,425 | B3 U0 G2 | 9,451 | B2 U0 G2 | 12,678 | B3 U0 G2 | N | /A |

Photometry

All published luminaire photometric testing performed to IES LM-79-08 standards. To obtain an IES file specific to your project consult: <u>http://creelighting.com/products/outdoor/area/cree-edge-series-1</u>

4MB





RESTL Test Report #: PL10023-002B ARE-EDG-4MB-**-06-E-UL-525-40K Initial Delivered Lumens: 7,985

ARE-EDG-4MB-**-10-E-UL-525-40K Mounting Height: 25' (7.6m) A.F.G. Initial Delivered Lumens: 13,185 Initial FC at grade

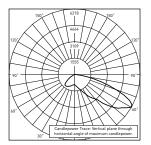
| Type IV Medi | ium Distributio | n w/BLS | | | | | | | | |
|--------------------|---------------------------------|--------------------------------------|---------------------------------|--------------------------------------|---------------------------------|--------------------------------------|---------------------------------|--------------------------------------|---------------------------------|--------------------------------------|
| | 3000K | | 4000K | | 5000K | | 5700K | | TRL | |
| LED Count (x10) | Initial Delivered Lumens* | BUG Ratings** Per TM- 15-11 |
| 350mA | · | | | | | | | | | |
| 02 | 1,560 | B0 U0 G1 | 1,884 | B0 U0 G1 | 1,432 | B0 U0 G1 | 1,921 | B0 U0 G1 | 615 | B0 U0 G0 |
| 04 | 3,121 | B1 U0 G1 | 3,768 | B1 U0 G1 | 2,865 | B0 U0 G1 | 3,843 | B1 U0 G1 | 1,230 | B0 U0 G1 |
| 06 | 4,628 | B1 U0 G1 | 5,588 | B1 U0 G1 | 4,248 | B1 U0 G1 | 5,698 | B1 U0 G2 | 1,824 | B0 U0 G1 |
| 08 | 6,170 | B1 U0 G2 | 7,450 | B1 U0 G2 | 5,664 | B1 U0 G2 | 7,598 | B1 U0 G2 | 2,431 | B0 U0 G1 |
| 10 | 7,695 | B1 U0 G2 | 9,291 | B1 U0 G2 | 7,063 | B1 U0 G2 | 9,475 | B1 U0 G2 | 3,032 | B1 U0 G1 |
| 12 | 9,233 | B1 U0 G2 | 11,149 | B1 U0 G2 | 8,476 | B1 U0 G2 | 11,370 | B1 U0 G2 | 3,638 | B1 U0 G1 |
| 14 | 10,704 | B1 U0 G2 | 12,924 | B1 U0 G2 | 9,825 | B1 U0 G2 | 13,181 | B1 U0 G2 | 4,218 | B1 U0 G1 |
| 16 | 12,233 | B1 U0 G2 | 14,771 | B2 U0 G2 | 11,229 | B1 U0 G2 | 15,063 | B2 U0 G2 | 4,820 | B1 U0 G1 |
| 525mA | | | | | | | | | | |
| 02 | 2,217 | B1 U0 G1 | 2,674 | B1 U0 G1 | 2,035 | B1 U0 G1 | 2,730 | B1 U0 G1 | | N/A |
| 04 | 4,434 | B1 U0 G1 | 5,348 | B1 U0 G1 | 4,070 | B1 U0 G1 | 5,460 | B1 U0 G1 | | N/A |
| 06 | 6,575 | B1 U0 G2 | 7,930 | B1 U0 G2 | 6,035 | B1 U0 G2 | 8,096 | B1 U0 G2 | | N/A |
| 08 | 8,766 | B1 U0 G2 | 10,573 | B1 U0 G2 | 8,047 | B1 U0 G2 | 10,794 | B1 U0 G2 | | N/A |
| 10 | 10,932 | B1 U0 G2 | 13,185 | B1 U0 G2 | 10,034 | B1 U0 G2 | 13,461 | B2 U0 G2 | | N/A |
| 12 | 13,118 | B1 U0 G2 | 15,821 | B2 U0 G3 | 12,041 | B1 U0 G2 | 16,153 | B2 U0 G3 | | N/A |
| 14 | 15,208 | B2 U0 G2 | 18,341 | B2 U0 G3 | 13,959 | B2 U0 G2 | 18,726 | B2 U0 G3 | | N/A |
| 16 | 17,380 | B2 U0 G3 | 20,962 | B2 U0 G3 | 15,953 | B2 U0 G3 | 21,401 | B2 U0 G3 | | N/A |
| 700mA | | | | | | | | | | |
| 02 | 2,615 | B1 U0 G1 | 3,156 | B1 U0 G1 | 2,400 | B1 U0 G1 | 3,220 | B1 U0 G1 | | N/A |
| 04 | 5,230 | B1 U0 G1 | 6,311 | B1 U0 G2 | 4,801 | B1 U0 G1 | 6,440 | B1 U0 G2 | | N/A |
| 06 | 7,755 | B1 U0 G2 | 9,359 | B1 U0 G2 | 7,119 | B1 U0 G2 | 9,549 | B1 U0 G2 | | N/A |

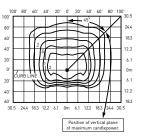
* Initial delivered lumens at 25°C [77°F]. Actual production yield may vary between -10 and +10% of initial delivered lumens
** For more information on the IES BUG [Backlight-Uplight-Glare] Rating visit: <u>https://www.ies.org/wp-content/uploads/2017/03/TM-15-11BUGRatingsAddendum.pdf.</u>

CREE ÷ LIGHTING[®]

All published luminaire photometric testing performed to IES LM-79-08 standards. To obtain an IES file specific to your project consult: http://creelighting.com/products/ outdoor/area/cree-edge-series-1

4MP





RESTL Test Report #: PL10097-003B ARE-EDG-4MP-**-06-E-UL-525-40K Initial Delivered Lumens: 9,410

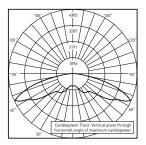
ARE-EDG-4MP-**-10-E-UL-525-40K Mounting Height: 25' (7.6m) A.F.G. Initial Delivered Lumens: 15,458 Initial FC at grade

| Type IV Med | ium Distributio | n w/Partial BL | 5 | | | | | | | |
|--------------------|---------------------------------|--------------------------------------|---------------------------------|--------------------------------------|---------------------------------|--------------------------------------|---------------------------------|--------------------------------------|---------------------------------|--------------------------------------|
| | 3000K | | 4000K | 4000K | | | 5700K | | TRL | |
| LED Count (x10) | Initial Delivered Lumens* | BUG Ratings** Per TM- 15-11 |
| 350mA | | | | | | | | | | |
| 02 | 1,829 | B1 U0 G1 | 2,209 | B1 U0 G1 | 1,679 | B1 U0 G1 | 2,253 | B1 U0 G1 | 721 | B0 U0 G0 |
| 04 | 3,659 | B1 U0 G1 | 4,418 | B1 U0 G1 | 3,359 | B1 U0 G1 | 4,505 | B1 U0 G1 | 1,442 | B1 U0 G1 |
| 06 | 5,426 | B1 U0 G1 | 6,551 | B2 U0 G1 | 4,980 | B1 U0 G1 | 6,681 | B2 U0 G1 | 2,138 | B1 U0 G1 |
| 08 | 7,234 | B2 U0 G2 | 8,735 | B2 U0 G2 | 6,640 | B2 U0 G1 | 8,908 | B2 U0 G2 | 2,851 | B1 U0 G1 |
| 10 | 9,021 | B2 U0 G2 | 10,892 | B2 U0 G2 | 8,281 | B2 U0 G2 | 11,108 | B2 U0 G2 | 3,555 | B1 U0 G1 |
| 12 | 10,825 | B2 U0 G2 | 13,071 | B2 U0 G2 | 9,937 | B2 U0 G2 | 13,330 | B2 U0 G2 | 4,266 | B1 U0 G1 |
| 14 | 12,550 | B2 U0 G2 | 15,153 | B2 U0 G2 | 11,520 | B2 U0 G2 | 15,453 | B3 U0 G2 | 4,945 | B1 U0 G1 |
| 16 | 14,343 | B2 U0 G2 | 17,317 | B3 U0 G2 | 13,165 | B2 U0 G2 | 17,661 | B3 U0 G2 | 5,651 | B1 U0 G1 |
| 525mA | | · | | | | | · | | | |
| 02 | 2,599 | B1 U0 G1 | 3,135 | B1 U0 G1 | 2,386 | B1 U0 G1 | 3,200 | B1 U0 G1 | 1 | N/A |
| 04 | 5,198 | B1 U0 G1 | 6,270 | B2 U0 G1 | 4,772 | B1 U0 G1 | 6,401 | B2 U0 G1 | 1 | N/A |
| 06 | 7,708 | B2 U0 G2 | 9,297 | B2 U0 G2 | 7,076 | B2 U0 G2 | 9,492 | B2 U0 G2 | 1 | N/A |
| 08 | 10,278 | B2 U0 G2 | 12,396 | B2 U0 G2 | 9,434 | B2 U0 G2 | 12,656 | B2 U0 G2 | 1 | N/A |
| 10 | 12,817 | B2 U0 G2 | 15,458 | B3 U0 G2 | 11,764 | B2 U0 G2 | 15,782 | B3 U0 G2 | 1 | N/A |
| 12 | 15,380 | B3 U0 G2 | 18,549 | B3 U0 G2 | 14,117 | B2 U0 G2 | 18,938 | B3 U0 G3 | 1 | N/A |
| 14 | 17,830 | B3 U0 G2 | 21,504 | B3 U0 G3 | 16,366 | B3 U0 G2 | 21,954 | B3 U0 G3 | 1 | N/A |
| 16 | 20,377 | B3 U0 G3 | 24,576 | B3 U0 G3 | 18,704 | B3 U0 G3 | 25,091 | B3 U0 G3 | 1 | N/A |
| 700mA | | | | | | | | | | |
| 02 | 3,066 | B1 U0 G1 | 3,700 | B1 U0 G1 | 2,814 | B1 U0 G1 | 3,775 | B1 U0 G1 | 1 | N/A |
| 04 | 6,132 | B2 U0 G1 | 7,400 | B2 U0 G2 | 5,628 | B1 U0 G1 | 7,550 | B2 U0 G2 | 1 | N/A |
| 06 | 9,092 | B2 U0 G2 | 10,973 | B2 U0 G2 | 8,346 | B2 U0 G2 | 11,196 | B2 U0 G2 | | N/A |

Photometry

All published luminaire photometric testing performed to IES LM-79-08 standards. To obtain an IES file specific to your project consult: http://creelighting.com/products/ outdoor/area/cree-edge-series-1

5M



RESTL Test Report #: PL09285-001 ARE-EDG-5M-**-06-E-UL-700-40K Initial Delivered Lumens: 13,136



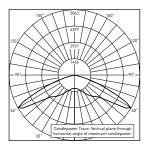
ARE-EDG-5M-**-10-E-UL-525-40K Mounting Height: 25' (7.6m) A.F.G. Initial Delivered Lumens: 18,413 Initial FC at grade

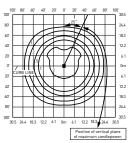
| Type V Mediu | ım Distribution | 1 | | | | | | | | |
|--------------------|---------------------------------|--------------------------------------|---------------------------------|--------------------------------------|---------------------------------|--------------------------------------|---------------------------------|--------------------------------------|---------------------------------|--------------------------------------|
| | 3000K | | 4000K | | 5000K | | 5700K | | TRL | |
| LED Count (x10) | Initial Delivered Lumens* | BUG Ratings** Per TM- 15-11 |
| 350mA | | | | | | | | | | |
| 02 | 2,179 | B2 U0 G1 | 2,631 | B2 U0 G1 | 2,000 | B1 U0 G1 | 2,683 | B2 U0 G1 | 859 | B1 U0 G1 |
| 04 | 4,358 | B3 U0 G1 | 5,262 | B3 U0 G1 | 4,001 | B2 U0 G1 | 5,367 | B3 U0 G1 | 1,717 | B1 U0 G1 |
| 06 | 6,463 | B3 U0 G1 | 7,804 | B3 U0 G2 | 5,932 | B3 U0 G1 | 7,958 | B3 U0 G2 | 2,547 | B2 U0 G1 |
| 08 | 8,617 | B3 U0 G2 | 10,405 | B4 U0 G2 | 7,910 | B3 U0 G2 | 10,611 | B4 U0 G2 | 3,395 | B2 U0 G1 |
| 10 | 10,746 | B4 U0 G2 | 12,975 | B4 U0 G2 | 9,864 | B3 U0 G2 | 13,232 | B4 U0 G2 | 4,234 | B3 U0 G1 |
| 12 | 12,895 | B4 U0 G2 | 15,570 | B4 U0 G3 | 11,836 | B4 U0 G2 | 15,878 | B4 U0 G3 | 5,081 | B3 U0 G1 |
| 14 | 14,949 | B4 U0 G3 | 18,049 | B4 U0 G3 | 13,722 | B4 U0 G2 | 18,407 | B4 U0 G3 | 5,890 | B3 U0 G1 |
| 16 | 17,085 | B4 U0 G3 | 20,628 | B5 U0 G3 | 15,682 | B4 U0 G3 | 21,037 | B5 U0 G3 | 6,732 | B3 U0 G2 |
| 525mA | | | | | | | | | | |
| 02 | 3,096 | B2 U0 G1 | 3,734 | B3 U0 G1 | 2,842 | B2 U0 G1 | 3,812 | B3 U0 G1 | | N/A |
| 04 | 6,192 | B3 U0 G1 | 7,468 | B3 U0 G2 | 5,684 | B3 U0 G1 | 7,625 | B3 U0 G2 | | N/A |
| 06 | 9,182 | B3 U0 G2 | 11,074 | B4 U0 G2 | 8,428 | B3 U0 G2 | 11,306 | B4 U0 G2 | | N/A |
| 08 | 12,243 | B4 U0 G2 | 14,766 | B4 U0 G2 | 11,238 | B4 U0 G2 | 15,075 | B4 U0 G3 | | N/A |
| 10 | 15,267 | B4 U0 G3 | 18,413 | B4 U0 G3 | 14,014 | B4 U0 G2 | 18,799 | B4 U0 G3 | | N/A |
| 12 | 18,320 | B4 U0 G3 | 22,096 | B5 U0 G3 | 16,816 | B4 U0 G3 | 22,558 | B5 U0 G3 | | N/A |
| 14 | 21,238 | B5 U0 G3 | 25,615 | B5 U0 G3 | 19,495 | B4 U0 G3 | 26,151 | B5 U0 G3 | | N/A |
| 16 | 24,272 | B5 U0 G3 | 29,274 | B5 U0 G3 | 22,280 | B5 U0 G3 | 29,887 | B5 U0 G3 | | N/A |
| 700mA | | | | | | | | | | |
| 02 | 3,652 | B3 U0 G1 | 4,407 | B3 U0 G1 | 3,352 | B2 U0 G1 | 4,497 | B3 U0 G1 | | N/A |
| 04 | 7,304 | B3 U0 G2 | 8,814 | B3 U0 G2 | 6,704 | B3 U0 G2 | 8,993 | B3 U0 G2 | | N/A |
| 06 | 10,831 | B4 U0 G2 | 13,070 | B4 U0 G2 | 9,941 | B3 U0 G2 | 13,336 | B4 U0 G2 | | N/A |

* Initial delivered lumens at 25°C (77°F). Actual production yield may vary between -10 and +10% of initial delivered lumens
** For more information on the IES BUG (Backlight-Uplight-Glare) Rating visit: <u>https://www.ies.org/wp-content/uploads/2017/03/TM-15-11BUGRatingsAddendum.pdf.</u>

All published luminaire photometric testing performed to IES LM-79-08 standards. To obtain an IES file specific to your project consult: http://creelighting.com/products/ outdoor/area/cree-edge-series-1

5S





RESTL Test Report #: PL09286-001A ARE-EDG-5S-**-06-E-UL-700-40K Initial Delivered Lumens: 14,123

ARE-EDG-5S-**-10-E-UL-525-40K Mounting Height: 25' (7.6m) A.F.G. Initial Delivered Lumens: 20,459 Initial FC at grade

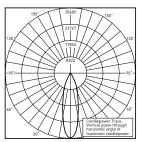
| Type V Shor | t Distribution | | | | | | | | | |
|--------------------|---------------------------------|--------------------------------------|---------------------------------|--------------------------------------|---------------------------------|--------------------------------------|---------------------------------|--------------------------------------|---------------------------------|--------------------------------------|
| | 3000K | | 4000K | | 5000K | | 5700K | | TRL | |
| LED Count (x10) | Initial Delivered Lumens* | BUG Ratings** Per TM- 15-11 |
| 350mA | | | | | | | | | | |
| 02 | 2,421 | B1 U0 G0 | 2,924 | B2 U0 G0 | 2,223 | B1 U0 G0 | 2,982 | B2 U0 G0 | 954 | B1 U0 G0 |
| 04 | 4,843 | B2 U0 G1 | 5,847 | B3 U0 G1 | 4,445 | B2 U0 G1 | 5,963 | B3 U0 G1 | 1,908 | B1 U0 G0 |
| 06 | 7,181 | B3 U0 G1 | 8,671 | B3 U0 G1 | 6,592 | B3 U0 G1 | 8,842 | B3 U0 G1 | 2,830 | B2 U0 G0 |
| 08 | 9,575 | B3 U0 G1 | 11,561 | B3 U0 G2 | 8,789 | B3 U0 G1 | 11,790 | B3 U0 G2 | 3,773 | B2 U0 G1 |
| 10 | 11,940 | B3 U0 G2 | 14,416 | B4 U0 G2 | 10,960 | B3 U0 G2 | 14,702 | B4 U0 G2 | 4,705 | B2 U0 G1 |
| 12 | 14,328 | B4 U0 G2 | 17,300 | B4 U0 G2 | 13,152 | B3 U0 G2 | 17,642 | B4 U0 G2 | 5,646 | B3 U0 G1 |
| 14 | 16,610 | B4 U0 G2 | 20,055 | B4 U0 G2 | 15,246 | B4 U0 G2 | 20,453 | B4 U0 G2 | 6,545 | B3 U0 G1 |
| 16 | 18,983 | B4 U0 G2 | 22,920 | B4 U0 G2 | 17,424 | B4 U0 G2 | 23,374 | B4 U0 G2 | 7,480 | B3 U0 G1 |
| 525mA | | | | | | | | | | |
| 02 | 3,440 | B2 U0 G0 | 4,149 | B2 U0 G1 | 3,158 | B2 U0 G0 | 4,236 | B2 U0 G1 | N | I/A |
| 04 | 6,880 | B3 U0 G1 | 8,298 | B3 U0 G1 | 6,315 | B3 U0 G1 | 8,472 | B3 U0 G1 | N | I/A |
| 06 | 10,202 | B3 U0 G2 | 12,305 | B3 U0 G2 | 9,365 | B3 U0 G1 | 12,563 | B3 U0 G2 | N | I/A |
| 08 | 13,603 | B3 U0 G2 | 16,406 | B4 U0 G2 | 12,486 | B3 U0 G2 | 16,750 | B4 U0 G2 | N | I/A |
| 10 | 16,963 | B4 U0 G2 | 20,459 | B4 U0 G2 | 15,571 | B4 U0 G2 | 20,887 | B4 U0 G2 | Ν | I/A |
| 12 | 20,356 | B4 U0 G2 | 24,551 | B4 U0 G2 | 18,685 | B4 U0 G2 | 25,065 | B4 U0 G2 | Ν | I/A |
| 14 | 23,598 | B4 U0 G2 | 28,461 | B5 U0 G3 | 21,661 | B4 U0 G2 | 29,057 | B5 U0 G3 | Ν | I/A |
| 16 | 26,969 | B4 U0 G2 | 32,527 | B5 U0 G3 | 24,755 | B4 U0 G2 | 33,208 | B5 U0 G3 | Ν | I/A |
| 700mA | | | | | | | | | | |
| 02 | 4,058 | B2 U0 G1 | 4,897 | B2 U0 G1 | 3,725 | B2 U0 G1 | 4,996 | B2 U0 G1 | N | I/A |
| 04 | 8,115 | B3 U0 G1 | 9,793 | B3 U0 G1 | 7,449 | B3 U0 G1 | 9,993 | B3 U0 G2 | N | I/A |
| 06 | 12,034 | B3 U0 G2 | 14,523 | B4 U0 G2 | 11,046 | B3 U0 G2 | 14,818 | B4 U0 G2 | N | I/A |



Photometry

All published luminaire photometric testing performed to IES LM-79-08 standards. To obtain an IES file specific to your project consult: <u>http://creelighting.com/products/outdoor/area/cree-edge-series-1</u>

25°



RESTL Test Report #: PL09832-003B FLD-EDG-25-**-06-E-UL-700-40K Initial Delivered Lumens: 14,998

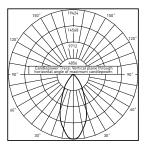
FLD-EDG-25-**-10-E-UL-525-40K Mounting Height: 25' [7.6m] A.F.G., 60° Tilt Initial Delivered Lumens: 20,913 Initial FC at grade

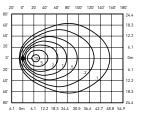
| 25° Flood Dis | stribution | | | | |
|--------------------|---------------------------------|---------------------------------|---------------------------------|---------------------------------|---------------------------------|
| | 3000K | 4000K | 5000K | 5700K | TRL |
| LED Count (x10) | Initial Delivered Lumens* | Initial Delivered Lumens* | Initial Delivered Lumens* | Initial Delivered Lumens* | Initial Delivered Lumens* |
| 350mA | | | | | |
| 02 | 2,475 | 2,989 | 2,272 | 3,048 | 975 |
| 04 | 4,950 | 5,977 | 4,544 | 6,096 | 1,951 |
| 06 | 7,341 | 8,863 | 6,738 | 9,039 | 2,892 |
| 08 | 9,788 | 11,818 | 8,984 | 12,052 | 3,857 |
| 10 | 12,205 | 14,737 | 11,203 | 15,029 | 4,809 |
| 12 | 14,646 | 17,684 | 13,444 | 18,035 | 5,771 |
| 14 | 16,979 | 20,501 | 15,585 | 20,907 | 6,690 |
| 16 | 19,405 | 23,429 | 17,812 | 23,894 | 7,646 |
| 525mA | | | | | |
| 02 | 3,516 | 4,241 | 3,228 | 4,330 | N/A |
| 04 | 7,033 | 8,482 | 6,456 | 8,660 | N/A |
| 06 | 10,429 | 12,578 | 9,573 | 12,842 | N/A |
| 08 | 13,905 | 16,771 | 12,764 | 17,122 | N/A |
| 10 | 17,340 | 20,913 | 15,917 | 21,352 | N/A |
| 12 | 20,808 | 25,096 | 19,100 | 25,622 | N/A |
| 14 | 24,122 | 29,093 | 22,142 | 29,703 | N/A |
| 16 | 27,568 | 33,250 | 25,305 | 33,946 | N/A |
| 700mA | | | · | · | · |
| 02 | 4,148 | 5,006 | 3,807 | 5,107 | N/A |
| 04 | 8,296 | 10,011 | 7,615 | 10,215 | N/A |
| 06 | 12,301 | 14,845 | 11,292 | 15,147 | N/A |



All published luminaire photometric testing performed to IES LM-79-08 standards. To obtain an IES file specific to your project consult: <u>http://creelighting.com/products/outdoor/area/cree-edge-series-1</u>

40°





RESTL Test Report #: PL09832-002B FLD-EDG-40-**-06-E-UL-700-40K Initial Delivered Lumens: 13,808

FLD-EDG-40-**-10-E-UL-525-40K Mounting Height: 25' (7.6m) A.F.G., 60° Tilt Initial Delivered Lumens: 20,459 Initial FC at grade

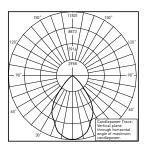
| 40° Flood Dis | tribution | | | | |
|--------------------|---------------------------------|---------------------------------|---------------------------------|---------------------------------|---------------------------------|
| | 3000K | 4000K | 5000K | 5700K | TRL |
| LED Count (x10) | Initial Delivered Lumens* | Initial Delivered Lumens* | Initial Delivered Lumens* | Initial Delivered Lumens* | Initial Delivered Lumens* |
| 350mA | | | | | |
| 02 | 2,421 | 2,924 | 2,223 | 2,982 | 954 |
| 04 | 4,843 | 5,847 | 4,445 | 5,963 | 1,908 |
| 06 | 7,181 | 8,671 | 6,592 | 8,842 | 2,830 |
| 08 | 9,575 | 11,561 | 8,789 | 11,790 | 3,773 |
| 10 | 11,940 | 14,416 | 10,960 | 14,702 | 4,705 |
| 12 | 14,328 | 17,300 | 13,152 | 17,642 | 5,646 |
| 14 | 16,610 | 20,055 | 15,246 | 20,453 | 6,545 |
| 16 | 18,983 | 22,920 | 17,424 | 23,374 | 7,480 |
| 525mA | | | | | |
| 02 | 3,440 | 4,149 | 3,158 | 4,236 | N/A |
| 04 | 6,880 | 8,298 | 6,315 | 8,472 | N/A |
| 06 | 10,202 | 12,305 | 9,365 | 12,563 | N/A |
| 08 | 13,603 | 16,406 | 12,486 | 16,750 | N/A |
| 10 | 16,963 | 20,459 | 15,571 | 20,887 | N/A |
| 12 | 20,356 | 24,551 | 18,685 | 25,065 | N/A |
| 14 | 23,598 | 28,461 | 21,661 | 29,057 | N/A |
| 16 | 26,969 | 32,527 | 24,755 | 33,208 | N/A |
| 700mA | | | | | |
| 02 | 4,058 | 4,897 | 3,725 | 4,996 | N/A |
| 04 | 8,115 | 9,793 | 7,449 | 9,993 | N/A |
| 06 | 12,034 | 14,523 | 11,046 | 14,818 | N/A |

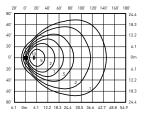


Photometry

All published luminaire photometric testing performed to IES LM-79-08 standards. To obtain an IES file specific to your project consult: <u>http://creelighting.com/products/outdoor/area/cree-edge-series-1</u>

70°





RESTL Test Report #: PL09832-001B FLD-EDG-70-**-06-E-UL-700-40K Initial Delivered Lumens: 13,888

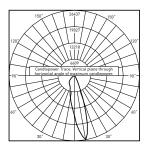
FLD-EDG-70-**-10-E-UL-525-40K Mounting Height: 25' (7.6m) A.F.G., 60° Tilt Initial Delivered Lumens: 18,640 Initial FC at grade

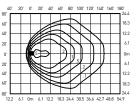
| 70° Flood Dis | stribution | | | | |
|--------------------|---------------------------------|---------------------------------|---------------------------------|---------------------------------|---------------------------------|
| | 3000K | 4000K | 5000K | 5700K | TRL |
| LED Count (x10) | Initial Delivered Lumens* | Initial Delivered Lumens* | Initial Delivered Lumens* | Initial Delivered Lumens* | Initial Delivered Lumens* |
| 350mA | | | | | |
| 02 | 2,206 | 2,664 | 2,025 | 2,716 | 869 |
| 04 | 4,412 | 5,327 | 4,050 | 5,433 | 1,739 |
| 06 | 6,543 | 7,900 | 6,006 | 8,056 | 2,578 |
| 08 | 8,724 | 10,533 | 8,008 | 10,742 | 3,437 |
| 10 | 10,879 | 13,135 | 9,986 | 13,395 | 4,286 |
| 12 | 13,054 | 15,762 | 11,983 | 16,074 | 5,144 |
| 14 | 15,133 | 18,272 | 13,891 | 18,635 | 5,963 |
| 16 | 17,295 | 20,883 | 15,876 | 21,297 | 6,815 |
| 525mA | | | | | |
| 02 | 3,134 | 3,780 | 2,877 | 3,859 | N/A |
| 04 | 6,269 | 7,560 | 5,754 | 7,719 | N/A |
| 06 | 9,295 | 11,211 | 8,532 | 11,446 | N/A |
| 08 | 12,394 | 14,948 | 11,377 | 15,261 | N/A |
| 10 | 15,455 | 18,640 | 14,187 | 19,031 | N/A |
| 12 | 18,546 | 22,368 | 17,024 | 22,837 | N/A |
| 14 | 21,500 | 25,931 | 19,735 | 26,474 | N/A |
| 16 | 24,572 | 29,636 | 22,555 | 30,256 | N/A |
| 700mA | | | | | |
| 02 | 3,697 | 4,461 | 3,393 | 4,552 | N/A |
| 04 | 7,394 | 8,923 | 6,787 | 9,104 | N/A |
| 06 | 10,964 | 13,232 | 10,064 | 13,501 | N/A |



All published luminaire photometric testing performed to IES LM-79-08 standards. To obtain an IES file specific to your project consult: <u>http://creelighting.com/products/outdoor/area/cree-edge-series-1</u>

SN





RESTL Test Report #: PL10142-001B FLD-EDG-SN-**-06-E-UL-700-40K Initial Delivered Lumens: 13,701

FLD-EDG-SN-**-10-E-UL-525-40K Mounting Height: 25' (7.6m) A.F.G., 60° Tilt Initial Delivered Lumens: 18,868 Initial FC at grade

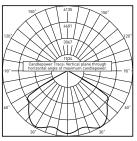
| SN Flood Dist | ibution | | | | |
|--------------------|---------------------------------|---------------------------------|---------------------------------|---------------------------------|---------------------------------|
| | 3000K | 4000K | 5000K | 5700K | TRL |
| LED Count (x10) | Initial Delivered Lumens' | Initial Delivered Lumens* | Initial Delivered Lumens* | Initial Delivered Lumens* | Initial Delivered Lumens* |
| 350mA | | | | | |
| 02 | 2,233 | 2,696 | 2,050 | 2,750 | 880 |
| 04 | 4,466 | 5,392 | 4,099 | 5,499 | 1,760 |
| 06 | 6,623 | 7,996 | 6,079 | 8,155 | 2,609 |
| 08 | 8,830 | 10,662 | 8,105 | 10,873 | 3,479 |
| 10 | 11,011 | 13,295 | 10,107 | 13,559 | 4,339 |
| 12 | 13,213 | 15,954 | 12,129 | 16,270 | 5,206 |
| 14 | 15,318 | 18,495 | 14,061 | 18,862 | 6,036 |
| 16 | 17,506 | 21,137 | 16,069 | 21,556 | 6,898 |
| 525mA | | | | | |
| 02 | 3,172 | 3,826 | 2,912 | 3,906 | N/A |
| 04 | 6,345 | 7,653 | 5,824 | 7,813 | N/A |
| 06 | 9,409 | 11,348 | 8,636 | 11,585 | N/A |
| 08 | 12,545 | 15,130 | 11,515 | 15,447 | N/A |
| 10 | 15,644 | 18,868 | 14,360 | 19,263 | N/A |
| 12 | 18,773 | 22,641 | 17,231 | 23,115 | N/A |
| 14 | 21,763 | 26,247 | 19,976 | 26,797 | N/A |
| 16 | 24,871 | 29,997 | 22,830 | 30,625 | N/A |
| 700mA | | | | | |
| 02 | 3,742 | 4,516 | 3,435 | 4,608 | N/A |
| 04 | 7,484 | 9,032 | 6,870 | 9,215 | N/A |
| 06 | 11,098 | 13,393 | 10,187 | 13,665 | N/A |



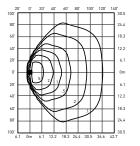
Photometry

All published luminaire photometric testing performed to IES LM-79-08 standards. To obtain an IES file specific to your project consult: <u>http://creelighting.com/products/outdoor/area/cree-edge-series-1</u>

N6



RESTL Test Report #: PL09832-004B FLD-EDG-N6-**-06-E-UL-700-40K Initial Delivered Lumens: 15,251



FLD-EDG-N6-**-10-E-UL-525-40K Mounting Height: 25' (7.6m) A.F.G., 60° Tilt Initial Delivered Lumens: 20,913 Initial FC at grade

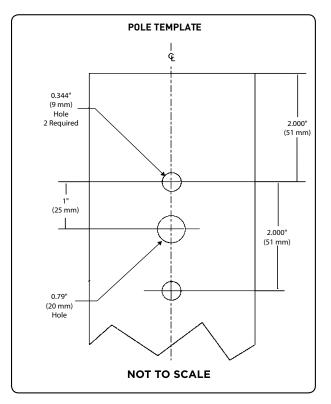
| NEMA® 6 Flo | od Distribution | | | | |
|--------------------|---------------------------------|---------------------------------|---------------------------------|---------------------------------|---------------------------------|
| | 3000K | 4000K | 5000K | 5700K | TRL |
| LED Count (x10) | Initial Delivered Lumens* | Initial Delivered Lumens* | Initial Delivered Lumens* | Initial Delivered Lumens* | Initial Delivered Lumens* |
| 350mA | | | | | |
| 02 | 2,475 | 2,989 | 2,272 | 3,048 | 975 |
| 04 | 4,950 | 5,977 | 4,544 | 6,096 | 1,951 |
| 06 | 7,341 | 8,863 | 6,738 | 9,039 | 2,892 |
| 08 | 9,788 | 11,818 | 8,984 | 12,052 | 3,857 |
| 10 | 12,205 | 14,737 | 11,203 | 15,029 | 4,809 |
| 12 | 14,646 | 17,684 | 13,444 | 18,035 | 5,771 |
| 14 | 16,979 | 20,501 | 15,585 | 20,907 | 6,690 |
| 16 | 19,405 | 23,429 | 17,812 | 23,894 | 7,646 |
| 525mA | | | | | |
| 02 | 3,516 | 4,241 | 3,228 | 4,330 | N/A |
| 04 | 7,033 | 8,482 | 6,456 | 8,660 | N/A |
| 06 | 10,429 | 12,578 | 9,573 | 12,842 | N/A |
| 08 | 13,905 | 16,771 | 12,764 | 17,122 | N/A |
| 10 | 17,340 | 20,913 | 15,917 | 21,352 | N/A |
| 12 | 20,808 | 25,096 | 19,100 | 25,622 | N/A |
| 14 | 24,122 | 29,093 | 22,142 | 29,703 | N/A |
| 16 | 27,568 | 33,250 | 25,305 | 33,946 | N/A |
| 700mA | | | | | |
| 02 | 4,148 | 5,006 | 3,807 | 5,107 | N/A |
| 04 | 8,296 | 10,011 | 7,615 | 10,215 | N/A |
| 06 | 12,301 | 14,845 | 11,292 | 15,147 | N/A |



Luminaire EPA

| Fixed Arm Mount - | ARE-EDG-DA | | | | | |
|-------------------|------------|---------------------------------|----------|---------------------------------|---------------------|---------------------------------|
| LED Count (x10) | Single | 2 @ 90° | 2 @ 180° | 3 @ 90° | 3 @ 120° | 4 @ 90° |
| | | - - | | | | |
| | • | | | | ★ * ♦ | |
| 02 | 0.60 | 0.87 | 1.20 | 1.47 | 1.47 | 1.75 |
| 04 | 0.60 | 0.87 | 1.20 | 1.47 | 1.47 | 1.75 |
| 06 | 0.60 | 0.92 | 1.20 | 1.51 | 1.51 | 1.83 |
| 08 | 0.60 | 0.96 N/A with 3" poles | 1.20 | 1.55 N/A with 3" poles | 1.55 | 1.91 N/A with 3" poles |
| 10 | 0.60 | 1.00 N/A with 3" poles | 1.20 | 1.60 N/A with 3" poles | 1.60 | 2.00 N/A with 3" poles |
| 12 | 0.60 | 1.04 N/A with 3" poles | 1.20 | 1.64 N/A with 3" poles | 1.64 | 2.08 N/A with 3" poles |
| 14 | 0.60 | 1.08 N/A with 3" or 4" poles | 1.20 | 1.68 N/A with 3" or 4" poles | 1.68 | 2.16 N/A with 3" or 4" poles |
| 16 | 0.60 | 1.12 N/A with 3" or 4" poles | 1.20 | 1.72 N/A with 3" or 4" poles | 1.72 | 2.24 N/A with 3" or 4" poles |
| Fixed Arm Mount - | ARE-EDG-DL | · | | | | · · |
| 02 | 0.75 | 1.02 | 1.50 | 1.77 | 1.77 | 1.91 |
| 04 | 0.75 | 1.02 | 1.50 | 1.77 | 1.77 | 1.91 |
| 06 | 0.75 | 1.07 | 1.50 | 1.82 | 1.82 | 1.98 |
| 08 | 0.75 | 1.11 | 1.50 | 1.86 | 1.86 | 2.04 |
| 10 | 0.75 | 1.15 | 1.50 | 1.90 | 1.90 | 2.10 |
| 12 | 0.75 | 1.19 | 1.50 | 1.94 | 1.94 | 2.16 |
| 14 | 0.75 | 1.23 | 1.50 | 1.98 | 1.98 | 2.22 |
| 16 | 0.75 | 1.27 | 1.50 | 2.02 | 2.02 | 2.28 |

Fixture Mounting Drill Pattern for DA and DL Mounts



US: <u>creelighting.com</u> (800) 236-6800 Canada: <u>creelighting-canada.com</u> (800) 473-1234



Luminaire EPA

| | | - | - | | - | | - | - | |
|-----------------|---|--|--|---------------------------------|---|---|---------------------------------|---|---|
| LED Count (x10) | Single | 2 @ 90° | 2 @ 180° | In-Line 2 @ 180° | 3 @ 90° | 3 @ 120° | In-Line 3 @ 180° | 4 @ 90° | In-Line 4 @ 180 |
| Tenon Configu | Iration If used wit | th Cree Lighting to | enons, please add | tenon EPA with L | uminaire EPA | | | | |
| | | | | | | | | ━╂━ | |
| | Vertical: PB-1A*; PT-1; PW-1A3** Horizontal: By others | Vertical: PB-2A*; PB-2R2.375; PW-2A3** Horizontal: PD-2A4(90); PT-2(90) | Vertical: PB-2A*; PB-2R2.375; PW-2A3** Horizontal: PD-2A4(180); PT-2(180) | Vertical: PB-2A*; PB-2R2.375 | Vertical: PB-3A*; PB-3R2.375 Horizontal: PD-3A4(90); PT-3(90) | Vertical: PB-3A*; PB-3R2.375 Horizontal: PT-3(120) | Vertical: PB-3A*; PB-3R2.375 | Vertical: PB-4A*(90); PB-4R2.375 Horizontal: PD-4A4(90) PT-4(90) | Vertical: PB-4A*(180); PB-4R2.375 |
| 0° Tilt | | | | | | | | | |
| 02 | 0.66 | 0.98 | 1.32 | 1.32 | 1.77 | 1.64 | 1.98 | 1.91 | 2.64 |
| 04 | 0.66 | 0.98 | 1.32 | 1.32 | 1.64 | 1.64 | 1.98 | 1.97 | 2.64 |
| 06 | 0.66 | 1.02 | 1.32 | 1.32 | 1.68 | 1.68 | 1.98 | 2.05 | 2.64 |
| 08 | 0.66 | 1.07 | 1.32 | 1.32 | 1.80 | 1.72 | 1.98 1.98 | 2.29 | 2.64 |
| 12 | 0.66 | 1.15 | 1.32 | 1.32 | 1.76 | 1.76 | 1.98 | 2.21 | 2.64 |
| 14 | 0.66 | 1.19 | 1.32 | 1.32 | 1.84 | 1.84 | 1.98 | 2.38 | 2.64 |
| 16 | 0.66 | 1.23 | 1.32 | N/A | 1.89 | 1.89 | N/A | 2.46 | N/A |
| 30° Tilt | | | | | | | | | |
| 02 | 0.71 | 1.37 | 1.42 | 1.42 | 2.08 | 2.08 | 2.13 | 2.73 | 2.84 |
| 04 | 0.71 | 1.37 | 1.42 | 1.42 | 2.08 | 2.08 | 2.13 | 2.73 | 2.84 |
| 06 | 0.82 | 1.48 | 1.64 | 1.64 | 2.30 | 2.30 | 2.46 | 2.95 | 3.28 |
| 08 | 0.93 | 1.59 | 1.86 | 1.86 | 2.52 | 2.52 | 2.79 | 3.17 | 3.72 |
| 10 | 1.04 | 1.70 | 2.08 | 2.08 | 2.74 | 2.74 | 3.12 | 3.40 | 4.16 |
| 12 | 1.15 | 1.81 | 2.30 | 2.30 | 2.96 | 2.96 | 3.45 | 3.62 | 4.60 |
| 14 | 1.26 | 1.92 | 2.52 | 2.52 | 3.18 | 3.18 | 3.78 | 3.84 | 5.04 |
| 16 | 1.37 | 2.03 | 2.74 | N/A | 3.40 | 3.40 | N/A | 4.06 | N/A |
| 45° Tilt | | 1 | 1 | 1 | | 1 | 1 | | |
| 02 | 0.89 | 1.55 | 1.78 | 1.78 | 2.45 | 2.45 | 2.67 | 3.10 | 3.56 |
| 04 | 0.89 | 1.55 | 1.78 | 1.78 | 2.45 | 2.45 | 2.67 | 3.10 | 3.56 |
| 06 | 1.03 | 1.69 | 2.06 | 2.06 | 2.72 | 2.72 | 3.09 | 3.38 | 4.12 |
| 08 | 1.17 | 1.83 | 2.34 | 2.34 | 3.00 | 3.00 | 3.51 | 3.66 | 4.68 |
| 10 | 1.31 | 1.97 | 2.62 | 2.62 | 3.28 | 3.28 | 3.93 | 3.94 | 5.24 |
| 12 | 1.45 | 2.11 | 2.90 | 2.90 | 3.56 | 3.56 | 4.35 | 4.21 | 5.80 |
| 14 | 1.59 | 2.25 | 3.18 | 3.18 | 3.83 | 3.83 | 4.77 | 4.49 | 6.36 |
| 16 | 1.73 | 2.38 | 3.46 | N/A | 4.11 | 4.11 | N/A | 4.77 | N/A |
| 60° Tilt | | | | | | | | | |
| 02 | 1.20 | 1.86 | 2.40 | 2.40 | 3.06 | 3.06 | 3.60 | 3.72 | 4.80 |
| 04 | 1.20 | 1.86 | 2.40 | 2.40 | 3.06 | 3.06 | 3.60 | 3.72 | 4.80 |
| 06 | 1.39 | 2.05 | 2.78 | 2.78 | 3.44 | 3.44 | 4.17 | 4.10 | 5.56 |
| 08 | 1.58 | 2.23 | 3.16 | 3.16 | 3.81 | 3.81 | 4.74 | 4.47 | 6.32 |
| 10 | 1.77 | 2.42 | 3.54 | 3.54 | 4.19 | 4.19 | 5.31 | 4.84 | 7.08 |
| 12 | 1.95 | 2.61 | 3.90 | 3.90 | 4.56 | 4.56 | 5.85 | 5.22 | 7.80 |
| 14 | 2.14 | 2.80 | 4.28 | 4.28 | 4.94 | 4.94 | 6.42 | 5.59 | 8.56 |
| 16 | 2.33 | 2.98 | 4.66 | N/A | 5.31 | 5.31 | N/A | 5.97 | N/A |

CREE ÷ LIGHTING[®]

* Specify pole size: 3 [3"], 4 [4"], 5 [5"], or 6 (6") for single, double or triple luminaire orientation or 4 [4"], 5 (5"), or 6 (6") for quad luminaire orientation ** These EPA values must be multiplied by the following ratio: Fixture Mounting Height/Total Pole Height. Specify pole size: 3 (3"), 4 (4"), 5 [5"), or 6 (6")

US: <u>creelighting.com</u> (800) 236-6800 Canada: <u>creelighting-canada.com</u> (800) 473-1234

Luminaire EPA

| Adjustable A | Arm Mount – ARE-E | EDG-AA/FLD-EDG | -AA/SA | | | | | | |
|--------------------|---|--|--|---------------------------------|---|---|---------------------------------|---|---|
| LED Count (x10) | Single | 2 @ 90° | 2 @ 180° | In-Line 2 ៧ 180° | 3 @ 90° | 3 @ 120° | In-Line 3 ៧ 180° | 4 @ 90° | In-Line 4 @ 180° |
| Tenon Confi | guration If used wit | th Cree Lighting to | enons, please add | tenon EPA with L | uminaire EPA | | | | |
| | | | | T | | • • | | | |
| | Vertical: PB-1A*; PT-1; PW-1A3** Horizontal: By others | Vertical: PB-2A*; PB-2R2.375; PW-2A3** Horizontal: PD-2A4(90); PT-2(90) | Vertical: PB-2A*; PB-2R2.375; PW-2A3** Horizontal: PD-2A4(180); PT-2(180) | Vertical: PB-2A*; PB-2R2.375 | Vertical: PB-3A*; PB-3R2.375 Horizontal: PD-3A4(90); PT-3(90) | Vertical: PB-3A*; PB-3R2.375 Horizontal: PT-3(120) | Vertical: PB-3A*; PB-3R2.375 | Vertical: PB-4A*(90); PB-4A2.375 Horizontal: PD-4A4(90) PT-4(90) | Vertical: PB-4A*(180); PB-4R2.375 |
| 90° Tilt | | | | | | | | | |
| 02 | 1.85 | 2.51 | 3.70 | 3.64 | 4.36 | 4.36 | 5.55 | 5.02 | 7.40 |
| 04 | 1.85 | 2.51 | 3.70 | 3.64 | 4.36 | 4.36 | 5.55 | 5.02 | 7.40 |
| 06 | 2.14 | 2.80 | 4.28 | 4.22 | 4.94 | 4.94 | 6.42 | 5.59 | 8.56 |
| 08 | 2.43 | 3.09 | 4.86 | 4.78 | 5.51 | 5.51 | 7.29 | 6.17 N/A with horizontal tenon | 9.72 |
| 10 | 2.71 | 3.37 | 5.42 | 5.34 | 6.08 | 6.08 | 8.13 | 6.74 N/A with horizontal tenon | 10.84 |
| 12 | 3.00 | 3.66 | 6.00 | 5.90 | 6.66 | 6.66 | 9.00 | 7.31 N/A with horizontal tenon | 12.00 |
| 14 | 3.29 | 3.95 N/A with PW- 2A3** | 6.58 | 6.48 | 7.23 | 7.23 | 9.87 | 7.89 N/A with horizontal tenon | 13.16 |
| 16 | 3.57 | 4.23 N/A with PW- 2A3** | 7.14 | N/A | 7.81 | 7.81 | N/A | 8.46 N/A with horizontal tenon | N/A |

* Specify pole size: 3 (3"), 4 (4"), 5 (5"), or 6 (6") for single, double or triple luminaire orientation or 4 (4"), 5 (5"), or 6 (6") for quad luminaire orientation ** These EPA values must be multiplied by the following ratio: Fixture Mounting Height/Total Pole Height. Specify pole size: 3 (3"), 4 (4"), 5 (5"), or 6 (6")

Tenon EPA

| Part Number | EPA |
|------------------|------|
| PB-1A* | None |
| PB-2A* | 0.82 |
| PB-3A* | 1.52 |
| PB-4A*(180) | 2.22 |
| PB-4A*(90) | 1.11 |
| PB-2R2.375 | 0.92 |
| PB-3R2.375 | 1.62 |
| PB-4R2.375 | 2.32 |
| PD Series Tenons | 0.09 |
| PT Series Tenons | 0.10 |
| PW-1A3** | 0.47 |
| PW-2A3** | 0.94 |
| WM-2 | 0.08 |
| WM-4 | 0.25 |
| WM-DM | None |

* Specify pole size: 3 (3"), 4 (4"), 5 (5"), or 6 (6") for single, double or triple luminaire orientation or 4 (4"), 5 (5"), or 6 (6") for quad luminaire orientation * These EPA values must be multiplied by the following ratio: Fixture Mounting Height/Total Pole Height. Specify pole size: 3 (3"), 4 (4"), 5 (5"), or 6 (6")

Tenons and Brackets[‡] (must specify color)

Square Internal Mount Vertical Tenons (Steel)
 Provide the field for Square Internal Mount Horizontal Tenons (Aluminum) - Mounts to 4" (102mm) square aluminum or steel poles

PD-2A4(90) – 90° Twin PD-3A4(90) – 90° Triple PD-2A4(180) – 180° Twin PD-4A4(90) – 90° Quad

Wall Mount Brackets Mounts to wall or roof

WM-2 – Horizontal for AA and SA mounts WM-4 – L-Shape for AA and SA mounts WM-DM – Plate for DA and DL mounts

Round External Mount Vertical Tenons (Steel) - Mounts to 2.375" (60mm) O.D. round aluminum or steel poles or tenons PB-2R2.375 - Twin PB-4R2.375 - Quad PB-3R2.375 - Triple Round External Mount Horizontal Tenons (Aluminum) - Mounts to 2.375" (60mm) 0.D. round aluminum or steel

poles or tenons . - Mounts to square pole with PB-1A* tenon PT-3(90) - 90° Triple PT-1 – Single (Vertical) PT-2(90) – 90° Twin PT-2(180) – 180° Twin

PT-3(120) - 120° Triple PT-4(90) - 90° Quad Mid-Pole Bracket - Mounts to square pole PW-1A3** - Single

PW-2A3** - Double

Ground Mount Post

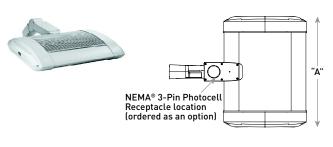
- For ground mounted flood luminaires PGM-1 - For use with AA and SA mounts

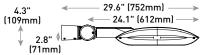
* Refer to the Bracket and Tenons spec sheet for more details

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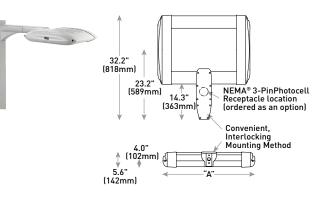
AA Mount





| LED Count (x10) | Dim. "A" | Weight |
|--------------------|---------------|----------------|
| 02 | 12.1" (306mm) | 21 lbs. (10kg) |
| 04 | 12.1" (306mm) | 24 lbs. (11kg) |
| 06 | 14.1" (357mm) | 27 lbs. (12kg) |
| 08 | 16.1" (408mm) | 28 lbs. (13kg) |
| 10 | 18.1" (459mm) | 32 lbs. (15kg) |
| 12 | 20.1" (510mm) | 34 lbs. (15kg) |
| 14 | 22.1" (560mm) | 37 lbs. (17kg) |
| 16 | 24.1" (611mm) | 41 lbs. (19kg) |

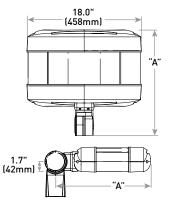
DL Mount



| LED Count (x10) | Dim. "A" | Weight |
|--------------------|---------------|----------------|
| 02 | 12.1" (306mm) | 23 lbs. (10kg) |
| 04 | 12.1" (306mm) | 26 lbs. (12kg) |
| 06 | 14.1" (357mm) | 29 lbs. (13kg) |
| 08 | 16.1" (408mm) | 30 lbs. (14kg) |
| 10 | 18.1" (459mm) | 34 lbs. (15kg) |
| 12 | 20.1" (510mm) | 36 lbs. (16kg) |
| 14 | 22.1" (560mm) | 42 lbs. (19kg) |
| 16 | 24.1" (611mm) | 44 lbs. (20kg) |

SA Mount





| LED Count (x10) | Dim. "A" | Weight | | |
|--------------------|---------------|----------------|--|--|
| 02 | 16.0" (406mm) | 25 lbs. (11kg) | | |
| 04 | 18.0" (457mm) | 26 lbs. (12kg) | | |
| 06 | 20.0" (508mm) | 28 lbs. (13kg) | | |

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CREE ÷ LIGHTING

A COMPANY OF IDEAL INDUSTRIES, INC.

OSQ Series

OSQ™ LED Area/Flood Luminaire featuring Patented NanoComfort™ Technology – Version C

Product Description

The OSQ™ Area/Flood luminaire blends extreme optical control, advanced thermal management and modern, clean aesthetics. Built to last, the housing is rugged cast aluminum with an integral, weathertight LED driver compartment. Versatile mounting configurations offer simple installation. Its slim, low-profile design minimizes wind load requirements and blends seamlessly into the site providing even, quality illumination. Medium is suitable upgrade for HID applications up to 400 Watts. Large is suitable upgrade for HID applications up to 1000 Watts. Extra Large is suitable upgrade for HID applications up to multiple 1000 Watts.

Applications: Parking lots, walkways, campuses, car dealerships, office complexes, high-mast and internal roadways

Performance Summary NECESSARY HARDWARE IS SPECIFIED FOR Utilizes Patented NanoComfort^M Technology

Utilizes Cree TrueWhite® Technology on 5000K Luminaires

Assembled in the USA by Cree Lighting from US and imported parts

Initial Delivered Lumens: 4,000 - 75,000

Efficacy: Up to 171 LPW

CRI: Minimum 70 CRI (3000K, 4000K & 5700K); 90 CRI (5000K)

CCT: 3000K. 4000K. 5000K. 5700K

Limited Warranty[†]: 10 years for luminaire; 10 years for Colorfast DeltaGuard[®] finish; 5 years for BML sensor; up to 5 years for Synapse® accessories; 1 year for luminaire accessories

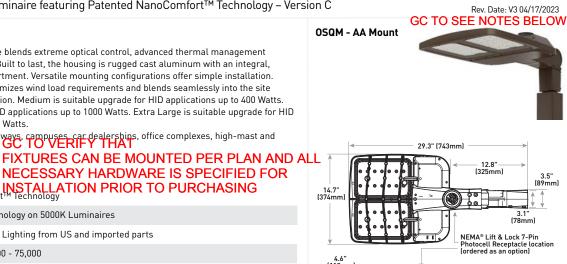
⁺See <u>http://creelighting.com/warranty</u> for warranty terms. For Synapse accessories, consult Synapse spec sheets for details on warranty terms. Ordering Information

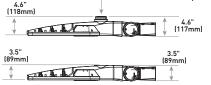
Fully assembled luminaire is composed of two components that must be ordered separately: Example: Mount: OSQ-ML-C-AA-BK + Luminaire: OSQM-C-4L-30K7-2M-UL-NM-BK

Mount (Luminaire must be ordered separately)*



Reference fixture mounting drill pattern, EPA, and pole configuration suitability data beginning on page 14.





Luminaire Weight OSQM 19.3 lbs. (8.8kg)

Note: For OSQL, OSQX and additional mounts, refer to drawings beginning on page 26.

GC TO REFERENCE PLANS FOR COLOR DESIGNATION

| DSQ | | С | | | | | | | | | | |
|--------------------|-----------------|--------|---|--|--|---|--|-------|--|----------------------|--|---|
| Family S | Size | Series | Lumen Package† | CCT/ CRI | Optic | | Voltage | Mount | Color Options | Contr | rols* | Options |
| L La X Es | ledium .arge | C | Medium 4L 4,000 Lumens 6L 6.000 Lumens 9L 9,000 Lumens 11,000 Lumens 16,000 Lumens 22,000 Lumens 30L 30,000 Lumens 40L 40,000 Lumens 50,000 Lumens 65L 65L000 Lumens 75,000 | 30K7 3000K 70 CRI 40K7 70 CRI 50K9 90 CRI 5000K, 70 CRI 570K7 70 CRI | Asymmetric 2M Type II Mid 2B Factory-Installed Backlight Shield 3M Type III Mid 3B Type III Mid w/ Factory-Installed Backlight Shield 4M Type IV Mid Symmetric 5M Type V Mid 5N Type V Narrow | 4B Type IV Mid w/ Factory- Installed Backlight Shield AI Automotive FrontlineOptic™ AB Automotive- FrontlineOptic™ w/Factory- Installed Backlight Shield 33 NEMA® 3x3 44 NEMA® 3x3 44 NEMA® 5x5 66 NEMA® 5x5 66 NEMA® 5x5 75 NEMA® 7x5 | UL Universal 120-277V UH Universal 347-480V - Not available with 4L, 40L or 75L lumen packages UE Universal 277-480V - Available only with 40L and 75L lumen packages | | BK Black BZ Bronze SV Silver WH White O VER SPECI T UL | a9/as RIFY IFY | Bluetooth® Technology Enabled Mutit-Level Sensor Utilizes a multifunction sensor Refer to BML spec sheet for details 20-40' sensor lens installed on turninaire; 8-20' sensor lens and aisle shroud included Intended for downlight applications at 0° titt Not available with Q or X options or Synapse TL7-B2 or TL7-HVG accessories 30/70/a/05/a/u3/02/01 Field Adjustable Output Must select 09, 08, 07, 06, 05, 04, u3, 02, or 01 Offers full range adjustability Refer to pages 15-25 for power and lumen values Not available with BU or X options or Synapse TL7-B2 or TL7-HVG accessories //ko/X5/ku/X3/x2/x1 Locked Lumen Output Must select X8, 7X, X6, X5, X4, X3, X2, or X1 Not available with BML or Q options X1 option not available With the following lumen package/voltage offerings: 9L/UL, 16L/UL, 16L/UH, 30L/UL, 20L/UH, 46L/UL, 16L/UL Lumen package/voltage | Consult factory if fusing is required for 208V, 240V or 480 [phase to phase] When code dictates fusing, use time delay fuse When code dictates fusing, use time delay fuse Receptacle External utility label per ANSI C136.15-2020 7-pin receptacle per ANSI C136.15-2020 7-pin receptacle per ANSI C136.11 Available only with OSOM & OSOL luminaires Intended for downlight applications with maximum 45° t Factory connected 0-10V dim leads Requires photocell or shorting cap by others R NEMA® Lift & Lock 7-Pin Photocell Receptacle 7-pin receptacle per ANSI C136.41 Intended for downlight applications with maximum 45° t Factory connected 0-10V dim leads Requires photocell or shorting cap by others Refer to agae 2 for compatible Synapse control offerings Rotate Left LeD and optic are rotated to the left Refer to RR/RL configuration diagram on page 26 for op directionality Not for use with symmetric optics RR totate Right LED and optic are rotated to the right Refer to RR/RL configuration diagram on page 26 for op directionality Not for use with symmetric optics |

⁺ Lumen Package codes identify approximate light output only. Actual lumen output levels vary by CCT and optic selection. Refer to Initial Delivered Lumen tables for specific lumen values * Luminaire comes standard with 0-10V dimr



CREE ÷ LIGHTING

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Product Specifications

CREE LIGHTING NANOCOMFORT™ TECHNOLOGY

Cree Lighting's NanoComfort™ Technology ends the trade-offs in outdoor lighting by providing superior glare reduction and visual comfort in high-efficiency illumination delivered precisely where it is needed. The basic building block of NanoComfort™Technology is a compact 4x4 array of LEDs. Each of the 16 LEDs in a module is in contact with its own acrylic polymer lens to capture and precisely direct light. With NanoComfort™Technology, the acrylic optics are cut and sculpted into facets that relieve the glare and harshness while improving visual comfort – all while retaining superb efficacy and control.

CREE TRUEWHITE® TECHNOLOGY

A revolutionary way to generate high-quality white light, Cree TrueWhite® Technology is a patented approach that delivers an exclusive combination of 90+ CRI, beautiful light characteristics and lifelong color consistency, all while maintaining high luminous efficacy – a true no compromise solution.

CONSTRUCTION & MATERIALS

- Slim, low profile design minimizes wind load requirements
- Luminaire housing is rugged die cast aluminum with an integral, weathertight LED driver compartment and high-performance heat sink
- Acrylic optic w/clear tempered glass lens
- Convenient interlocking mounting method on direct arm. Mounting adaptor is rugged die cast aluminum and mounts to 3" (76mm) or larger square or round pole, secured by two 5/16-18 UNC bolts spaced on 2" (51mm) centers. Refer to page 14 for fixture mounting drill pattern
- Adjustable arm mount adapters are rugged die cast aluminum
- $\rm OSQ-ML-C-AA$ mounts to a horizontal or vertical 2" (51mm) IP, 2.375" (60mm) 0.D. tenon and can be adjusted 180 $^{\circ}$ in 2.5 $^{\circ}$ increments
- OSQ-X-C-AA mounts to a horizontal or vertical 2" (51mm) IP, 2.375-2.50" (60-64mm) 0.D. steel tenon and can be adjusted 180° in 5.0° increments. **NOTE: Tenon length must be a** minimum of 3.75" (95mm), and tenon must be steel
- Trunnion mount is constructed of A500 and A1011 steel and is adjustable from 0-180° in 15° degree increments. Trunnion mount secures to surface with (1) 3/4" bolt or (2) 1/2" or 3/8" bolts
- Luminaires include 15" (381mm) 18/5 cord exiting the luminaire
- Designed for uplight and downlight applications. Uplight orientation not suitable for use with N or R options
- Exclusive Colorfast DeltaGuard® finish features an E-Coat epoxy primer with an ultra-durable powder topcoat, providing excellent resistance to corrosion, ultraviolet degradation and abrasion. Silver, bronze, black, and white are available

| Weight | | | |
|----------------|--------------------|--------------------|--------------------|
| Maxim | Housing Size | | |
| Mount | Medium | Large | Extra Large |
| Direct Arm | 19.7 lbs. (8.9kg) | 28.8 lbs. (13.1kg) | 45.8 lbs. (20.8kg) |
| Adjustable Arm | 19.3 lbs. (8.8kg) | 28.4 lbs. (12.9kg) | 48.6 lbs. (22.0kg) |
| Trunnion | 23.2 lbs. (10.5kg) | 32.3 lbs. (14.7kg) | N/A |

For BML sensor add 0.1 lbs. [45a], and for NEMA receptacle, add 0.3 lbs. [136a]

ELECTRICAL SYSTEM

- Input Voltage: 120-277V, 277-480V or 347-480V, 50/60Hz, Class 1 drivers
- Power Factor: > 0.9 at full load
- Total Harmonic Distortion: < 20% at full load
- Integral 10kV/5kA surge suppression protection standard; 20kV/10kA surge suppression protection optional
- When code dictates fusing, a slow blow fuse or type C/D breaker should be used to address inrush current
- Designed with 0-10V dimming capabilities. Controls by others
- Refer to Dimming spec sheet for details
- Maximum 10V Source Current: 1.8mA
- Operating Temperature Range: -40°C +40°C (-40°F +104°F)

REGULATORY & VOLUNTARY QUALIFICATIONS

- cULus Listed (UL1598)
- Suitable for wet locations
- . Meets NEMA C82.77 standards
- Drivers and LEDs are UL certified in accordance with UL8750
- Meets requirements of IP66 per IEC 60529 when ordered without N or R options
- Certified to ANSI C136.31-2018, 3G bridge and overpass vibration standards
- ANSI C136.2 10kV/5kA (standard) and 20kV/10kA (optional) surge suppression protection tested in accordance with IEEE/ANSI C62.41.2
- Meets FCC Part 15, Subpart B, Class A limits for conducted and radiated emissions
- Luminaire and finish endurance tested to withstand 5,000 hours of elevated ambient salt fog conditions as defined in ASTM Standard B 117
- Lens meets IK07 requirements per IEC 60068-2
- Assembled in the USA by Cree Lighting from US and imported parts
- Meets Buy American requirements within ARRA
- RoHS compliant. Consult factory for additional details
- Dark Sky Friendly, IDA Approved when ordered with 30K CCT and direct arm mount only. Please refer to https://www.darksky.org/our-work/lighting/lighting/or-industry/fisafti products/ for most current information (Pending)
- CA RESIDENTS WARNING: Cancer and Reproductive Harm -w.p65warning

Product Specifications

SYNAPSE® SIMPLYSNAP INTELLIGENT CONTROL

The Synapse SimplySNAP platform is a highly intuitive connected lighting solution featuring zone dimming, motion sensing, and daylight harvesting with utility-grade power monitoring and support of up to 1000 nodes per gateway. The system features a reliable and robust self-healing mesh network with a browserbased interface that runs on smartphones, tablets, and PCs. The Twist-Lock Lighting Controller (TL7-B2 or TL7-HVG) and Site Controller (SS450-002) take the OSQ Series to a new performance plateau, providing extreme energy productivity, code compliance and a better light experience

Synapse Wireless Control Accessories

Twist-Lock Lighting Controller

- TL 7-B2 Suitable for 120-277V (UL) voltage only
- Requires NEMA/ANSI C136.41 7-Pin Dimming Receptacle
- Not for use with BML or Q options
 Provides On/Off switching, dimming, power metering, digital sensor input, and status
- monitoring of luminaire Refer to <u>TL7-B2</u> spec sheet for details Twist-Lock Lighting Controller
- TL7-HVG
- Suitable for 120-480V (UL, UE and UH) voltages Requires NEMA/ANSI C136.41 7-Pin Dimming
- Receptacle Not for use with BML or Q options Provides On/Off switching, dimming, power
- metering, digital sensor input, and status monitoring of luminaire
- Refer to <u>TL7-HVG</u> spec sheet for details SimplySNAP Central Base Station

297

384

447

- CBSSW-450-002
- Includes On-Site Controller (SS450-002) and 5-button switch - Indoor and Outdoor rated
- Re

Ele

Lur Pac 4L*' 6L 9L 111 16L 22L 30L

40L 50L

651

75L

| | <u>3SSW-450-002</u> s | pec sheet fo | r details | | | | | |
|--------------|-----------------------|------------------|-----------|------------|------|------|------|------|
| ectrical | Data* | | | | | | | |
| men ckage | System Watts | Utility Label | Total Cu | irrent (A) | | | | |
| | 120-480V | Wattage | 120V | 208V | 240V | 277V | 347V | 480V |
| ** | 26 | 30 | 0.21 | 0.12 | 0.11 | 0.09 | N/A | N/A |
| | 37 | 40 | 0.31 | 0.18 | 0.15 | 0.13 | 0.11 | 0.08 |
| | 55 | 60 | 0.46 | 0.27 | 0.23 | 0.20 | 0.16 | 0.12 |
| L | 68 | 70 | 0.57 | 0.33 | 0.28 | 0.25 | 0.20 | 0.14 |
| L | 97 | 100 | 0.81 | 0.47 | 0.40 | 0.35 | 0.28 | 0.20 |
| L | 131 | 130 | 1.09 | 0.63 | 0.55 | 0.47 | 0.38 | 0.27 |
| L | 175 | 180 | 1.46 | 0.84 | 0.73 | 0.63 | 0.50 | 0.36 |
| L | 236 | 240 | 1.96 | 1.13 | 0.98 | 0.85 | 0.68 | 0.49 |

1.43

1.85

2.15

1.24

1.60

1.86

1.07

1.39

1.61

0.86

1.11

1.29

0.62

0.80

0.93

Electrical data at 25°C (77°F). Actual wattage may differ by +/- 10% when operating between 120-277V, 277-480V or 347-480V+/-10%. ** Available with UL voltage only

2.48

3.20

3.73

OSQ-C Series Ambient Adjusted Lumen Maintenance¹

N/A

N/A

N/A

| Ambient | Initial LMF | 25K hr Reported² LMF | 50K hr Reported ² LMF | 75K hr Reported² LMF | 100K hr Reported ² LMF |
|-------------|----------------|----------------------------|--|----------------------------|---|
| 5°C (41°F) | 1.02 | 0.99 | 0.93 | 0.88 | 0.83 |
| 10°C (50°F) | 1.02 | 0.98 | 0.93 | 0.87 | 0.82 |
| 15°C (59°F) | 1.01 | 0.98 | 0.92 | 0.87 | 0.82 |
| 20°C (68°F) | 1.01 | 0.97 | 0.92 | 0.86 | 0.81 |
| 25°C (77°F) | 1.00 | 0.97 | 0.91 | 0.86 | 0.81 |

¹ Lumen maintenance values at 25°C (77°F) are calculated per IES TM-21 based on IES LM-80 report data for the LED package and in-situ luminaire testing. Luminaire ambient temperature factors (LATF) have been applied to all lumen maintenance factors. Please refer to the <u>Temperature Zone Reference Document</u> for outdoor average nighttime ambient conditions.

² In accordance with IES TM-21. Reported values represent interpolated values based on time durations that are up to 6x the tested duration in the IES LM-80 report for the LED

Accessories

Field-Installed **Backlight Shield** OSQ-M-C-BLSF (Medium) OSQ-L-C-BLSF (Large) OSQ-X-C-BLSF (Extra Large) Not for use with rotated optics Bird Spikes OSQ-M-C-BRDSPK 0SQ-L-C-BRDSPK OSQ-X-C-BRDSPK

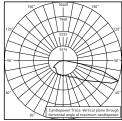
Shorting Cap XA-XSLSHR1

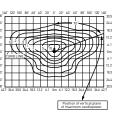
- Synapse Wireless Sensor WSN-DPM
- Motion and light sensor
- Control multiple zones Refer to <u>WSN-DPM</u> spec sheet for details
- SimplySNAP On-Site Controller SS450-002
- Verizon® LTE-enabled
- Designed for indoor applications
 Refer to <u>SS450-002</u> spec sheet for details Building Management System (BMS) Gateway
- BMS-GW-002 - Required for BACnet integration - Refer to <u>BMS-GW-002</u> spec sheet for details
- Outdoor Antennas
- (Optional, for increased range, 8dB gain)
- KIT-ANT420SM - Kit includes antenna, 20' cable and bracket KIT-ANT360
- Kit includes antenna, 30' cable and bracket KIT-ANT600
- Kit includes antenna, 50' cable and bracket - Refer to Outdoor antenna spec sheet for details



All published luminaire photometric testing performed to IES LM-79 standards. To obtain an IES file specific to your project consult: https://creelighting.com/products/outdoor/area/osq-series

2M





PRELIMINARY RESTL Test Report OSQ Luminaire w/2M Optic Initial Delivered Lumens: 15,560

OSQL-C-40L-40K7-2M-UL Mounting Height: 25' (7.6m) A.F.G. Initial Delivered Lumens: 38,000 Initial FC at grade

Type II Mid Distribution

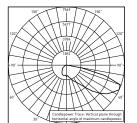
| Type II Mid Dis | stribution | | | | | | | | |
|-----------------|------------------------------|---|------------------------------|-------------------------------|------------------------------|---|------------------------------|-------------------------------|--|
| Lumen | 3000K (70 CRI) | | 4000K (70 CRI) | 4000K (70 CRI) | | | 5700K (70 CRI) | 5700K (70 CRI) | |
| Package | Initial Delivered Lumens* | BUG Ratings ^{**} Per TM-15-20 | Initial Delivered Lumens* | BUG Ratings** Per TM-15-20 | Initial Delivered Lumens* | BUG Ratings ^{**} Per TM-15-20 | Initial Delivered Lumens* | BUG Ratings** Per TM-15-20 | |
| 4L | 3,650 | B1 U1 G1 | 3,800 | B1 U1 G1 | 2,590 | B1 U1 G1 | 3,800 | B1 U1 G1 | |
| 6L | 5,475 | B1 U1 G1 | 5,700 | B1 U1 G1 | 3,880 | B1 U1 G1 | 5,700 | B1 U1 G1 | |
| 9L | 8,225 | B2 U1 G2 | 8,550 | B2 U1 G2 | 5,825 | B1 U1 G1 | 8,550 | B2 U1 G2 | |
| 11L | 10,025 | B2 U1 G2 | 10,450 | B2 U1 G2 | 7,100 | B2 U1 G2 | 10,450 | B2 U1 G2 | |
| 16L | 14,650 | B3 U1 G3 | 15,200 | B3 U1 G3 | 10,325 | B2 U1 G2 | 15,200 | B3 U1 G3 | |
| 22L | 20,100 | B3 U1 G3 | 20,900 | B3 U1 G3 | 14,200 | B3 U1 G3 | 20,900 | B3 U1 G3 | |
| 30L | 27,400 | B3 U1 G3 | 28,500 | B3 U1 G3 | 19,400 | B3 U1 G3 | 28,500 | B3 U1 G3 | |
| 40L | 36,500 | B4 U1 G4 | 38,000 | B4 U1 G4 | 25,900 | B3 U1 G3 | 38,000 | B4 U1 G4 | |
| 50L | 45,600 | B4 U1 G5 | 47,500 | B4 U1 G5 | 32,300 | B3 U1 G4 | 47,500 | B4 U1 G5 | |
| 65L | 59,300 | B4 U1 G5 | 61,800 | B4 U1 G5 | 42,000 | B4 U1 G4 | 61,800 | B4 U1 G5 | |
| 75L | 68,400 | B5 U1 G5 | 71,300 | B5 U1 G5 | 48,500 | B4 U1 G5 | 71,300 | B5 U1 G5 | |

OSQL-C-40L-40K7-2B-UL Mountingt: 25' (7.6m) A.F.G. Initial Delivered Lumens: 26,200 Initial De accede

Initial FC at grade

** Initial delivered lumens at 25°C (77°F). Actual production yield may vary between -10 and +10% of initial delivered lumens
** For more information on the IES BUG (Backlight-Uplight-Glare) Rating visit: https://www.ies.org/wp-content/uploads/2017/03/TM-15-11BUGRatingsAddendum.pdf. Valid with no tilt

2B



PRELIMINARY RESTL Test Report OSQ Luminaire w/2B Optic Initial Delivered Lumens: 10,422

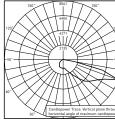
| Type II Mid | w/BLS Distribution | | | | | | | | |
|------------------|------------------------------|-------------------------------|------------------------------|-------------------------------|------------------------------|-------------------------------|------------------------------|-------------------------------|--|
| Lumen Package | 3000K (70 CRI) | 3000K (70 CRI) | | 4000K (70 CRI) | | | 5700K (70 CRI) | 5700K (70 CRI) | |
| | Initial Delivered Lumens* | BUG Ratings** Per TM-15-20 | |
| 4L | 2,510 | B1 U1 G1 | 2,620 | B1 U1 G1 | 1,780 | B0 U1 G1 | 2,620 | B1 U1 G1 | |
| 6L | 3,760 | B1 U1 G1 | 3,920 | B1 U1 G1 | 2,670 | B1 U1 G1 | 3,920 | B1 U1 G1 | |
| 9L | 5,650 | B1 U1 G1 | 5,875 | B1 U1 G1 | 4,000 | B1 U1 G1 | 5,875 | B1 U1 G1 | |
| 11L | 6,900 | B1 U1 G2 | 7,200 | B1 U1 G2 | 4,890 | B1 U1 G1 | 7,200 | B1 U1 G2 | |
| 16L | 10,075 | B2 U1 G2 | 10,450 | B2 U1 G2 | 7,100 | B1 U1 G2 | 10,450 | B2 U1 G2 | |
| 22L | 13,800 | B2 U1 G2 | 14,375 | B2 U1 G2 | 9,775 | B1 U1 G2 | 14,375 | B2 U1 G2 | |
| 30L | 18,800 | B2 U1 G3 | 19,600 | B2 U1 G3 | 13,350 | B2 U1 G2 | 19,600 | B2 U1 G3 | |
| 40L | 25,100 | B3 U1 G3 | 26,200 | B3 U1 G3 | 17,800 | B2 U1 G3 | 26,200 | B3 U1 G3 | |
| 50L | 31,400 | B3 U1 G4 | 32,700 | B3 U1 G4 | 22,200 | B3 U1 G3 | 32,700 | B3 U1 G4 | |
| 65L | 40,800 | B3 U1 G4 | 42,500 | B3 U1 G4 | 28,900 | B3 U1 G3 | 42,500 | B3 U1 G4 | |
| 75L | 47,100 | B3 U1 G4 | 49,000 | B3 U1 G5 | 33,300 | B3 U1 G4 | 49,000 | B3 U1 G5 | |

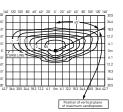
* Initial delivered lumens at 25°C (77°F). Actual production yield may vary between -10 and +10% of initial delivered lumens
** For more information on the IES BUG (Backlight-Uplight-Glare) Rating visit: https://www.ies.org/wp-content/uploads/2017/03/TM-15-11BUGRatingsAddendum.pdf. Valid with no tilt

CREE ÷ LIGHTING[®]

All published luminaire photometric testing performed to IES LM-79 standards. To obtain an IES file specific to your project consult: https://creelighting.com/products/outdoor/area/osq-series

2M W/OSQ-*-C-BLSF





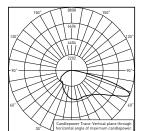
PRELIMINARY RESTL Test Report OSQ Luminaire w/2M Optic w/OSQ-M-C-BLSF Initial Delivered Lumens: 9,579 OSQL-C-40L-40K7-2M-UL w/OSQ-L-C-BLSF Mounting Height: 25' (7.6m) A.F.G. Initial Delivered Lumens: 26,200 Initial FC at grade

Type II Mid Distribution w/0S0-*-C-BLSE

| туре п міа і | Distribution w/05u- | BLSF | | | | | | |
|--------------|------------------------------|---|------------------------------|-------------------------------|------------------------------|---|------------------------------|---|
| Lumen | 3000K (70 CRI) | 3000K (70 CRI) | | 4000K (70 CRI) | | 5000K (90 CRI) | | |
| Package | Initial Delivered Lumens* | BUG Ratings ^{**} Per TM-15-20 | Initial Delivered Lumens* | BUG Ratings** Per TM-15-20 | Initial Delivered Lumens* | BUG Ratings ^{**} Per TM-15-20 | Initial Delivered Lumens* | BUG Ratings ^{**} Per TM-15-20 |
| 4L | 2,510 | B1 U1 G1 | 2,620 | B1 U1 G1 | 1,780 | B0 U1 G1 | 2,620 | B1 U1 G1 |
| 6L | 3,760 | B1 U1 G1 | 3,920 | B1 U1 G1 | 2,670 | B1 U1 G1 | 3,920 | B1 U1 G1 |
| 9L | 5,650 | B1 U1 G1 | 5,875 | B1 U1 G1 | 4,000 | B1 U1 G1 | 5,875 | B1 U1 G1 |
| 11L | 6,900 | B1 U1 G2 | 7,200 | B1 U1 G2 | 4,890 | B1 U1 G1 | 7,200 | B1 U1 G2 |
| 16L | 10,075 | B1 U1 G2 | 10,450 | B1 U1 G2 | 7,100 | B1 U1 G2 | 10,450 | B1 U1 G2 |
| 22L | 13,800 | B2 U1 G2 | 14,375 | B2 U1 G2 | 9,775 | B1 U1 G2 | 14,375 | B2 U1 G2 |
| 30L | 18,800 | B2 U1 G3 | 19,600 | B2 U1 G3 | 13,350 | B2 U1 G2 | 19,600 | B2 U1 G3 |
| 40L | 25,100 | B3 U1 G3 | 26,200 | B3 U1 G4 | 17,800 | B2 U1 G3 | 26,200 | B3 U1 G4 |
| 50L | 31,400 | B3 U1 G4 | 32,700 | B3 U1 G4 | 22,200 | B3 U1 G3 | 32,700 | B3 U1 G4 |
| 65L | 40,800 | B3 U1 G4 | 42,500 | B3 U1 G5 | 28,900 | B3 U1 G4 | 42,500 | B3 U1 G5 |
| 75L | 47,100 | B3 U1 G5 | 49,000 | B3 U1 G5 | 33,300 | B3 U1 G4 | 49,000 | B3 U1 G5 |

* Initial delivered lumens at 25°C (77°F). Actual production yield may vary between -10 and +10% of initial delivered lumens
** For more information on the IES BUG (Backlight-Uplight-Glare) Rating visit: https://www.ies.org/wp-content/uploads/2017/03/TM-15-11BUGRatingsAddendum.pdf. Valid with no tilt

3M



RESTL Test Report #: PL17240-001A OSQM-C-16L-57K7-3M-UL-NM-WH Initial Delivered Lumens: 15,444

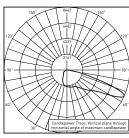
| Type III Mid | Distribution | | | | | | | |
|--------------|------------------------------|-------------------------------|------------------------------|---|-----------------------------|---|------------------------------|---|
| Lumen | 3000K (70 CRI) | 3000K (70 CRI) | | 4000K (70 CRI) | | 5000K (90 CRI) | | |
| Package | Initial Delivered Lumens* | BUG Ratings** Per TM-15-20 | Initial Delivered Lumens* | BUG Ratings ^{**} Per TM-15-20 | Initial Delivered Lumens | BUG Ratings ^{**} Per TM-15-20 | Initial Delivered Lumens* | BUG Ratings ^{**} Per TM-15-20 |
| 4L | 3,650 | B1 U0 G1 | 3,800 | B1 U0 G1 | 2,590 | B1 U0 G1 | 3,800 | B1 U0 G1 |
| 6L | 5,475 | B1 U0 G1 | 5,700 | B1 U0 G1 | 3,880 | B1 U0 G1 | 5,700 | B1 U0 G1 |
| 9L | 8,225 | B2 U0 G2 | 8,550 | B2 U0 G2 | 5,825 | B1 U0 G1 | 8,550 | B2 U0 G2 |
| 11L | 10,025 | B2 U0 G2 | 10,450 | B2 U0 G2 | 7,100 | B2 U0 G2 | 10,450 | B2 U0 G2 |
| 16L | 14,650 | B3 U0 G3 | 15,200 | B3 U0 G3 | 10,325 | B2 U0 G2 | 15,200 | B3 U0 G3 |
| 22L | 20,100 | B3 U0 G3 | 20,900 | B3 U0 G3 | 14,200 | B3 U0 G3 | 20,900 | B3 U0 G3 |
| 30L | 27,400 | B3 U0 G3 | 28,500 | B3 U0 G3 | 19,400 | B3 U0 G3 | 28,500 | B3 U0 G3 |
| 40L | 36,500 | B4 U0 G4 | 38,000 | B4 U0 G4 | 25,900 | B3 U0 G3 | 38,000 | B4 U0 G4 |
| 50L | 45,600 | B4 U0 G4 | 47,500 | B4 U0 G4 | 32,300 | B3 U0 G4 | 47,500 | B4 U0 G4 |
| 65L | 59,300 | B5 U0 G5 | 61,800 | B5 U0 G5 | 42,000 | B4 U0 G4 | 61,800 | B5 U0 G5 |
| 75L | 68,400 | B5 U0 G5 | 71,300 | B5 U0 G5 | 48,500 | B4 U0 G4 | 71,300 | B5 U0 G5 |

OSQL-C-40L-40K7-3M-UL Mounting Height: 25' (7.6m) A.F.G. Initial Delivered Lumens: 38,000 Initial FC at grade

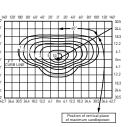
* Initial delivered lumens at 25°C (77°F). Actual production yield may vary between -10 and +10% of initial delivered lumens
** For more information on the IES BUG (Backlight-Uplight-Glare) Rating visit: https://www.ies.org/wp-content/uploads/2017/03/TM-15-11BUGRatingsAddendum.pdf. Valid with no tilt

All published luminaire photometric testing performed to IES LM-79 standards. To obtain an IES file specific to your project consult: https://creelighting.com/products/outdoor/area/osg-series

3B



RESTL Test Report #: PL17366-001A OSQM-C-16L-57K7-3B-UL-NM-WH Initial Delivered Lumens: 10,081

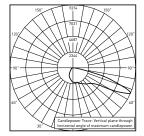


OSQL-C-40L-40K7-3B-UL Mounting Height: 25' (7.6m) A.F.G. Initial Delivered Lumens: 26,200 Initial FC at grade

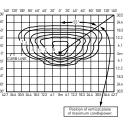
| Type III Mid w/ | BLS Distribution | | | | | | | |
|-----------------|------------------------------|---|------------------------------|---|------------------------------|---|------------------------------|---|
| Lumen | 3000K (70 CRI) | | 4000K (70 CRI) | | 5000K (90 CRI) | | 5700K (70 CRI) | |
| Package | Initial Delivered Lumens* | BUG Ratings ^{**} Per TM-15-20 |
| 4L | 2,510 | B1 U0 G1 | 2,620 | B1 U0 G1 | 1,780 | B0 U0 G1 | 2,620 | B1 U0 G1 |
| 6L | 3,760 | B1 U0 G1 | 3,920 | B1 U0 G1 | 2,670 | B1 U0 G1 | 3,920 | B1 U0 G1 |
| 9L | 5,650 | B1 U0 G1 | 5,875 | B1 U0 G1 | 4,000 | B1 U0 G1 | 5,875 | B1 U0 G1 |
| 11L | 6,900 | B1 U0 G2 | 7,200 | B1 U0 G2 | 4,890 | B1 U0 G1 | 7,200 | B1 U0 G2 |
| 16L | 10,075 | B2 U0 G2 | 10,450 | B2 U0 G2 | 7,100 | B1 U0 G2 | 10,450 | B2 U0 G2 |
| 22L | 13,800 | B2 U0 G2 | 14,375 | B2 U0 G2 | 9,775 | B2 U0 G2 | 14,375 | B2 U0 G2 |
| 30L | 18,800 | B3 U0 G3 | 19,600 | B3 U0 G3 | 13,350 | B2 U0 G2 | 19,600 | B3 U0 G3 |
| 40L | 25,100 | B3 U0 G3 | 26,200 | B3 U0 G3 | 17,800 | B3 U0 G3 | 26,200 | B3 U0 G3 |
| 50L | 31,400 | B3 U0 G4 | 32,700 | B3 U0 G4 | 22,200 | B3 U0 G3 | 32,700 | B3 U0 G4 |
| 65L | 40,800 | B3 U0 G4 | 42,500 | B4 U0 G4 | 28,900 | B3 U0 G4 | 42,500 | B4 U0 G4 |
| 75L | 47,100 | B4 U0 G5 | 49,000 | B4 U0 G5 | 33,300 | B3 U0 G4 | 49,000 | B4 U0 G5 |

* For more information on the IES BUG (Backlight-Uplight-Glare) Rating visit: https://www.ies.org/wp-content/uploads/2017/03/TM-15-11BUGRatingsAddendum.pdf. Valid with no tilt

3M W/OSQ-*-C-BLSF



RESTL Test Report#: PL17054-001A OSQM-C-16L-57K7-3M-UL-NM-WH-R w/ OSQ-M-C-BLSF Initial Delivered Lumens: 10,227



OSQL-C-40L-40K7-3M-UL w/OSQ-L-C-BLSF Mounting Height: 25' (7.6m) A.F.G. Initial Delivered Lumens: 26,200 Initial FC at grade

| Type III Mid | l Distribution w/OSQ | -*-C-BLSF | | | | | | |
|------------------|------------------------------|-------------------------------|------------------------------|-------------------------------|------------------------------|-------------------------------|------------------------------|-------------------------------|
| Lumon | 3000K (70 CRI) | 3000K (70 CRI) | | 4000K (70 CRI) | | 5000K (90 CRI) | | |
| Lumen Package | Initial Delivered Lumens* | BUG Ratings** Per TM-15-20 |
| 4L | 2,510 | B1 U1 G1 | 2,620 | B1 U1 G1 | 1,780 | B0 U1 G1 | 2,620 | B1 U1 G1 |
| 6L | 3,760 | B1 U1 G1 | 3,920 | B1 U1 G1 | 2,670 | B1 U1 G1 | 3,920 | B1 U1 G1 |
| 9L | 5,650 | B1 U1 G1 | 5,875 | B1 U1 G2 | 4,000 | B1 U1 G1 | 5,875 | B1 U1 G2 |
| 11L | 6,900 | B1 U1 G2 | 7,200 | B1 U1 G2 | 4,890 | B1 U1 G1 | 7,200 | B1 U1 G2 |
| 16L | 10,075 | B2 U1 G2 | 10,450 | B2 U1 G2 | 7,100 | B1 U1 G2 | 10,450 | B2 U1 G2 |
| 22L | 13,800 | B2 U2 G2 | 14,375 | B2 U2 G2 | 9,775 | B2 U1 G2 | 14,375 | B2 U2 G2 |
| 30L | 18,800 | B3 U2 G3 | 19,600 | B3 U2 G3 | 13,350 | B2 U2 G2 | 19,600 | B3 U2 G3 |
| 40L | 25,100 | B3 U2 G4 | 26,200 | B3 U2 G4 | 17,800 | B3 U2 G3 | 26,200 | B3 U2 G4 |
| 50L | 31,400 | B3 U2 G4 | 32,700 | B3 U2 G4 | 22,200 | B3 U2 G3 | 32,700 | B3 U2 G4 |
| 65L | 40,800 | B3 U2 G5 | 42,500 | B3 U2 G5 | 28,900 | B3 U2 G4 | 42,500 | B3 U2 G5 |
| 75L | 47,100 | B4 U2 G5 | 49,000 | B4 U2 G5 | 33,300 | B3 U2 G4 | 49,000 | B4 U2 G5 |

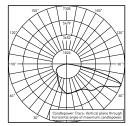
* Initial delivered lumens at 25°C (77°F). Actual production yield may vary between -10 and +10% of initial delivered lumens ** For more information on the IES BUG (Backlight-Uplight-Glare) Rating visit: <u>https://www.ies.org/wp-content/uploads/2017/03/TM-15-11BUGRatingsAddendum.pdf</u>. Valid with no tilt

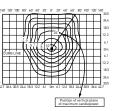
US: <u>creelighting.com</u> (800) 236-6800 Canada: <u>creelighting-canada.com</u> (800) 473-1234



All published luminaire photometric testing performed to IES LM-79 standards. To obtain an IES file specific to your project consult: https://creelighting.com/products/outdoor/area/osq-series

4M





RESTL Test Report #: PL17299-001A OSQM-C-16L-57K7-4M-UL-NM-WH Initial Delivered Lumens: 15,584

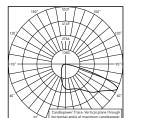
OSQL-C-40L-40K7-4M-UL Mounting Height: 25' (7.6m) A.F.G. Initial Delivered Lumens: 38,000 Initial FC at grade

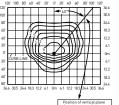
| Type IV Mid D | istribution | | | | | | | |
|------------------|------------------------------|-------------------------------|------------------------------|-------------------------------|------------------------------|-------------------------------|------------------------------|-------------------------------|
| 1 | 3000K (70 CRI) | 3000K (70 CRI) | | 4000K (70 CRI) | | 5000K (90 CRI) | | |
| Lumen Package | Initial Delivered Lumens* | BUG Ratings** Per TM-15-20 |
| 4L | 3,650 | B1 U0 G1 | 3,800 | B1 U0 G1 | 2,590 | B1 U0 G1 | 3,800 | B1 U0 G1 |
| 6L | 5,475 | B1 U0 G1 | 5,700 | B1 U0 G1 | 3,880 | B1 U0 G1 | 5,700 | B1 U0 G1 |
| 9L | 8,225 | B2 U0 G2 | 8,550 | B2 U0 G2 | 5,825 | B1 U0 G1 | 8,550 | B2 U0 G2 |
| 11L | 10,025 | B2 U0 G2 | 10,450 | B2 U0 G2 | 7,100 | B2 U0 G1 | 10,450 | B2 U0 G2 |
| 16L | 14,650 | B3 U0 G2 | 15,200 | B3 U0 G2 | 10,325 | B2 U0 G2 | 15,200 | B3 U0 G2 |
| 22L | 20,100 | B3 U0 G3 | 20,900 | B3 U0 G3 | 14,200 | B3 U0 G2 | 20,900 | B3 U0 G3 |
| 30L | 27,400 | B3 U0 G3 | 28,500 | B3 U0 G3 | 19,400 | B3 U0 G3 | 28,500 | B3 U0 G3 |
| 40L | 36,500 | B4 U0 G4 | 38,000 | B4 U0 G4 | 25,900 | B3 U0 G3 | 38,000 | B4 U0 G4 |
| 50L | 45,600 | B4 U0 G4 | 47,500 | B4 U0 G4 | 32,300 | B4 U0 G3 | 47,500 | B4 U0 G4 |
| 65L | 59,300 | B5 U0 G5 | 61,800 | B5 U0 G5 | 42,000 | B4 U0 G4 | 61,800 | B5 U0 G5 |
| 75L | 68,400 | B5 U0 G5 | 71,300 | B5 U0 G5 | 48,500 | B4 U0 G4 | 71,300 | B5 U0 G5 |

* Initial delivered lumens at 25°C (77°F). Actual production yield may vary between -10 and +10% of initial delivered lumens

tent/uploads/2017/03/TM-15-11BUGRatingsAddendum.pdf. Valid with no tilt ** For more information on the IES BUG (Backlight-Uplight-Glare) Rating visit: https://v

4B





OSQL-C-40L-40K7-4B-UL Mounting Height: 25' (7.6m) A.F.G. Initial Delivered Lumens: 24,000

Initial FC at grade

RESTL Test Report #: PL17367-001A OSQM-C-16L-57K7-4B-UL-NM-WH Initial Delivered Lumens: 9.812

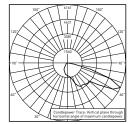
Type IV Mid w/BLS Distribution

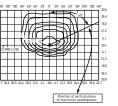
| Lumen Package | 3000K (70 CRI) | 3000K (70 CRI) | | 4000K (70 CRI) | | 5000K (90 CRI) | | |
|------------------|------------------------------|-------------------------------|------------------------------|-------------------------------|------------------------------|-------------------------------|------------------------------|-------------------------------|
| | Initial Delivered Lumens* | BUG Ratings** Per TM-15-20 |
| 4L | 2,300 | B1 U0 G0 | 2,400 | B1 U0 G0 | 1,630 | B0 U0 G0 | 2,400 | B1 U0 G0 |
| 6L | 3,440 | B1 U0 G1 | 3,590 | B1 U0 G1 | 2,440 | B1 U0 G0 | 3,590 | B1 U0 G1 |
| 9L | 5,175 | B1 U0 G1 | 5,400 | B1 U0 G1 | 3,670 | B1 U0 G1 | 5,400 | B1 U0 G1 |
| 11L | 6,325 | B1 U0 G1 | 6,600 | B1 U0 G1 | 4,480 | B1 U0 G1 | 6,600 | B1 U0 G1 |
| 16L | 9,225 | B2 U0 G2 | 9,575 | B2 U0 G2 | 6,525 | B1 U0 G1 | 9,575 | B2 U0 G2 |
| 22L | 12,625 | B2 U0 G2 | 13,175 | B2 U0 G2 | 8,950 | B2 U0 G2 | 13,175 | B2 U0 G2 |
| 30L | 17,200 | B3 U0 G2 | 18,000 | B3 U0 G2 | 12,225 | B2 U0 G2 | 18,000 | B3 U0 G2 |
| 40L | 23,000 | B3 U0 G3 | 24,000 | B3 U0 G3 | 16,300 | B3 U0 G2 | 24,000 | B3 U0 G3 |
| 50L | 28,700 | B3 U0 G3 | 29,900 | B3 U0 G3 | 20,400 | B3 U0 G2 | 29,900 | B3 U0 G3 |
| 65L | 37,400 | B3 U0 G4 | 38,900 | B3 U0 G4 | 26,500 | B3 U0 G3 | 38,900 | B3 U0 G4 |
| 75L | 43,100 | B4 U0 G4 | 44,900 | B4 U0 G4 | 30,500 | B3 U0 G3 | 44,900 | B4 U0 G4 |

* Initial delivered lumens at 25°C (77°F). Actual production yield may vary between -10 and +10% of initial delivered lumens ** For more information on the IES BUG (Backlight-Uplight-Glare) Rating visit: <u>https://www.ies.org/wp-content/uploads/2017/03/TM-15-11BUGRatingsAddendum.pdf</u>. Valid with no tilt

All published luminaire photometric testing performed to IES LM-79 standards. To obtain an IES file specific to your project consult: https://creelighting.com/products/outdoor/area/osq-series

4M W/OSQ-*-C-BLSF





PRELIMINARY RESTL Test Report OSQ Luminaire w/4M Optic w/OSQ-M-C-BLSF Initial Delivered Lumens: 9,345

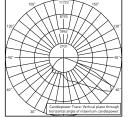
OSQL-C-40L-40K7-4M-UL w/OSQ-L-C-BLSF Mounting Height: 25' (7.6m) A.F.G. Initial Delivered Lumens: 24,000 Initial FC at grade

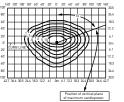
| Type IV Mid I | Distribution w/05Q | -*-C-BLSF | | | | | | |
|------------------|------------------------------|-------------------------------|------------------------------|-------------------------------|------------------------------|-------------------------------|------------------------------|-------------------------------|
| 1 | 3000K (70 CRI) | 3000K (70 CRI) | | 4000K (70 CRI) | | 5000K (90 CRI) | | |
| Lumen Package | Initial Delivered Lumens* | BUG Ratings** Per TM-15-20 |
| 4L | 2,300 | B0 U1 G1 | 2,400 | B1 U1 G1 | 1,630 | B0 U1 G1 | 2,400 | B1 U1 G1 |
| 6L | 3,440 | B1 U1 G1 | 3,590 | B1 U1 G1 | 2,440 | B1 U1 G1 | 3,590 | B1 U1 G1 |
| 9L | 5,175 | B1 U1 G1 | 5,400 | B1 U1 G1 | 3,670 | B1 U1 G1 | 5,400 | B1 U1 G1 |
| 11L | 6,325 | B1 U1 G2 | 6,600 | B1 U1 G2 | 4,480 | B1 U1 G1 | 6,600 | B1 U1 G2 |
| 16L | 9,225 | B1 U1 G2 | 9,575 | B1 U1 G2 | 6,525 | B1 U1 G2 | 9,575 | B1 U1 G2 |
| 22L | 12,625 | B2 U1 G2 | 13,175 | B2 U1 G2 | 8,950 | B1 U1 G2 | 13,175 | B2 U1 G2 |
| 30L | 17,200 | B2 U1 G3 | 18,000 | B2 U1 G3 | 12,225 | B2 U1 G2 | 18,000 | B2 U1 G3 |
| 40L | 23,000 | B3 U1 G3 | 24,000 | B3 U1 G3 | 16,300 | B2 U1 G2 | 24,000 | B3 U1 G3 |
| 50L | 28,700 | B3 U1 G4 | 29,900 | B3 U1 G4 | 20,400 | B2 U1 G3 | 29,900 | B3 U1 G4 |
| 65L | 37,400 | B3 U1 G4 | 38,900 | B3 U1 G4 | 26,500 | B3 U1 G4 | 38,900 | B3 U1 G4 |
| 75L | 43,100 | B3 U1 G5 | 44,900 | B3 U1 G5 | 30,500 | B3 U1 G4 | 44,900 | B3 U1 G5 |

* Initial delivered lumens at 25°C (77°F). Actual production yield may vary between -10 and +10% of initial delivered lumens

** For more information on the IES BUG (Backlight-Uplight-Glare) Rating visit: https://www.ies.org/wp-content/uploads/2017/03/TM-15-11BUGRatingsAddendum.pdf. Valid with no tilt

AF





PRELIMINARY RESTL Test Report OSQ Luminaire w/AF Optic Initial Delivered Lumens: 15,866

OSQL-C-40L-40K7-AF-UL Mounting Height: 25' (7.6m) A.F.G. Initial Delivered Lumens: 38,000 Initial FC at grade

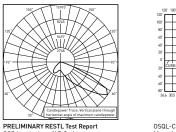
| Automotive | e FrontLineOptic™ Di | istribution | | | | | | |
|------------|------------------------------|---|------------------------------|---|-----------------------------|---|-----------------------------|-------------------------------|
| Lumen | 3000K (70 CRI) | 3000K (70 CRI) | | 4000K (70 CRI) | | 5000K (90 CRI) | | |
| Package | Initial Delivered Lumens* | BUG Ratings ^{**} Per TM-15-20 | Initial Delivered Lumens* | BUG Ratings ^{**} Per TM-15-20 | Initial Delivered Lumens | BUG Ratings ^{**} Per TM-15-20 | Initial Delivered Lumens | BUG Ratings** Per TM-15-20 |
| 4L | 3,650 | B1 U1 G1 | 3,800 | B1 U1 G1 | 2,590 | B1 U1 G1 | 3,800 | B1 U1 G1 |
| 6L | 5,475 | B1 U1 G1 | 5,700 | B1 U1 G1 | 3,880 | B1 U1 G1 | 5,700 | B1 U1 G1 |
| 9L | 8,225 | B2 U1 G1 | 8,550 | B2 U1 G1 | 5,825 | B1 U1 G1 | 8,550 | B2 U1 G1 |
| 11L | 10,025 | B2 U1 G2 | 10,450 | B2 U1 G2 | 7,100 | B2 U1 G1 | 10,450 | B2 U1 G2 |
| 16L | 14,650 | B3 U1 G2 | 15,200 | B3 U1 G2 | 10,325 | B2 U1 G2 | 15,200 | B3 U1 G2 |
| 22L | 20,100 | B3 U1 G3 | 20,900 | B3 U1 G3 | 14,200 | B2 U1 G2 | 20,900 | B3 U1 G3 |
| 30L | 27,400 | B3 U1 G3 | 28,500 | B3 U1 G3 | 19,400 | B3 U1 G3 | 28,500 | B3 U1 G3 |
| 40L | 36,500 | B4 U1 G3 | 38,000 | B4 U1 G3 | 25,900 | B3 U1 G3 | 38,000 | B4 U1 G3 |
| 50L | 45,600 | B4 U1 G4 | 47,500 | B4 U1 G4 | 32,300 | B3 U1 G3 | 47,500 | B4 U1 G4 |
| 65L | 59,300 | B5 U1 G4 | 61,800 | B5 U1 G4 | 42,000 | B4 U1 G3 | 61,800 | B5 U1 G4 |
| 75L | 68,400 | B5 U1 G4 | 71,300 | B5 U1 G4 | 48,500 | B4 U1 G4 | 71,300 | B5 U1 G4 |

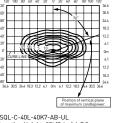
** Initial delivered lumens at 25°C (77°F). Actual production yield may vary between -10 and +10% of initial delivered lumens
** For more information on the IES BUG (Backlight-Uplight-Glare) Rating visit: https://www.ies.org/wp-content/uploads/2017/03/TM-15-11BUGRatingsAddendum.pdf. Valid with no tilt



All published luminaire photometric testing performed to IES LM-79 standards. To obtain an IES file specific to your project consult: https://creelighting.com/products/outdoor/area/osq-series

AB





PRELIMINARY RESTL Test Report OSQ Luminaire w/AB Optic Initial Delivered Lumens: 11,393

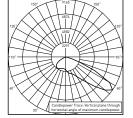
| 366 305 244 183 122 61 0m 61 122 183 244 305 |
|--|
| Position of vertical of maximum candle |
| OSQL-C-40L-40K7-AB-UL |
| Mounting Height: 25' (7.6m) A.F.G. |
| Initial Delivered Lumens: 26,200 |
| Initial FC at grade |

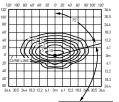
Automotive FrontLineOptic™ w/BLS Distribution

| Automotive | inonite incoptie in | , DES DISTINGUISI | | | | | | |
|------------------|------------------------------|-------------------------------|------------------------------|-------------------------------|------------------------------|-------------------------------|------------------------------|-------------------------------|
| 1 | 3000K (70 CRI) | 3000K (70 CRI) | | 4000K (70 CRI) | | 5000K (90 CRI) | | |
| Lumen Package | Initial Delivered Lumens* | BUG Ratings** Per TM-15-20 |
| 4L | 2,510 | B1 U1 G0 | 2,620 | B1 U1 G0 | 1,780 | B0 U1 G0 | 2,620 | B1 U1 G0 |
| 6L | 3,760 | B1 U1 G0 | 3,920 | B1 U1 G1 | 2,670 | B1 U1 G0 | 3,920 | B1 U1 G1 |
| 9L | 5,650 | B1 U1 G1 | 5,875 | B1 U1 G1 | 4,000 | B1 U1 G1 | 5,875 | B1 U1 G1 |
| 11L | 6,900 | B1 U1 G1 | 7,200 | B1 U1 G1 | 4,890 | B1 U1 G1 | 7,200 | B1 U1 G1 |
| 16L | 10,075 | B2 U1 G1 | 10,450 | B2 U1 G1 | 7,100 | B1 U1 G1 | 10,450 | B2 U1 G1 |
| 22L | 13,800 | B2 U1 G2 | 14,375 | B2 U1 G2 | 9,775 | B2 U1 G1 | 14,375 | B2 U1 G2 |
| 30L | 18,800 | B2 U1 G2 | 19,600 | B2 U1 G2 | 13,350 | B2 U1 G2 | 19,600 | B2 U1 G2 |
| 40L | 25,100 | B3 U1 G2 | 26,200 | B3 U1 G2 | 17,800 | B2 U1 G2 | 26,200 | B3 U1 G2 |
| 50L | 31,400 | B3 U1 G2 | 32,700 | B3 U1 G2 | 22,200 | B3 U1 G2 | 32,700 | B3 U1 G2 |
| 65L | 40,800 | B3 U1 G3 | 42,500 | B3 U1 G3 | 28,900 | B3 U1 G2 | 42,500 | B3 U1 G3 |
| 75L | 47,100 | B3 U1 G3 | 49,000 | B4 U1 G3 | 33,300 | B3 U1 G2 | 49,000 | B4 U1 G3 |

* Initial delivered lumens at 25°C (77°F). Actual production yield may vary between -10 and +10% of initial delivered lumens
** For more information on the IES BUG (Backlight-Uplight-Glare) Rating visit: https://www.ies.org/wp-content/uploads/2017/03/TM-15-11BUGRatingsAddendum.pdf. Valid with no tilt

AF W/OSQ-*-C-BLSF





PRELIMINARY RESTL Test Report OSQ Luminaire w/AF Optic w/OSQ-M-C-BLSF Initial Delivered Lumens: 9,783

OSQL-C-40L-40K7-AF-UL w/OSQ-L-C-BLSF Mounting Height: 25' (7.6m) A.F.G. Initial Delivered Lumens: 26,200 Initial FC at grade

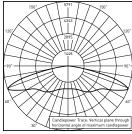
Automotive FrontLineOptic™ w/0SQ-*-C-BLSF

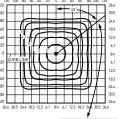
| Automotive Fr | ontLineOptic M w/O | SQ-*-C-BLSF | | | | | | |
|---------------|------------------------------|-------------------------------|------------------------------|-------------------------------|------------------------------|-------------------------------|------------------------------|-------------------------------|
| Lumen | 3000K (70 CRI) | | 4000K (70 CRI) | | 5000K (90 CRI) | | 5700K (70 CRI) | |
| Package | Initial Delivered Lumens* | BUG Ratings** Per TM-15-20 |
| 4L | 2,510 | B1 U1 G0 | 2,620 | B1 U1 G0 | 1,780 | B0 U1 G0 | 2,620 | B1 U1 G0 |
| 6L | 3,760 | B1 U1 G0 | 3,920 | B1 U1 G1 | 2,670 | B1 U1 G0 | 3,920 | B1 U1 G1 |
| 9L | 5,650 | B1 U1 G1 | 5,875 | B1 U1 G1 | 4,000 | B1 U1 G1 | 5,875 | B1 U1 G1 |
| 11L | 6,900 | B1 U1 G1 | 7,200 | B1 U1 G1 | 4,890 | B1 U1 G1 | 7,200 | B1 U1 G1 |
| 16L | 10,075 | B2 U1 G1 | 10,450 | B2 U1 G1 | 7,100 | B1 U1 G1 | 10,450 | B2 U1 G1 |
| 22L | 13,800 | B2 U1 G2 | 14,375 | B2 U1 G2 | 9,775 | B2 U1 G1 | 14,375 | B2 U1 G2 |
| 30L | 18,800 | B3 U1 G2 | 19,600 | B3 U1 G2 | 13,350 | B2 U1 G2 | 19,600 | B3 U1 G2 |
| 40L | 25,100 | B3 U1 G2 | 26,200 | B3 U1 G2 | 17,800 | B2 U1 G2 | 26,200 | B3 U1 G2 |
| 50L | 31,400 | B3 U1 G2 | 32,700 | B3 U1 G2 | 22,200 | B3 U1 G2 | 32,700 | B3 U1 G2 |
| 65L | 40,800 | B3 U1 G3 | 42,500 | B3 U1 G3 | 28,900 | B3 U1 G2 | 42,500 | B3 U1 G3 |
| 75L | 47,100 | B4 U1 G3 | 49,000 | B4 U1 G3 | 33,300 | B3 U1 G2 | 49,000 | B4 U1 G3 |

* Initial delivered lumens at 25°C (77°F). Actual production yield may vary between -10 and +10% of initial delivered lumens ** For more information on the IES BUG (Backlight-Uplight-Glare) Rating visit: <u>https://www.ies.org/wp-content/uploads/2017/03/TM-15-11BUGRatingsAddendum.pdf</u>. Valid with no tilt

All published luminaire photometric testing performed to IES LM-79 standards. To obtain an IES file specific to your project consult: https://creelighting.com/products/outdoor/area/osg-series

5M





RESTL Test Report #: PL17290-002A OSQM-C-16L-57K7-5M-UL-NM-WH Initial Delivered Lumens: 15,567

OSQL-C-40L-40K7-5M-UL Mounting Height: 25' (7.6m) A.F.G. Initial Delivered Lumens: 40,000 Initial FC at grade

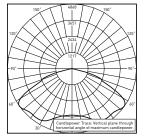
V M 1 B 1 1 1

| Type V Mid | Distribution | | | | | | | |
|------------------|------------------------------|---|------------------------------|-------------------------------|------------------------------|-------------------------------|------------------------------|---|
| Luman | 3000K (70 CRI) | 3000K (70 CRI) | | 4000K (70 CRI) | | 5000K (90 CRI) | | |
| Lumen Package | Initial Delivered Lumens* | BUG Ratings ^{**} Per TM-15-20 | Initial Delivered Lumens* | BUG Ratings** Per TM-15-20 | Initial Delivered Lumens* | BUG Ratings** Per TM-15-20 | Initial Delivered Lumens* | BUG Ratings ^{**} Per TM-15-20 |
| 4L | 3,840 | B2 U0 G1 | 4,000 | B2 U0 G1 | 2,720 | B2 U0 G1 | 4,000 | B2 U0 G1 |
| 6L | 5,750 | B3 U0 G1 | 6,000 | B3 U0 G1 | 4,080 | B2 U0 G1 | 6,000 | B3 U0 G1 |
| 9L | 8,650 | B3 U0 G1 | 9,000 | B3 U0 G1 | 6,125 | B3 U0 G1 | 9,000 | B3 U0 G1 |
| 11L | 10,550 | B3 U0 G2 | 11,000 | B3 U0 G2 | 7,475 | B3 U0 G1 | 11,000 | B3 U0 G2 |
| 16L | 15,400 | B4 U0 G2 | 16,000 | B4 U0 G2 | 10,875 | B3 U0 G2 | 16,000 | B4 U0 G2 |
| 22L | 21,100 | B4 U0 G2 | 22,000 | B4 U0 G2 | 14,950 | B4 U0 G2 | 22,000 | B4 U0 G2 |
| 30L | 28,800 | B5 U0 G3 | 30,000 | B5 U0 G3 | 20,400 | B4 U0 G2 | 30,000 | B5 U0 G3 |
| 40L | 38,400 | B5 U0 G3 | 40,000 | B5 U0 G4 | 27,200 | B5 U0 G3 | 40,000 | B5 U0 G4 |
| 50L | 48,000 | B5 U0 G4 | 50,000 | B5 U0 G4 | 34,000 | B5 U0 G3 | 50,000 | B5 U0 G4 |
| 65L | 62,400 | B5 U0 G5 | 65,000 | B5 U0 G5 | 44,200 | B5 U0 G4 | 65,000 | B5 U0 G5 |
| 75L | 72,000 | B5 U0 G5 | 75,000 | B5 U0 G5 | 51,000 | B5 U0 G4 | 75,000 | B5 U0 G5 |

* Initial delivered lumens at 25°C (77°F). Actual production yield may vary between -10 and +10% of initial delivered lumens ** For more information on the IES BUG (Backlight-Uplight-Glare) Rating visit: <u>https://www.ies.org/wp-content/uploads/201</u>

ploads/2017/03/TM-15-11BUGRatingsAddendum.pdf. Valid with no tilt

5N



RESTL Test Report #: PL17333-002A OSQM-C-16L-57K7-5N-UL-NM-WH Initial Delivered Lumens: 16,299

| 1207 1007 807 607 407 207 | 0' 20' 40' 60' 80' 100' 120' |
|------------------------------|--------------------------------|
| 120' | 45 36.6 |
| 100' | 30.5 |
| 80 | 24.4 |
| | |
| 41 12 | |
| 20 5 2 | |
| | |
| 20 CURB LINE | |
| | |
| | |
| | 183 |
| | 24.4 |
| 100' | 30.5 |
| 120 | 36.6 |
| 36.6 30.5 24.4 18.3 12.2 6.1 | 0m 6.1 12.2 18.3 244 30.5 36.6 |
| | / |
| | Position of vertical plane |

OSQL-C-40L-40K7-5N-UL Mounting Height: 25' (7.6m) A.F.G. Initial Delivered Lumens: 40,000 Initial FC at grade

Type V Narrow Distribution 3000K (70 CRI) 4000K (70 CRI) 5000K (90 CRI) 5700K (70 CRI) Lumen Initial Delivered BUG Ratings* Initial Delivered BUG Ratings* Initial Delivered BUG Ratings* Initial Delivered BUG Ratings* Package Per TM-15-20 Per TM-15-20 Per TM-15-20 Per TM-15-20 Lumens Lumens Lumens Lumens 4L 3.840 B2 U0 G0 4,000 B2 U0 G0 2,720 B1 U0 G0 4,000 B2 U0 G0 6L 5,750 B2 U0 G0 6,000 B2 U0 G1 4,080 B2 U0 G0 6,000 B2 U0 G1 8,650 B2 U0 G1 9,000 B3 U0 G1 6,125 B2 U0 G1 9,000 B3 U0 G1 9L 111 10.550 B3 U0 G1 11.000 B3 U0 G1 7.475 B2 U0 G1 11.000 B3 U0 G1 161 15.400 B3 U0 G1 16.000 B3 U0 G2 10,875 B3 U0 G1 16.000 B3 U0 G2 221 21.100 B4 U0 G2 22 000 B4 U0 G2 14 950 B3 U0 G1 22 000 B4 U0 G2 30L 28,800 B4 U0 G2 30,000 B5 U0 G2 20,400 B4 U0 G2 30.000 B5 U0 G2 40L 38,400 B5 U0 G2 40,000 B5 U0 G2 27,200 B4 U0 G2 40,000 B5 U0 G2 50L 48,000 B5 U0 G3 50,000 B5 U0 G3 B5 U0 G2 50,000 34,000 B5 U0 G3 65L 65,000 62,400 B5 U0 G3 65,000 B5 U0 G3 44,200 B5 U0 G2 B5 U0 G3 75L 72,000 B5 U0 G4 75,000 B5 U0 G4 51,000 B5 U0 G3 75,000 B5 U0 G4

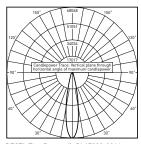
* Initial delivered lumens at 25°C (77°F). Actual production yield may vary between -10 and +10% of initial delivered lumens
** For more information on the IES BUG (Backlight-Uplight-Glare) Rating visit: https://www.ies.org/wp-content/uploads/2017/03/TM-15-11BUGRatingsAddendum.pdf. Valid with no tilt

US: creelighting.com (800) 236-6800 Canada: creelighting-canada.com (800) 473-1234

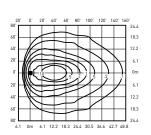


All published luminaire photometric testing performed to IES LM-79 standards. To obtain an IES file specific to your project consult: https://creelighting.com/products/outdoor/area/osq-series

33



RESTL Test Report #: PL17338-001A OSQM-C-16L-57K7-33-UL-NM-WH Initial Delivered Lumens: 16,127

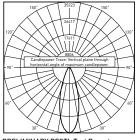


OSQL-C-40L-40K7-33-UL Mounting Height: 25' (7.6m) A.F.G., 60° Tilt Initial Delivered Lumens: 40,000 Initial FC at grade

| NEMA® 3x3 Distribution | | | | | | | |
|------------------------|---------------------------------|---------------------------------|---------------------------------|---------------------------------|--|--|--|
| | 3000K (70 CRI) | 4000K (70 CRI) | 5000K (90CRI) | 5700K (70 CRI) | | | |
| Lumen Package | Initial Delivered Lumens* | Initial Delivered Lumens* | Initial Delivered Lumens* | Initial Delivered Lumens* | | | |
| 4L | 3,840 | 4,000 | 2,720 | 4,000 | | | |
| 6L | 5,750 | 6,000 | 4,080 | 6,000 | | | |
| 9L | 8,650 | 9,000 | 6,125 | 9,000 | | | |
| 11L | 10,550 | 11,000 | 7,475 | 11,000 | | | |
| 16L | 15,400 | 16,000 | 10,875 | 16,000 | | | |
| 22L | 21,100 | 22,000 | 14,950 | 22,000 | | | |
| 30L | 28,800 | 30,000 | 20,400 | 30,000 | | | |
| 40L | 38,400 | 40,000 | 27,200 | 40,000 | | | |
| 50L | 48,000 | 50,000 | 34,000 | 50,000 | | | |
| 65L | 62,400 | 65,000 | 44,200 | 65,000 | | | |
| 75L | 72,000 | 75,000 | 51,000 | 75,000 | | | |

 Initial delivered lumens at 25°C (77°F). Actual production yield may vary between -10 and +10% of initial delivered lumens

44



PRELIMINARY RESTL Test Report OSQ Luminaire w/44 Optic Initial Delivered Lumens: 16,001

| 20' 0' 20' 40' 60' 80' 100' 120' 140' 160' 180' 200' 80' 24.4 |
|--|
| 60 183 |
| 40 12.2 |
| 20 6.1 |
| |
| |
| 40 12.2 |
| 60 18.3 |
| 80' 24.4 |
| 6.1 0m 6.1 12.2 18.3 24.4 30.5 36.6 42.7 48.8 54.9 61 |

OSQL-C-40L-40K7-44-UL Mounting Height: 25' (7.6m) A.F.G., 60° Tilt Initial Delivered Lumens: 40,000 Initial FC at grade

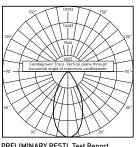
| NEMA® 4x4 Distribution | | | | | | | |
|------------------------|---------------------------------|---------------------------------|---------------------------------|---------------------------------|--|--|--|
| | 3000K (70 CRI) | 4000K (70 CRI) | 5000K (90CRI) | 5700K (70 CRI) | | | |
| Lumen Package | Initial Delivered Lumens* | Initial Delivered Lumens* | Initial Delivered Lumens* | Initial Delivered Lumens* | | | |
| 4L | 3,840 | 4,000 | 2,720 | 4,000 | | | |
| 6L | 5,750 | 6,000 | 4,080 | 6,000 | | | |
| 9L | 8,650 | 9,000 | 6,125 | 9,000 | | | |
| 11L | 10,550 | 11,000 | 7,475 | 11,000 | | | |
| 16L | 15,400 | 16,000 | 10,875 | 16,000 | | | |
| 22L | 21,100 | 22,000 | 14,950 | 22,000 | | | |
| 30L | 28,800 | 30,000 | 20,400 | 30,000 | | | |
| 40L | 38,400 | 40,000 | 27,200 | 40,000 | | | |
| 50L | 48,000 | 50,000 | 34,000 | 50,000 | | | |
| 65L | 62,400 | 65,000 | 44,200 | 65,000 | | | |
| 75L | 72,000 | 75,000 | 51,000 | 75,000 | | | |

 Initial delivered lumens at 25°C (77°F). Actual production yield may vary between -10 and +10% of initial delivered lumens

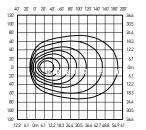
CREE ÷ LIGHTING

All published luminaire photometric testing performed to IES LM-79 standards. To obtain an IES file specific to your project consult: <u>https://creelighting.com/products/outdoor/area/osq-series</u>

55



PRELIMINARY RESTL Test Report OSQ Luminaire w/55 Optic Initial Delivered Lumens: 15,967

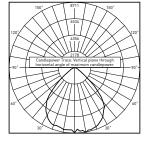


OSQL-C-40L-40K7-55-UL Mounting Height: 25' (7.6m) A.F.G., 60° Tilt Initial Delivered Lumens: 40,000 Initial FC at grade

| NEMA® 5x5 Distribution | | | | | | | | |
|------------------------|---------------------------------|---------------------------------|---------------------------------|---------------------------------|--|--|--|--|
| | 3000K (70 CRI) | 4000K (70 CRI) | 5000K (90CRI) | 5700K (70 CRI) | | | | |
| Lumen Package | Initial Delivered Lumens* | Initial Delivered Lumens* | Initial Delivered Lumens* | Initial Delivered Lumens* | | | | |
| 4L | 3,840 | 4,000 | 2,720 | 4,000 | | | | |
| 6L | 5,750 | 6,000 | 4,080 | 6,000 | | | | |
| 9L | 8,650 | 9,000 | 6,125 | 9,000 | | | | |
| 11L | 10,550 | 11,000 | 7,475 | 11,000 | | | | |
| 16L | 15,400 | 16,000 | 10,875 | 16,000 | | | | |
| 22L | 21,100 | 22,000 | 14,950 | 22,000 | | | | |
| 30L | 28,800 | 30,000 | 20,400 | 30,000 | | | | |
| 40L | 38,400 | 40,000 | 27,200 | 40,000 | | | | |
| 50L | 48,000 | 50,000 | 34,000 | 50,000 | | | | |
| 65L | 62,400 | 65,000 | 44,200 | 65,000 | | | | |
| 75L | 72,000 | 75,000 | 51,000 | 75,000 | | | | |

 Initial delivered lumens at 25°C (77°F). Actual production yield may vary between -10 and +10% of initial delivered lumens

66



PRELIMINARY RESTL Test Report OSQ Luminaire w/66 Optic Initial Delivered Lumens: 15,952

| 41 120' | J 2 | or c | 7 21 | ў 41 | J 6 | 0°8 | 0° 10 | 00' 1: | 201 1 | 40° 14 | 50" 11 | 30' 36.6 |
|------------|-----|------|------|--------------|---------------|--------------|--------|--------------|----------|----------|--------------|-------------|
| 100' | | | | | | | | | | | | 30.5 |
| 80' | | | | | | | - | | | | | 24.4 |
| | | | | ~ | 0 | - | | K | | N | | |
| 60' | | | | 2 | | | | | | | | 18.3 |
| 40' | _ | 1 | 1 | | 1 | \mathbf{k} | N | - | λ | - | \mathbf{h} | 12.2 |
| 20' | | H | H | ħ | \rightarrow | \uparrow | ++ | | ++ | - | + | 6.1 |
| ď | | LW/ | ¥. | \mathbf{v} | | | | | | | | 0m |
| 20' | | IW | M. | 10 g | 2 | 1 | .5 | | .2 | | 1 | 6.1 |
| | | | W) | C | ノ | 7 | 17 | | 17 | | 7 | |
| 40' | - | - | 2 | ₹ | - | ٢, | ٢- | | 1 | | / | 12.2 |
| 60' | | _ | 17 | 24 | | r | | \checkmark | <u> </u> | \vdash | | 18.3 |
| 80' | | | | \geq | | - | \sim | <u> </u> | | Ľ | | 24.4 |
| 100' | | | | | | \sim | - | \vdash | 1 | | | 30.5 |
| | | | | | | | | | | | | |
| 120' | _ | | | | | | | | <u> </u> | 2.7 4 | | 36.6 |

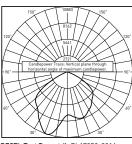
OSQL-C-40L-40K7-66-UL Mounting Height: 25' (7.6m) A.F.G., 60° Tilt Initial Delivered Lumens: 40,000 Initial FC at grade

| NEMA® 6x6 Distribution | | | | | | | |
|------------------------|---------------------------------|---------------------------------|---------------------------------|---------------------------------|--|--|--|
| | 3000K (70 CRI) | 4000K (70 CRI) | 5000K (90CRI) | 5700K (70 CRI) | | | |
| Lumen Package | Initial Delivered Lumens* | Initial Delivered Lumens* | Initial Delivered Lumens* | Initial Delivered Lumens* | | | |
| 4L | 3,840 | 4,000 | 2,720 | 4,000 | | | |
| 6L | 5,750 | 6,000 | 4,080 | 6,000 | | | |
| 9L | 8,650 | 9,000 | 6,125 | 9,000 | | | |
| 11L | 10,550 | 11,000 | 7,475 | 11,000 | | | |
| 16L | 15,400 | 16,000 | 10,875 | 16,000 | | | |
| 22L | 21,100 | 22,000 | 14,950 | 22,000 | | | |
| 30L | 28,800 | 30,000 | 20,400 | 30,000 | | | |
| 40L | 38,400 | 40,000 | 27,200 | 40,000 | | | |
| 50L | 48,000 | 50,000 | 34,000 | 50,000 | | | |
| 65L | 62,400 | 65,000 | 44,200 | 65,000 | | | |
| 75L | 72,000 | 75,000 | 51,000 | 75,000 | | | |

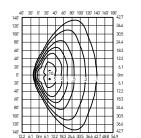
 Initial delivered lumens at 25°C (77°F). Actual production yield may vary between -10 and +10% of initial delivered lumens

All published luminaire photometric testing performed to IES LM-79 standards. To obtain an IES file specific to your project consult: https://creelighting.com/products/outdoor/area/osq-series

75



RESTL Test Report #: PL17352-001A OSQM-C-16L-57K7-75-UL-NM-WH Initial Delivered Lumens: 16,120



OSQL-C-40L-40K7-75-UL Mounting Height: 25' (7.6m) A.F.G., 60° Tilt Initial Delivered Lumens: 40,000 Initial FC at grade

| NEMA® 7x5 Distribution | | | | | | | |
|------------------------|---------------------------------|---------------------------------|---------------------------------|---------------------------------|--|--|--|
| | 3000K (70 CRI) | 4000K (70 CRI) | 5000K (90CRI) | 5700K (70 CRI) | | | |
| Lumen Package | Initial Delivered Lumens* | Initial Delivered Lumens* | Initial Delivered Lumens* | Initial Delivered Lumens* | | | |
| 4L | 3,840 | 4,000 | 2,720 | 4,000 | | | |
| 6L | 5,750 | 6,000 | 4,080 | 6,000 | | | |
| 9L | 8,650 | 9,000 | 6,125 | 9,000 | | | |
| 11L | 10,550 | 11,000 | 7,475 | 11,000 | | | |
| 16L | 15,400 | 16,000 | 10,875 | 16,000 | | | |
| 22L | 21,100 | 22,000 | 14,950 | 22,000 | | | |
| 30L | 28,800 | 30,000 | 20,400 | 30,000 | | | |
| 40L | 38,400 | 40,000 | 27,200 | 40,000 | | | |
| 50L | 48,000 | 50,000 | 34,000 | 50,000 | | | |
| 65L | 62,400 | 65,000 | 44,200 | 65,000 | | | |
| 75L | 72,000 | 75,000 | 51,000 | 75,000 | | | |

 Initial delivered lumens at 25°C (77°F). Actual production yield may vary between -10 and +10% of initial delivered lumens



Luminaire EPA

| Adjustable | Arm Mount - 09 | Q-ML-C-AA Weight: Me | dium - 19.3 lbs. (8.8kg); L | arge - 28.4 lbs. (12.9kg); | OSQ-X-C-DA Weigh | nt: Extra Large - 48.6 lbs. (2 | 22kg) | | |
|------------|---|--|--|---|-----------------------------------|--------------------------------|----------------------------|--|--|
| | Single | 2 @ 180° | 2 @ 90° | 3 @ 90° | 3 @ 120° | 3 @ 180° | 4 @ 180° | 4 @ 90° | |
| | Tenon Configuration (0°-90° Tilt); If used with Cree Lighting tenons, please add tenon EPA with Luminaire EPA | | | | | | | | |
| Luminaire | PB-1A*; PT-1*; PW-1A3** | PB-2A*; PB-2R2.375; PD-244(180)*; PT-2(180)*; PW-2A3** | PB-2A*: PB-2R2.375; PD-2A4(90)*; PT-2(90)*; PW-2A3** | PB-3A*; PB-3R2.375; PD-3A4(90)*; PT-3(90)* | PB-3A*; PB-3R2.375; PT-3(120)* | PB-3A*; PB-3R2:375 | PB-4A*(180); PB-4R2.375 | PB-4A*(90); PB-4R2.375; PD-4A4(90)*; PT-4(90)* | |
| | 0° Tilt | | | | | | | | |
| OSQM | 0.69 | 1.38 | 1.11 | 1.80 | 2.01 | 1.38 | 1.73 | 2.22 | |
| OSQL | 0.78 | 1.55 | 1.30 | 2.07 | 2.33 | 1.55 | 1.94 | 2.60 | |
| OSQX | 0.98 | 1.95 | 1.65 | 2.63 | 2.97 | 1.95 | 2.44 | 3.31 | |
| | 45° Tilt | | | | | | | | |
| OSQM | 1.41 | 2.81 | 2.10 | 3.50 | 4.23 | 4.22 | 5.63 | 4.19 | |
| OSQL | 2.62 | 5.23 | 3.39 | 6.01 | 6.91 | 7.85 | 10.46 | 6.79 | |
| OSQX | 4.35 | 8.70 | 5.33 | 9.68 | 9.65 | 13.05 | 17.40 | 10.66 | |
| | 90° Tilt*** | | | | | | | | |
| OSQM | 1.89 | 3.79 | 2.58 | 4.48 | 5.56 | 5.68 | 7.57 | 5.17 | |
| OSQL | 3.52 | 7.03 | 4.29 | 7.81 | 9.14 | 10.55 | 14.07 | 8.59 | |
| OSQX | 5.84 | 11.68 | 6.82 | 12.66 | 12.78 | 17.52 | 23.36 | 13.63 | |

* Specify pole size: 3 (3"), 4 (4"), 5 (5"), or 6 (6") for single, double or triple luminaire orientation or 4 (4"), 5 (5"), or 6 (6") for quad luminaire orientation ** These EPA values must be multiplied by the following ratio: Fixture Mounting Height/Total Pole Height. Specify pole size: 3 (3"), 4 (4"), 5 (5"), or 6 (6") *** PD-2A4(90), PT-2(90), PD-3A4(90), PT-4(90) are not compatible with 90 degree tilt DT 8. PD entiplieme traces are not with force with 90 CPV lumines for compatible with 90 degree tilt

+ PT & PD aluminum tenons are not suitable for use with OSQX luminaires.

Tenon EPA

| Part Number | EPA |
|------------------|------|
| PB-1A* | None |
| PB-2A* | 0.82 |
| PB-3A* | 1.52 |
| PB-4A*(180) | 2.22 |
| PB-4A*(90) | 1.11 |
| PB-2R2.375 | 0.92 |
| PB-3R2.375 | 1.62 |
| PB-4R2.375 | 2.32 |
| PD Series Tenons | 0.09 |
| PT Series Tenons | 0.10 |
| PW-1A3** | 0.47 |
| PW-2A3** | 0.94 |
| WM-2 | 0.08 |
| WM-4 | 0.25 |
| WM-DM | None |

Tenons and Brackets[‡] (must specify color)

Square Internal Mount Vertical Tenons (Steel) - Mounts to 3-6" (76-152mm) square aluminum or steel poles PB-4A*(90) - 90° Quad

PB-1A* - Single PB-2A* - 180° Twin PB-3A* - 180° Triple

PB-4A*(180) - 180° Quad

PD-3A4(90) - 90° Triple

Square Internal Mount Horizontal Tenons (Aluminum)

- Mounts to 4" (102mm) square aluminum or steel poles - Not for use with OSQX luminaires

PD-2A4(90) - 90° Twin

PD-2A4(180) - 180° Twin

PD-4A4(90) - 90° Quad

Wall Mount Brackets - Mounts to wall or roof

WM-2 - Horizontal for OSQ-ML-C-AA or OSQ-X-C-AA mounts WM-4 – L-Shape for OSQ-ML-C-AA or OSQ-X-C-AA mounts WM-DM - Plate for OSQ-ML-C-DA or OSQ-X-C-DA mounts

Round External Mount Vertical Tenons (Steel)

- Mounts to 2.375" (60mm) O.D. round aluminum or steel poles or tenons PB-2R2.375 - Twin PB-4R2.375 - Quad

PB-3R2.375 - Triple

Round External Mount Horizontal Tenons (Aluminum)

- Mounts to 2.375" (60mm) 0.D. round aluminum or steel poles or tenons

PW-2A3** - Double

- Mounts to square pole with PB-1A* tenon

- Not for use with OSQX luminaires

PT-1 – Single (Vertical) PT-2(90) – 90° Twin PT-3(90) - 90° Triple PT-3(120) - 120° Triple

PT-2(180) - 180° Twin PT-4(90) - 90° Quad

Mid-Pole Bracket

- Mounts to square pole PW-1A3** – Single

Ground Mount Post

- For ground-mounted flood luminaires PGM-1 - for OSQ-ML-C-AA or OSQ-X-C-AA mounts

* Refer to the Bracket and Tenons spec sheet for more details

* Specify pole size: 3 (3"), 4 (4"), 5 (5"), or 6 (6") for single, double or triple luminaire orientation or 4 (4"), 5 (5"), or 6 (6") for quad luminaire orientation * These EPA values must be multiplied by the following ratio: Fixture Mounting Height/Total Pole Height. Specify pole size: 3 (3"), 4 (4"), 5 (5"), or 6 (6")



Luminaire EPA

| Direct Arm Mou | Direct Arm Mount – OSQ-ML-C-DA Weight: Medium - 19.7 lbs. [8.9kg]; Large - 28.8 lbs. (13.1kg]; OSQ-X-C-DA Weight: Extra Large - 45.8 lbs. (20.8kg) | | | | | | | | |
|----------------|--|----------|----------|---------|----------|---------|--|--|--|
| | Single | 2 @ 180° | 2 @ 90° | 3 @ 90° | 3 @ 120° | 4 ៧ 90° | | | |
| Luminaire | •- | | ∎ | ₽₹₽ | *** | | | | |
| OSQM | 0.63 | 1.26 | 0.98 | 1.61 | 1.79 | 1.97 | | | |
| OSQL | 0.72 | 1.45 | 1.24 | 1.97 | 2.23 | 2.49 | | | |
| OSQX | 0.91 | 1.83 | 1.52 | 2.43 | 2.74 | 3.04 | | | |

Direct Mount Configurations

| Compatibility with Direct Mount Brackets | | | | | | | | | |
|--|---------|----------|---------|----------|---------|--|--|--|--|
| Size | 2 @ 90° | 2 @ 180° | 3 @ 90° | 3 @ 120° | 4 @ 90° | | | | |
| 3" Square | | | | | | | | | |
| Medium/Large | × | * | * | N/A | ✓ | | | | |
| Extra Large | N/A | ✓ | N/A | N/A | N/A | | | | |
| 3" Round | | | | | | | | | |
| Medium/Large | N/A | ✓ | N/A | ✓ | N/A | | | | |
| Extra Large | N/A | N/A | N/A | N/A | N/A | | | | |
| 4" Square | | | | | | | | | |
| Medium/Large | ✓ | ✓ | ✓ | N/A | ✓ | | | | |
| Extra Large | ✓ | ✓ | ✓ | N/A | ✓ | | | | |
| 4" Round | | | | | | | | | |
| Medium/Large | ✓ | ✓ | ✓ | ✓ | ✓ | | | | |
| Extra Large | ✓ | ✓ | ✓ | ✓ | ✓ | | | | |
| 5" Square | | | | | | | | | |
| Medium/Large | ✓ | ✓ | ✓ | N/A | ✓ | | | | |
| Extra Large | ✓ | ✓ | ✓ | N/A | ✓ | | | | |
| 5" Round | | | | | | | | | |
| Medium/Large | ✓ | ✓ | ✓ | * | ✓ | | | | |
| Extra Large | ✓ | ✓ | ✓ | ✓ | ✓ | | | | |
| 6" + Square | | | | | | | | | |
| Medium/Large | ✓ | ✓ | ✓ | N/A | ✓ | | | | |
| Extra Large | ✓ | × | × | N/A | ✓ | | | | |
| 6" + Round | | | | | | | | | |
| Medium/Large | × | × | × | × | ✓ | | | | |
| Extra Large | ✓ | ✓ | ✓ | ✓ | ✓ | | | | |

0.5" (13mm) _ Hole 2 Required

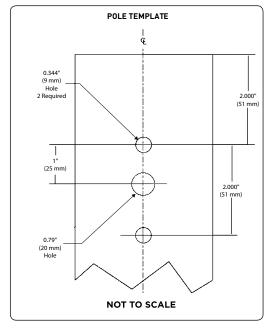
. (25 mm)

0.79" (20 mm)

Hole

Fixture Mounting Drill Pattern for OSQ-ML-C-DA Mount

Note: When using with Cree Lighting poles, order the BLANK Fixture Mounting Drill Pattern.



Fixture Mounting Drill Pattern for OSQ-X-C-DA

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Note: When using with Cree Lighting poles, order the Q Fixture Mounting Drill Pattern.

Luminaire EPA

| Trunnion Mount – OS Medium - 23.2 lbs. (10 Large - 32.3 lbs. (14.7 |).5kg); | | | | | | | |
|---|---------|--|--|--|--|--|--|--|
| Single | | | | | | | | |
| Medium Large | | | | | | | | |
| 0° Tilt | | | | | | | | |
| 0.69 | 0.78 | | | | | | | |
| 45° Tilt | | | | | | | | |
| 1.41 | 2.62 | | | | | | | |
| 90° Tilt | | | | | | | | |
| 1.89 | 3.52 | | | | | | | |

CREE + LIGHTING

2.000" (51 mm)

2.000" (51 mm)

The Field Adjustable Output option enables the OSQ area luminaires to be tuned to the exact needs of a particular application through multiple levels of adjustment. When ordered with the Q option, the luminaire will be shipped from the factory at the selected Q setting and will be fully adjustable between the nine settings. When ordered with the N option, the luminaire will include an ANSI C136.15-2020 utility label that indicates the wattage (rounded to nearest 10W), the lumen output (rounded to nearest 1000 lumens), and the CCT of the luminaire at the selected lumen output. Additional dimming functionality is available when a dimming control (by others) is used in the 7-Pin receptacle.

Locked Lumen Output (X8/X7/X6/X5/X4/X3/X2/X1) Option Description:

The Locked Lumen Output option on this page permanently locks the lumen output on the OSQ area luminaire to the setting selected. When ordered with the X option, the luminaire will be shipped from the factory at the lumen output setting selected and will only be able to be adjusted down in the field through a dimming control (by others). When ordered with the N option, the luminaire will include a utility label that indicates the wattage, lumen output, and CCT of the setting selected.

Q & X Option Power & Lumen Data – 4L Lumen Package

| - 4 | | System | Lumen Values | 5 | | | Utility | Utility Label L | umens | | |
|-----------------------|--------------|-------------------|--------------|-----------|---------------------|----------|------------------|-----------------|-----------|---------------------|----------|
| Q/X Option Setting | CCT/CRI | Watts 120-277V | Asymmetric | Symmetric | 2M, 3M, AF w/BLS | 4M w/BLS | Label Wattage | Asymmetric | Symmetric | 2M, 3M, AF w/BLS | 4M w/BLS |
| | 30K (70 CRI) | | 3,650 | 3,840 | 2,510 | 2,300 | | 4000 L | 4000 L | 3000 L | 2000 L |
| Q9 | 40K (70 CRI) | | 3,800 | 4,000 | 2,620 | 2,400 | | 4000 L | 4000 L | 3000 L | 2000 L |
| (Full Power) | 50K (90 CRI) | 26 | 2,590 | 2,720 | 1,780 | 1,630 | - 30 | 3000 L | 3000 L | 2000 L | 2000 L |
| | 57K (70 CRI) | | 3,800 | 4,000 | 2,620 | 2,400 | - | 4000 L | 4000 L | 3000 L | 2000 L |
| | 30K (70 CRI) | | 3,480 | 3,660 | 2,390 | 2,190 | | 3000 L | 4000 L | 2000 L | 2000 L |
| 00.000 | 40K (70 CRI) | | 3,630 | 3,820 | 2,500 | 2,290 | | 4000 L | 4000 L | 3000 L | 2000 L |
| Q8/X8 | 50K (90 CRI) | 24 | 2,460 | 2,590 | 1,690 | 1,550 | 20 | 2000 L | 3000 L | 2000 L | 2000 L |
| | 57K (70 CRI) | | 3,630 | 3,820 | 2,500 | 2,290 | - | 4000 L | 4000 L | 3000 L | 2000 L |
| | 30K (70 CRI) | | 3,340 | 3,510 | 2,300 | 2,100 | | 3000 L | 4000 L | 2000 L | 2000 L |
| 054/5 | 40K (70 CRI) | | 3,480 | 3,660 | 2,390 | 2,190 | | 3000 L | 4000 L | 2000 L | 2000 L |
| Q7/X7 | 50K (90 CRI) | - 23 | 2,370 | 2,490 | 1,630 | 1,490 | - 20 | 2000 L | 2000 L | 2000 L | 1000 L |
| | 57K (70 CRI) | | 3,480 | 3,660 | 2,390 | 2,190 | | 3000 L | 4000 L | 2000 L | 2000 L |
| | 30K (70 CRI) | | 3,220 | 3,390 | 2,220 | 2,030 | | 3000 L | 3000 L | 2000 L | 2000 L |
| 0/ 1/ | 40K (70 CRI) | - 22 | 3,360 | 3,540 | 2,310 | 2,120 | 20 | 3000 L | 4000 L | 2000 L | 2000 L |
| Q6/X6 | 50K (90 CRI) | 22 | 2,280 | 2,400 | 1,570 | 1,440 | _ 20 | 2000 L | 2000 L | 2000 L | 1000 L |
| | 57K (70 CRI) | | 3,360 | 3,540 | 2,310 | 2,120 | | 3000 L | 4000 L | 2000 L | 2000 L |
| | 30K (70 CRI) | | 2,950 | 3,100 | 2,030 | 1,860 | _ | 3000 L | 3000 L | 2000 L | 2000 L |
| Q5/X5 | 40K (70 CRI) | - 20 | 3,070 | 3,230 | 2,110 | 1,930 | - 20 | 3000 L | 3000 L | 2000 L | 2000 L |
| QD/XD | 50K (90 CRI) | 20 | 2,090 | 2,200 | 1,440 | 1,320 | 20 | 2000 L | 2000 L | 1000 L | 1000 L |
| | 57K (70 CRI) | | 3,070 | 3,230 | 2,110 | 1,930 | | 3000 L | 3000 L | 2000 L | 2000 L |
| | 30K (70 CRI) | | 2,680 | 2,820 | 1,840 | 1,690 | | 3000 L | 3000 L | 2000 L | 2000 L |
| O/N/ | 40K (70 CRI) | 10 | 2,790 | 2,940 | 1,920 | 1,760 | 20 | 3000 L | 3000 L | 2000 L | 2000 L |
| Q4/X4 | 50K (90 CRI) | - 18 | 1,900 | 2,000 | 1,310 | 1,200 | - 20 | 2000 L | 2000 L | 1000 L | 1000 L |
| | 57K (70 CRI) | | 2,790 | 2,940 | 1,920 | 1,760 | | 3000 L | 3000 L | 2000 L | 2000 L |
| | 30K (70 CRI) | | 2,470 | 2,600 | 1,700 | 1,560 | | 2000 L | 3000 L | 2000 L | 2000 L |
| Q3/X3 | 40K (70 CRI) | 16 | 2,580 | 2,710 | 1,770 | 1,620 | 20 | 3000 L | 3000 L | 2000 L | 2000 L |
| Q3/X3 | 50K (90 CRI) | 10 | 1,750 | 1,840 | 1,200 | 1,100 | 20 | 2000 L | 2000 L | 1000 L | 1000 L |
| | 57K (70 CRI) | | 2,580 | 2,710 | 1,770 | 1,620 | | 3000 L | 3000 L | 2000 L | 2000 L |
| | 30K (70 CRI) | | 2,220 | 2,340 | 1,530 | 1,400 | | 2000 L | 2000 L | 2000 L | 1000 L |
| Q2/X2 | 40K (70 CRI) | 15 | 2,320 | 2,440 | 1,600 | 1,460 | 20 | 2000 L | 2000 L | 2000 L | 1000 L |
| 42/12 | 50K (90 CRI) | 15 | 1,580 | 1,660 | 1,090 | 990 | 20 | 2000 L | 2000 L | 1000 L | 1000 L |
| | 57K (70 CRI) | | 2,320 | 2,440 | 1,600 | 1,460 | | 2000 L | 2000 L | 2000 L | 1000 L |
| | 30K (70 CRI) | | 1,970 | 2,070 | 1,350 | 1,240 | | 2000 L | 2000 L | 1000 L | 1000 L |
| Q1/X1 | 40K (70 CRI) | - 13 | 2,050 | 2,160 | 1,410 | 1,290 | 10 | 2000 L | 2000 L | 1000 L | 1000 L |
| QI/AI | 50K (90 CRI) | 13 | 1,400 | 1,470 | 960 | 880 | | 1000 L | 1000 L | 1000 L | 1000 L |
| | 57K (70 CRI) | | 2,050 | 2,160 | 1,410 | 1,290 | | 2000 L | 2000 L | 1000 L | 1000 L |



The Field Adjustable Output option enables the OSQ area luminaires to be tuned to the exact needs of a particular application through multiple levels of adjustment. When ordered with the Q option, the luminaire will be shipped from the factory at the selected Q setting and will be fully adjustable between the nine settings. When ordered with the N option, the luminaire will include an ANSI C136.15-2020 utility label that indicates the wattage (rounded to nearest 10W), the lumen output (rounded to nearest 1000 lumens), and the CCT of the luminaire at the selected lumen output. Additional dimming functionality is available when a dimming control (by others) is used in the 7-Pin receptacle.

Locked Lumen Output (X8/X7/X6/X5/X4/X3/X2/X1) Option Description:

The Locked Lumen Output option on this page permanently locks the lumen output on the OSQ area luminaire to the setting selected. When ordered with the X option, the luminaire will be shipped from the factory at the lumen output setting selected and will only be able to be adjusted down in the field through a dimming control (by others). When ordered with the N option, the luminaire will include a utility label that indicates the wattage, lumen output, and CCT of the setting selected.

Q & X Option Power & Lumen Data – 6L Lumen Package

| | | System | Lumen Value | 5 | | | Utility | Utility Label Lumens | | | |
|-----------------------|-------------------|-------------------|-------------|-----------|---------------------|----------|------------------|----------------------|-----------|---------------------|----------|
| Q/X Option Setting | CCT/CRI | Watts 120-480V | Asymmetric | Symmetric | 2M, 3M, AF w/BLS | 4M w/BLS | Label Wattage | Asymmetric | Symmetric | 2M, 3M, AF w/BLS | 4M w/BLS |
| | 30K (70 CRI) | | 5,475 | 5,750 | 3,760 | 3,440 | | 5000 L | 6000 L | 4000 L | 3000 L |
| Q9 | 40K (70 CRI) | - | 5,700 | 6,000 | 3,920 | 3,590 | | 6000 L | 6000 L | 4000 L | 4000 L |
| (Full Power) | 50K (90 CRI) | - 37 | 3,880 | 4,080 | 2,670 | 2,440 | 40 | 4000 L | 4000 L | 3000 L | 2000 L |
| | 57K (70 CRI) | - | 5,700 | 6,000 | 3,920 | 3,590 | | 6000 L | 6000 L | 4000 L | 4000 L |
| | 30K (70 CRI) | | 5,200 | 5,475 | 3,580 | 3,280 | | 5000 L | 5000 L | 4000 L | 3000 L |
| | 40K (70 CRI) | | 5,450 | 5,725 | 3,740 | 3,430 | 1 | 5000 L | 6000 L | 4000 L | 3000 L |
| Q8/X8 | 50K (90 CRI) | - 34 | 3,700 | 3,890 | 2,540 | 2,330 | - 30 | 4000 L | 4000 L | 3000 L | 2000 L |
| | 57K (70 CRI) | - | 5,450 | 5,725 | 3,740 | 3,430 | - | 5000 L | 6000 L | 4000 L | 3000 L |
| | 30K (70 CRI) | | 4,990 | 5,250 | 3,430 | 3,140 | | 5000 L | 5000 L | 3000 L | 3000 L |
| 05.4/5 | 40K (70 CRI) | | 5,200 | 5,475 | 3,580 | 3,280 | | 5000 L | 5000 L | 4000 L | 3000 L |
| Q7/X7 | 50K (90 CRI) | 32 | 3,550 | 3,730 | 2,440 | 2,230 | - 30 | 4000 L | 4000 L | 2000 L | 2000 L |
| | 57K (70 CRI) | - | 5,200 | 5,475 | 3,580 | 3,280 | | 5000 L | 5000 L | 4000 L | 3000 L |
| | 30K (70 CRI) | | 4,820 | 5,075 | 3,320 | 3,040 | | 5000 L | 5000 L | 3000 L | 3000 L |
| | 40K (70 CRI) | | 5,050 | 5,300 | 3,470 | 3,170 | | 5000 L | 5000 L | 3000 L | 3000 L |
| Q6/X6 | 50K (90 CRI) | 30 | 3,430 | 3,610 | 2,360 | 2,160 | - 30 | 3000 L | 4000 L | 2000 L | 2000 L |
| | 57K (70 CRI) | - | 5,050 | 5,300 | 3,470 | 3,170 | | 5000 L | 5000 L | 3000 L | 3000 L |
| | 30K (70 CRI) | | 4,420 | 4,650 | 3,040 | 2,780 | 30 | 4000 L | 5000 L | 3000 L | 3000 L |
| 05.4/5 | 40K (70 CRI) | | 4,610 | 4,850 | 3,170 | 2,900 | | 5000 L | 5000 L | 3000 L | 3000 L |
| Q5/X5 | 50K (90 CRI) | - 28 | 3,140 | 3,300 | 2,160 | 1,980 | | 3000 L | 3000 L | 2000 L | 2000 L |
| | 57K (70 CRI) | - | 4,610 | 4,850 | 3,170 | 2,900 | | 5000 L | 5000 L | 3000 L | 3000 L |
| | 30K (70 CRI) | | 4,010 | 4,220 | 2,760 | 2,530 | | 4000 L | 4000 L | 3000 L | 3000 L |
| 0/ 1// | 40K (70 CRI) | 05 | 4,180 | 4,400 | 2,880 | 2,640 | | 4000 L | 4000 L | 3000 L | 3000 L |
| Q4/X4 | 50K (90 CRI) | - 25 | 2,840 | 2,990 | 1,960 | 1,790 | - 30 | 3000 L | 3000 L | 2000 L | 2000 L |
| | 57K (70 CRI) | | 4,180 | 4,400 | 2,880 | 2,640 | | 4000 L | 4000 L | 3000 L | 3000 L |
| | 30K (70 CRI) | | 3,710 | 3,900 | 2,550 | 2,340 | | 4000 L | 4000 L | 3000 L | 2000 L |
| 02/22 | 40K (70 CRI) | 22 | 3,870 | 4,070 | 2,660 | 2,440 | 20 | 4000 L | 4000 L | 3000 L | 2000 L |
| Q3/X3 | 50K (90 CRI) | - 23 | 2,630 | 2,770 | 1,810 | 1,660 | 20 | 3000 L | 3000 L | 2000 L | 2000 L |
| | 57K (70 CRI) | | 3,870 | 4,070 | 2,660 | 2,440 | | 4000 L | 4000 L | 3000 L | 2000 L |
| | 30K (70 CRI) | | 3,340 | 3,510 | 2,300 | 2,100 | | 3000 L | 4000 L | 2000 L | 2000 L |
| 02/22 | 40K (70 CRI) | 20 | 3,480 | 3,660 | 2,390 | 2,190 | 20 | 3000 L | 4000 L | 2000 L | 2000 L |
| uz/XZ | 2/X2 50K (90 CRI) | 20 | 2,370 | 2,490 | 1,630 | 1,490 | 20 | 2000 L | 2000 L | 2000 L | 1000 L |
| | 57K (70 CRI) | | 3,480 | 3,660 | 2,390 | 2,190 | | 3000 L | 4000 L | 2000 L | 2000 L |
| | 30K (70 CRI) | | 2,950 | 3,100 | 2,030 | 1,860 | | 3000 L | 3000 L | 2000 L | 2000 L |
| 01/01 | 40K (70 CRI) | 10 | 3,070 | 3,230 | 2,110 | 1,930 | | 3000 L | 3000 L | 2000 L | 2000 L |
| Q1/X1 | 50K (90 CRI) | - 18 | 2,090 | 2,200 | 1,440 | 1,320 | 20 | 2000 L | 2000 L | 1000 L | 1000 L |
| 50K (90 CRI) | 1 | 3,070 | 3,230 | 2,110 | 1,930 | 1 | 3000 L | 3000 L | 2000 L | 2000 L | |



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Locked Lumen Output (X8/X7/X6/X5/X4/X3/X2/X1) Option Description:

The Locked Lumen Output option on this page permanently locks the lumen output on the OSQ area luminaire to the setting selected. When ordered with the X option, the luminaire will be shipped from the factory at the lumen output setting selected and will only be able to be adjusted down in the field through a dimming control (by others). When ordered with the N option, the luminaire will include a utility label that indicates the wattage, lumen output, and CCT of the setting selected.

Q & X Option Power & Lumen Data – 9L Lumen Package

| 0.000 | | System | Lumen Values | 5 | | | Utility | Utility Label L | umens | | |
|-----------------------|--------------|-------------------|--------------|-----------|---------------------|----------|------------------|-----------------|-----------|---------------------|----------|
| Q/X Option Setting | CCT/CRI | Watts 120-480V | Asymmetric | Symmetric | 2M, 3M, AF w/BLS | 4M w/BLS | Label Wattage | Asymmetric | Symmetric | 2M, 3M, AF w/BLS | 4M w/BLS |
| | 30K (70 CRI) | | 8,225 | 8,650 | 5,650 | 5,175 | | 8000 L | 9000 L | 6000 L | 5000 L |
| Q9 | 40K (70 CRI) | 1 | 8,550 | 9,000 | 5,875 | 5,400 | | 9000 L | 9000 L | 6000 L | 5000 L |
| (Full Power) | 50K (90 CRI) | 55 | 5,825 | 6,125 | 4,000 | 3,670 | 60 | 6000 L | 6000 L | 4000 L | 4000 L |
| | 57K (70 CRI) | | 8,550 | 9,000 | 5,875 | 5,400 | | 9000 L | 9000 L | 6000 L | 5000 L |
| | 30K (70 CRI) | | 7,850 | 8,250 | 5,400 | 4,940 | | 8000 L | 8000 L | 5000 L | 5000 L |
| 00.000 | 40K (70 CRI) | - | 8,150 | 8,575 | 5,600 | 5,125 | 50 | 8000 L | 9000 L | 6000 L | 5000 L |
| Q8/X8 | 50K (90 CRI) | 53 | 5,550 | 5,850 | 3,830 | 3,500 | 50 | 6000 L | 6000 L | 4000 L | 4000 L |
| | 57K (70 CRI) | - | 8,150 | 8,575 | 5,600 | 5,125 | | 8000 L | 9000 L | 6000 L | 5000 L |
| | 30K (70 CRI) | | 7,500 | 7,900 | 5,175 | 4,730 | | 8000 L | 8000 L | 5000 L | 5000 L |
| Q7/X7 | 40K (70 CRI) | 50 | 7,825 | 8,225 | 5,375 | 4,930 | 50 | 8000 L | 8000 L | 5000 L | 5000 L |
| Q//X/ | 50K (90 CRI) | 50 | 5,325 | 5,600 | 3,660 | 3,350 | 50 | 5000 L | 6000 L | 4000 L | 3000 L |
| | 57K (70 CRI) | | 7,825 | 8,225 | 5,375 | 4,930 | | 8000 L | 8000 L | 5000 L | 5000 L |
| | 30K (70 CRI) | | 7,275 | 7,650 | 5,000 | 4,580 | | 7000 L | 8000 L | 5000 L | 5000 L |
| Q6/X6 | 40K (70 CRI) | 48 | 7,550 | 7,950 | 5,200 | 4,760 | 50 | 8000 L | 8000 L | 5000 L | 5000 L |
| Q0/X0 | 50K (90 CRI) | 40 | 5,150 | 5,425 | 3,550 | 3,250 | 50 | 5000 L | 5000 L | 4000 L | 3000 L |
| | 57K (70 CRI) | | 7,550 | 7,950 | 5,200 | 4,760 | | 8000 L | 8000 L | 5000 L | 5000 L |
| | 30K (70 CRI) | | 6,650 | 7,000 | 4,580 | 4,190 | | 7000 L | 7000 L | 5000 L | 4000 L |
| Q5/X5 | 40K (70 CRI) | 43 | 6,925 | 7,275 | 4,760 | 4,360 | 40 | 7000 L | 7000 L | 5000 L | 4000 L |
| QD/AD | 50K (90 CRI) | 43 | 4,710 | 4,950 | 3,240 | 2,960 | 40 | 5000 L | 5000 L | 3000 L | 3000 L |
| | 57K (70 CRI) | | 6,925 | 7,275 | 4,760 | 4,360 | | 7000 L | 7000 L | 5000 L | 4000 L |
| | 30K (70 CRI) | | 6,025 | 6,350 | 4,150 | 3,800 | | 6000 L | 6000 L | 4000 L | 4000 L |
| Q4/X4 | 40K (70 CRI) | 40 | 6,275 | 6,600 | 4,320 | 3,950 | 40 | 6000 L | 7000 L | 4000 L | 4000 L |
| Q4/74 | 50K (90 CRI) | 40 | 4,280 | 4,500 | 2,940 | 2,700 | 40 | 4000 L | 5000 L | 3000 L | 3000 L |
| | 57K (70 CRI) | | 6,275 | 6,600 | 4,320 | 3,950 | | 6000 L | 7000 L | 4000 L | 4000 L |
| | 30K (70 CRI) | | 5,575 | 5,875 | 3,840 | 3,520 | | 6000 L | 6000 L | 4000 L | 4000 L |
| Q3/X3 | 40K (70 CRI) | 36 | 5,800 | 6,100 | 3,990 | 3,650 | 40 | 6000 L | 6000 L | 4000 L | 4000 L |
| 45/75 | 50K (90 CRI) | 50 | 3,940 | 4,150 | 2,710 | 2,490 | 40 | 4000 L | 4000 L | 3000 L | 2000 L |
| | 57K (70 CRI) | | 5,800 | 6,100 | 3,990 | 3,650 | | 6000 L | 6000 L | 4000 L | 4000 L |
| | 30K (70 CRI) | _ | 5,025 | 5,275 | 3,450 | 3,160 | | 5000 L | 5000 L | 3000 L | 3000 L |
| Q2/X2* | 40K (70 CRI) | 32 | 5,225 | 5,500 | 3,600 | 3,290 | - 30 | 5000 L | 6000 L | 4000 L | 3000 L |
| SEINE | 50K (90 CRI) | 52 | 3,560 | 3,740 | 2,450 | 2,240 | 50 | 4000 L | 4000 L | 2000 L | 2000 L |
| | 57K (70 CRI) | | 5,225 | 5,500 | 3,600 | 3,290 | | 5000 L | 6000 L | 4000 L | 3000 L |
| | 30K (70 CRI) | | 4,430 | 4,660 | 3,050 | 2,790 | | 4000 L | 5000 L | 3000 L | 3000 L |
| Q1/X1* | 40K (70 CRI) | 29 | 4,610 | 4,850 | 3,170 | 2,900 | 30 | 5000 L | 5000 L | 3000 L | 3000 L |
| SUM | 50K (90 CRI) | | 3,140 | 3,300 | 2,160 | 1,980 | | 3000 L | 3000 L | 2000 L | 2000 L |
| | 57K (70 CRI) | | 4,610 | 4,850 | 3,170 | 2,900 | | 5000 L | 5000 L | 3000 L | 3000 L |

* X2 and X1 options not available with 9L lumen package with UL voltage.

The Field Adjustable Output option enables the OSQ area luminaires to be tuned to the exact needs of a particular application through multiple levels of adjustment. When ordered with the Q option, the luminaire will be shipped from the factory at the selected Q setting and will be fully adjustable between the nine settings. When ordered with the N option, the luminaire will include an ANSI C136.15-2020 utility label that indicates the wattage (rounded to nearest 10W), the lumen output (rounded to nearest 1000 lumens), and the CCT of the luminaire at the selected lumen output. Additional dimming functionality is available when a dimming control (by others) is used in the 7-Pin receptacle.

Locked Lumen Output (X8/X7/X6/X5/X4/X3/X2/X1) Option Description:

The Locked Lumen Output option on this page permanently locks the lumen output on the OSQ area luminaire to the setting selected. When ordered with the X option, the luminaire will be shipped from the factory at the lumen output setting selected and will only be able to be adjusted down in the field through a dimming control (by others). When ordered with the N option, the luminaire will include a utility label that indicates the wattage, lumen output, and CCT of the setting selected.

Q & X Option Power & Lumen Data – 11L Lumen Package

| - 4 | | System | Lumen Values | 5 | | | Utility | Utility Label L | umens | | |
|-----------------------|-----------------|-------------------|--------------|-----------|---------------------|----------|------------------|-----------------|-----------|---------------------|----------|
| Q/X Option Setting | CCT/CRI | Watts 120-480V | Asymmetric | Symmetric | 2M, 3M, AF w/BLS | 4M w/BLS | Label Wattage | Asymmetric | Symmetric | 2M, 3M, AF w/BLS | 4M w/BLS |
| | 30K (70 CRI) | | 10,025 | 10,550 | 6,900 | 6,325 | | 10000 L | 11000 L | 7000 L | 6000 L |
| Q9 | 40K (70 CRI) | | 10,450 | 11,000 | 7,200 | 6,600 | | 10000 L | 11000 L | 7000 L | 7000 L |
| (Full Power) | 50K (90 CRI) | 68 | 7,100 | 7,475 | 4,890 | 4,480 | - 70 | 7000 L | 7000 L | 5000 L | 4000 L |
| | 57K (70 CRI) | | 10,450 | 11,000 | 7,200 | 6,600 | = | 10000 L | 11000 L | 7000 L | 7000 L |
| | 30K (70 CRI) | | 9,575 | 10,075 | 6,600 | 6,025 | | 10000 L | 10000 L | 7000 L | 6000 L |
| | 40K (70 CRI) | | 9,975 | 10,500 | 6,875 | 6,300 | | 10000 L | 11000 L | 7000 L | 6000 L |
| Q8/X8 | 50K (90 CRI) | 65 | 6,775 | 7,125 | 4,660 | 4,270 | - 70 | 7000 L | 7000 L | 5000 L | 4000 L |
| | 57K (70 CRI) | | 9,975 | 10,500 | 6,875 | 6,300 | - | 10000 L | 11000 L | 7000 L | 6000 L |
| | 30K (70 CRI) | | 9,175 | 9,650 | 6,300 | 5,775 | | 9000 L | 10000 L | 6000 L | 6000 L |
| | 40K (70 CRI) | | 9,550 | 10,050 | 6,575 | 6,025 | | 10000 L | 10000 L | 7000 L | 6000 L |
| Q7/X7 | 50K (90 CRI) | 62 | 6,500 | 6,825 | 4,460 | 4,090 | 60 | 7000 L | 7000 L | 4000 L | 4000 L |
| | 57K (70 CRI) | | 9,550 | 10,050 | 6,575 | 6,025 | - | 10000 L | 10000 L | 7000 L | 6000 L |
| | 30K (70 CRI) | | 8,875 | 9,325 | 6,100 | 5,575 | | 9000 L | 9000 L | 6000 L | 6000 L |
| 0.144 | 40K (70 CRI) | - | 9,250 | 9,725 | 6,350 | 5,825 | | 9000 L | 10000 L | 6000 L | 6000 L |
| Q6/X6 | 50K (90 CRI) | 59 | 6,275 | 6,600 | 4,320 | 3,950 | 60 | 6000 L | 7000 L | 4000 L | 4000 L |
| | 57K (70 CRI) | | 9,250 | 9,725 | 6,350 | 5,825 | - | 9000 L | 10000 L | 6000 L | 6000 L |
| | 30K (70 CRI) | | 8,100 | 8,525 | 5,575 | 5,100 | 50 | 8000 L | 9000 L | 6000 L | 5000 L |
| 05.4/5 | 40K (70 CRI) | 50 | 8,450 | 8,900 | 5,825 | 5,325 | | 8000 L | 9000 L | 6000 L | 5000 L |
| Q5/X5 | 50K (90 CRI) | - 53 | 5,750 | 6,050 | 3,960 | 3,620 | - 50 | 6000 L | 6000 L | 4000 L | 4000 L |
| | 57K (70 CRI) | | 8,450 | 8,900 | 5,825 | 5,325 | | 8000 L | 9000 L | 6000 L | 5000 L |
| | 30K (70 CRI) | | 7,375 | 7,750 | 5,075 | 4,640 | | 7000 L | 8000 L | 5000 L | 5000 L |
| 0//// | 40K (70 CRI) | | 7,675 | 8,075 | 5,275 | 4,840 | | 8000 L | 8000 L | 5000 L | 5000 L |
| Q4/X4 | 50K (90 CRI) | 49 | 5,200 | 5,475 | 3,580 | 3,280 | - 50 | 5000 L | 5000 L | 4000 L | 3000 L |
| | 57K (70 CRI) | | 7,675 | 8,075 | 5,275 | 4,840 | - | 8000 L | 8000 L | 5000 L | 5000 L |
| | 30K (70 CRI) | | 6,800 | 7,150 | 4,680 | 4,280 | | 7000 L | 7000 L | 5000 L | 4000 L |
| Q3/X3 | 40K (70 CRI) | - 44 | 7,075 | 7,450 | 4,870 | 4,460 | 40 | 7000 L | 7000 L | 5000 L | 4000 L |
| Q3/X3 | 50K (90 CRI) | 44 | 4,820 | 5,075 | 3,320 | 3,040 | 40 | 5000 L | 5000 L | 3000 L | 3000 L |
| | 57K (70 CRI) | | 7,075 | 7,450 | 4,870 | 4,460 | | 7000 L | 7000 L | 5000 L | 4000 L |
| | 30K (70 CRI) | | 6,100 | 6,425 | 4,200 | 3,850 | | 6000 L | 6000 L | 4000 L | 4000 L |
| 02/22 | 40K (70 CRI) | 20 | 6,375 | 6,700 | 4,380 | 4,010 | 40 | 6000 L | 7000 L | 4000 L | 4000 L |
| Q2/X2 | (2 50K (90 CRI) | - 39 | 4,330 | 4,560 | 2,980 | 2,730 | 40 | 4000 L | 5000 L | 3000 L | 3000 L |
| | 57K (70 CRI) |] | 6,375 | 6,700 | 4,380 | 4,010 | | 6000 L | 7000 L | 4000 L | 4000 L |
| | 30K (70 CRI) | | 5,400 | 5,675 | 3,710 | 3,400 | | 5000 L | 6000 L | 4000 L | 3000 L |
| 01/21 | 40K (70 CRI) | 25 | 5,625 | 5,925 | 3,870 | 3,550 | | 6000 L | 6000 L | 4000 L | 4000 L |
| Q1/X1 | 50K (90 CRI) | 35 | 3,830 | 4,030 | 2,640 | 2,410 | 40 | 4000 L | 4000 L | 3000 L | 2000 L |
| | 57K (70 CRI) | | 5,625 | 5,925 | 3,870 | 3,550 | | 6000 L | 6000 L | 4000 L | 4000 L |

CREE + LIGHTING

The Field Adjustable Output option enables the OSQ area luminaires to be tuned to the exact needs of a particular application through multiple levels of adjustment. When ordered with the Q option, the luminaire will be shipped from the factory at the selected Q setting and will be fully adjustable between the nine settings. When ordered with the N option, the luminaire will include an ANSI C136.15-2020 utility label that indicates the wattage (rounded to nearest 10W), the lumen output (rounded to nearest 1000 lumens), and the CCT of the luminaire at the selected lumen output. Additional dimming functionality is available when a dimming control (by others) is used in the 7-Pin receptacle.

Locked Lumen Output (X8/X7/X6/X5/X4/X3/X2/X1) Option Description:

The Locked Lumen Output option on this page permanently locks the lumen output on the OSQ area luminaire to the setting selected. When ordered with the X option, the luminaire will be shipped from the factory at the lumen output setting selected and will only be able to be adjusted down in the field through a dimming control (by others). When ordered with the N option, the luminaire will include a utility label that indicates the wattage, lumen output, and CCT of the setting selected.

Q & X Option Power & Lumen Data – 16L Lumen Package

| | | System | Lumen Values | 5 | | | Utility | Utility Label Lumens | | | | |
|-----------------------|--------------|-------------------|--------------|-----------|---------------------|----------|------------------|----------------------|-----------|---------------------|----------|--|
| Q/X Option Setting | CCT/CRI | Watts 120-480V | Asymmetric | Symmetric | 2M, 3M, AF w/BLS | 4M w/BLS | Label Wattage | Asymmetric | Symmetric | 2M, 3M, AF w/BLS | 4M w/BLS | |
| | 30K (70 CRI) | | 14,650 | 15,400 | 10,075 | 9,225 | | 15000 L | 15000 L | 10000 L | 9000 L | |
| Q9 | 40K (70 CRI) | - | 15,200 | 16,000 | 10,450 | 9,575 | | 15000 L | 16000 L | 10000 L | 10000 L | |
| (Full Power) | 50K (90 CRI) | 97 | 10,325 | 10,875 | 7,100 | 6,525 | 100 | 10000 L | 11000 L | 7000 L | 7000 L | |
| | 57K (70 CRI) | - | 15,200 | 16,000 | 10,450 | 9,575 | - | 15000 L | 16000 L | 10000 L | 10000 L | |
| | 30K (70 CRI) | | 13,975 | 14,700 | 9,600 | 8,800 | | 14000 L | 15000 L | 10000 L | 9000 L | |
| | 40K (70 CRI) | | 14,550 | 15,300 | 10,000 | 9,175 | | 15000 L | 15000 L | 10000 L | 9000 L | |
| Q8/X8 | 50K (90 CRI) | - 93 | 9,850 | 10,375 | 6,775 | 6,225 | 90 | 10000 L | 10000 L | 7000 L | 6000 L | |
| | 57K (70 CRI) | - | 14,550 | 15,300 | 10,000 | 9,175 | | 15000 L | 15000 L | 10000 L | 9000 L | |
| | 30K (70 CRI) | | 13,375 | 14,075 | 9,200 | 8,425 | | 13000 L | 14000 L | 9000 L | 8000 L | |
| | 40K (70 CRI) | - | 13,900 | 14,625 | 9,575 | 8,750 | 1 | 14000 L | 15000 L | 10000 L | 9000 L | |
| Q7/X7 | 50K (90 CRI) | 87 | 9,450 | 9,950 | 6,500 | 5,950 | 90 | 9000 L | 10000 L | 7000 L | 6000 L | |
| | 57K (70 CRI) | - | 13,900 | 14,625 | 9,575 | 8,750 | 1 | 14000 L | 15000 L | 10000 L | 9000 L | |
| | 30K (70 CRI) | | 12,950 | 13,625 | 8,900 | 8,150 | | 13000 L | 14000 L | 9000 L | 8000 L | |
| | 40K (70 CRI) | | 13,450 | 14,150 | 9,250 | 8,475 | | 13000 L | 14000 L | 9000 L | 8000 L | |
| Q6/X6 | 50K (90 CRI) | - 84 | 9,150 | 9,625 | 6,300 | 5,775 | 80 | 9000 L | 10000 L | 6000 L | 6000 L | |
| | 57K (70 CRI) | - | 13,450 | 14,150 | 9,250 | 8,475 | | 13000 L | 14000 L | 9000 L | 8000 L | |
| 30K (70 CRI) | _ | 11,825 | 12,450 | 8,150 | 7,450 | _ | 12000 L | 12000 L | 8000 L | 7000 L | | |
| 05.4/5 | 40K (70 CRI) | | 12,275 | 12,925 | 8,450 | 7,750 | 80 | 12000 L | 13000 L | 8000 L | 8000 L | |
| Q5/X5 | 50K (90 CRI) | - 76 | 8,350 | 8,775 | 5,750 | 5,250 | | 8000 L | 9000 L | 6000 L | 5000 L | |
| | 57K (70 CRI) | | 12,275 | 12,925 | 8,450 | 7,750 | | 12000 L | 13000 L | 8000 L | 8000 L | |
| | 30K (70 CRI) | | 10,750 | 11,300 | 7,400 | 6,775 | | 11000 L | 11000 L | 7000 L | 7000 L | |
| 0/ 1// | 40K (70 CRI) | 50 | 11,175 | 11,750 | 7,675 | 7,025 | | 11000 L | 12000 L | 8000 L | 7000 L | |
| Q4/X4 | 50K (90 CRI) | 70 | 7,575 | 7,975 | 5,225 | 4,780 | 70 | 8000 L | 8000 L | 5000 L | 5000 L | |
| | 57K (70 CRI) | | 11,175 | 11,750 | 7,675 | 7,025 | | 11000 L | 12000 L | 8000 L | 7000 L | |
| | 30K (70 CRI) | | 9,925 | 10,450 | 6,825 | 6,250 | | 10000 L | 10000 L | 7000 L | 6000 L | |
| Q3/X3 | 40K (70 CRI) | 10 | 10,325 | 10,850 | 7,100 | 6,500 | | 10000 L | 11000 L | 7000 L | 7000 L | |
| Q3/X3 | 50K (90 CRI) | 62 | 7,000 | 7,375 | 4,820 | 4,420 | 60 | 7000 L | 7000 L | 5000 L | 4000 L | |
| | 57K (70 CRI) | | 10,325 | 10,850 | 7,100 | 6,500 | | 10000 L | 11000 L | 7000 L | 7000 L | |
| | 30K (70 CRI) | | 8,925 | 9,400 | 6,150 | 5,625 | | 9000 L | 9000 L | 6000 L | 6000 L | |
| 02/22 | 40K (70 CRI) | EE | 9,275 | 9,750 | 6,375 | 5,850 | (0 | 9000 L | 10000 L | 6000 L | 6000 L | |
| 22/X2 50K (90 CRI) | 55 | 6,300 | 6,625 | 4,330 | 3,970 | 60 | 6000 L | 7000 L | 4000 L | 4000 L | | |
| | 57K (70 CRI) | | 9,275 | 9,750 | 6,375 | 5,850 |] | 9000 L | 10000 L | 6000 L | 6000 L | |
| | 30K (70 CRI) | | 7,900 | 8,300 | 5,425 | 4,970 | | 8000 L | 8000 L | 5000 L | 5000 L | |
| 01* | 40K (70 CRI) | | 8,200 | 8,625 | 5,650 | 5,175 | | 8000 L | 9000 L | 6000 L | 5000 L | |
| Q1* | 50K (90 CRI) | - 50 | 5,550 | 5,850 | 3,830 | 3,500 | 50 | 6000 L | 6000 L | 4000 L | 4000 L | |
| | 57K (70 CRI) | | 8,200 | 8,625 | 5,650 | 5,175 | 1 | 8000 L | 9000 L | 6000 L | 5000 L | |

* X1 option not available with 16L lumen package.

The Field Adjustable Output option enables the OSQ area luminaires to be tuned to the exact needs of a particular application through multiple levels of adjustment. When ordered with the Q option, the luminaire will be shipped from the factory at the selected Q setting and will be fully adjustable between the nine settings. When ordered with the N option, the luminaire will include an ANSI C136.15-2020 utility label that indicates the wattage (rounded to nearest 10W), the lumen output (rounded to nearest 1000 lumens), and the CCT of the luminaire at the selected lumen output. Additional dimming functionality is available when a dimming control (by others) is used in the 7-Pin receptacle.

Locked Lumen Output (X8/X7/X6/X5/X4/X3/X2/X1) Option Description:

The Locked Lumen Output option on this page permanently locks the lumen output on the OSQ area luminaire to the setting selected. When ordered with the X option, the luminaire will be shipped from the factory at the lumen output setting selected and will only be able to be adjusted down in the field through a dimming control (by others). When ordered with the N option, the luminaire will include a utility label that indicates the wattage, lumen output, and CCT of the setting selected.

Q & X Option Power & Lumen Data – 22L Lumen Package

| | | System | Lumen Values | 5 | | | Utility | Utility Label L | umens | | |
|-----------------------|--------------|-------------------|--------------|-----------|---------------------|----------|------------------|-----------------|-----------|---------------------|----------|
| Q/X Option Setting | CCT/CRI | Watts 120-480V | Asymmetric | Symmetric | 2M, 3M, AF w/BLS | 4M w/BLS | Label Wattage | Asymmetric | Symmetric | 2M, 3M, AF w/BLS | 4M w/BLS |
| | 30K (70 CRI) | | 20,100 | 21,100 | 13,800 | 12,625 | | 20000 L | 21000 L | 14000 L | 13000 L |
| Q9 | 40K (70 CRI) | - | 20,900 | 22,000 | 14,375 | 13,175 | 1 | 21000 L | 22000 L | 14000 L | 13000 L |
| (Full Power) | 50K (90 CRI) | - 131 | 14,200 | 14,950 | 9,775 | 8,950 | 130 | 14000 L | 15000 L | 10000 L | 9000 L |
| | 57K (70 CRI) | - | 20,900 | 22,000 | 14,375 | 13,175 | 1 | 21000 L | 22000 L | 14000 L | 13000 L |
| | 30K (70 CRI) | | 19,100 | 20,100 | 13,150 | 12,050 | | 19000 L | 20000 L | 13000 L | 12000 L |
| | 40K (70 CRI) | | 20,000 | 21,000 | 13,725 | 12,575 | 1 | 20000 L | 21000 L | 14000 L | 13000 L |
| Q8/X8 | 50K (90 CRI) | 126 | 13,550 | 14,250 | 9,325 | 8,525 | 130 | 14000 L | 14000 L | 9000 L | 9000 L |
| | 57K (70 CRI) | - | 20,000 | 21,000 | 13,725 | 12,575 | 1 | 20000 L | 21000 L | 14000 L | 13000 L |
| | 30K (70 CRI) | | 18,300 | 19,300 | 12,625 | 11,550 | | 18000 L | 19000 L | 13000 L | 12000 L |
| | 40K (70 CRI) | | 19,100 | 20,100 | 13,150 | 12,050 | 1 | 19000 L | 20000 L | 13000 L | 12000 L |
| Q7/X7 | 50K (90 CRI) | 119 | 13,000 | 13,675 | 8,950 | 8,200 | 120 | 13000 L | 14000 L | 9000 L | 8000 L |
| | 57K (70 CRI) | - | 19,100 | 20,100 | 13,150 | 12,050 | 1 | 19000 L | 20000 L | 13000 L | 12000 L |
| | 30K (70 CRI) | | 17,800 | 18,700 | 12,225 | 11,200 | | 18000 L | 19000 L | 12000 L | 11000 L |
| . | 40K (70 CRI) | | 18,400 | 19,400 | 12,675 | 11,625 | 1 | 18000 L | 19000 L | 13000 L | 12000 L |
| Q6/X6 | 50K (90 CRI) | 114 | 12,575 | 13,225 | 8,650 | 7,925 | 110 | 13000 L | 13000 L | 9000 L | 8000 L |
| | 57K (70 CRI) | - | 18,400 | 19,400 | 12,675 | 11,625 | - | 18000 L | 19000 L | 13000 L | 12000 L |
| | 30K (70 CRI) | | 16,200 | 17,000 | 11,125 | 10,175 | | 16000 L | 17000 L | 11000 L | 10000 L |
| | 40K (70 CRI) | 100 | 16,900 | 17,800 | 11,650 | 10,650 | - 100 | 17000 L | 18000 L | 12000 L | 11000 L |
| Q5/X5 | 50K (90 CRI) | - 103 | 11,475 | 12,075 | 7,900 | 7,225 | | 11000 L | 12000 L | 8000 L | 7000 L |
| | 57K (70 CRI) | | 16,900 | 17,800 | 11,650 | 10,650 | | 17000 L | 18000 L | 12000 L | 11000 L |
| | 30K (70 CRI) | | 14,725 | 15,500 | 10,125 | 9,275 | | 15000 L | 16000 L | 10000 L | 9000 L |
| 0.111 | 40K (70 CRI) | 05 | 15,300 | 16,100 | 10,525 | 9,650 | | 15000 L | 16000 L | 11000 L | 10000 L |
| Q4/X4 | 50K (90 CRI) | 95 | 10,425 | 10,975 | 7,175 | 6,575 | 100 | 10000 L | 11000 L | 7000 L | 7000 L |
| | 57K (70 CRI) | - | 15,300 | 16,100 | 10,525 | 9,650 | 1 | 15000 L | 16000 L | 11000 L | 10000 L |
| | 30K (70 CRI) | | 13,600 | 14,300 | 9,350 | 8,575 | | 14000 L | 14000 L | 9000 L | 9000 L |
| 02//2 | 40K (70 CRI) | | 14,175 | 14,925 | 9,750 | 8,950 | | 14000 L | 15000 L | 10000 L | 9000 L |
| Q3/X3 | 50K (90 CRI) | 84 | 9,625 | 10,125 | 6,625 | 6,075 | 80 | 10000 L | 10000 L | 7000 L | 6000 L |
| | 57K (70 CRI) | | 14,175 | 14,925 | 9,750 | 8,950 | 1 | 14000 L | 15000 L | 10000 L | 9000 L |
| | 30K (70 CRI) | | 12,250 | 12,875 | 8,425 | 7,700 | | 12000 L | 13000 L | 8000 L | 8000 L |
| | 40K (70 CRI) | | 12,750 | 13,425 | 8,775 | 8,050 | | 13000 L | 13000 L | 9000 L | 8000 L |
| Q2/X2 | 50K (90 CRI) | - 75 | 8,675 | 9,125 | 5,975 | 5,475 | 80 | 9000 L | 9000 L | 6000 L | 5000 L |
| | 57K (70 CRI) | | 12,750 | 13,425 | 8,775 | 8,050 | 1 | 13000 L | 13000 L | 9000 L | 8000 L |
| | 30K (70 CRI) | | 10,825 | 11,375 | 7,450 | 6,825 | | 11000 L | 11000 L | 7000 L | 7000 L |
| 01.0/1 | 40K (70 CRI) | | 11,275 | 11,850 | 7,750 | 7,100 | 70 | 11000 L | 12000 L | 8000 L | 7000 L |
| Q1/X1 | 50K (90 CRI) | - 68 | 7,650 | 8,050 | 5,275 | 4,820 | - 70 | 8000 L | 8000 L | 5000 L | 5000 L |
| | 57K (70 CRI) | 1 | 11,275 | 11,850 | 7,750 | 7,100 | 1 | 11000 L | 12000 L | 8000 L | 7000 L |

The Field Adjustable Output option enables the OSQ area luminaires to be tuned to the exact needs of a particular application through multiple levels of adjustment. When ordered with the Q option, the luminaire will be shipped from the factory at the selected Q setting and will be fully adjustable between the nine settings. When ordered with the N option, the luminaire will include an ANSI C136.15-2020 utility label that indicates the wattage (rounded to nearest 10W), the lumen output (</= 24,000 lumens rounded to nearest 1000 lumens, > 24,001 lumens rounded to the nearest 2000 lumens), and the CCT of the luminaire at the selected lumen output. Additional dimming functionality is available when a dimming control (by others) is used in the 7-Pin receptacle.

Locked Lumen Output (X8/X7/X6/X5/X4/X3/X2/X1) Option Description:

The Locked Lumen Output option on this page permanently locks the lumen output on the OSQ area luminaire to the setting selected. When ordered with the X option, the luminaire will be shipped from the factory at the lumen output setting selected and will only be able to be adjusted down in the field through a dimming control (by others). When ordered with the N option, the luminaire will include a utility label that indicates the wattage, lumen output, and CCT of the setting selected.

Q & X Option Power & Lumen Data – 30L Lumen Package

| | - | | Lumen Value | c | | | | | | | |
|--------------|--------------|-----------------|-------------|-----------|---------------------|----------|------------------|-----------------|-----------|---------------------|----------|
| Q/X Option | CCT/CRI | System Watts | Lumen value | 5 | | | Utility Label | Utility Label L | umens | 1 | |
| Setting | CUT/CRI | 120-480V | Asymmetric | Symmetric | 2M, 3M, AF w/BLS | 4M w/BLS | Wattage | Asymmetric | Symmetric | 2M, 3M, AF w/BLS | 4M w/BLS |
| | 30K (70 CRI) | | 27,400 | 28,800 | 18,800 | 17,200 | | 28000 L | 28000 L | 19000 L | 17000 L |
| Q9 | 40K (70 CRI) | 175 | 28,500 | 30,000 | 19,600 | 18,000 | 100 | 28000 L | 30000 L | 20000 L | 18000 L |
| (Full Power) | 50K (90 CRI) | - 175 | 19,400 | 20,400 | 13,350 | 12,225 | 130 | 19000 L | 20000 L | 13000 L | 12000 L |
| | 57K (70 CRI) | | 28,500 | 30,000 | 19,600 | 18,000 | | 28000 L | 30000 L | 20000 L | 18000 L |
| | 30K (70 CRI) | | 26,100 | 27,500 | 18,000 | 16,500 | | 26000 L | 28000 L | 18000 L | 17000 L |
| 00/20 | 40K (70 CRI) | 1/0 | 27,200 | 28,600 | 18,700 | 17,100 | 170 | 28000 L | 28000 L | 19000 L | 17000 L |
| Q8/X8 | 50K (90 CRI) | 168 | 18,500 | 19,500 | 12,750 | 11,675 | 170 | 19000 L | 20000 L | 13000 L | 12000 L |
| | 57K (70 CRI) | | 27,200 | 28,600 | 18,700 | 17,100 | | 28000 L | 28000 L | 19000 L | 17000 L |
| | 30K (70 CRI) | | 25,000 | 26,300 | 17,200 | 15,800 | | 26000 L | 26000 L | 17000 L | 16000 L |
| Q7/X7 | 40K (70 CRI) | 158 | 26,000 | 27,400 | 17,900 | 16,400 | 160 | 26000 L | 28000 L | 18000 L | 16000 L |
| U//X/ | 50K (90 CRI) | 108 | 17,700 | 18,600 | 12,150 | 11,150 | 160 | 18000 L | 19000 L | 12000 L | 11000 L |
| | 57K (70 CRI) | | 26,000 | 27,400 | 17,900 | 16,400 | | 26000 L | 28000 L | 18000 L | 16000 L |
| | 30K (70 CRI) | | 24,200 | 25,500 | 16,700 | 15,300 | | 24000 L | 26000 L | 17000 L | 15000 L |
| Q6/X6 | 40K (70 CRI) | 150 | 25,200 | 26,500 | 17,300 | 15,900 | 150 | 26000 L | 26000 L | 17000 L | 16000 L |
| Q0/70 | 50K (90 CRI) | 152 | 17,100 | 18,000 | 11,775 | 10,775 | 150 | 17000 L | 18000 L | 12000 L | 11000 L |
| | 57K (70 CRI) | | 25,200 | 26,500 | 17,300 | 15,900 | _ | 26000 L | 26000 L | 17000 L | 16000 L |
| | 30K (70 CRI) | | 22,100 | 23,300 | 15,200 | 13,950 | | 22000 L | 23000 L | 15000 L | 14000 L |
| | 40K (70 CRI) | 137 | 23,000 | 24,200 | 15,800 | 14,500 | - 140 | 23000 L | 24000 L | 16000 L | 15000 L |
| Q5/X5 | 50K (90 CRI) | 137 | 15,700 | 16,500 | 10,800 | 9,875 | | 16000 L | 17000 L | 11000 L | 10000 L |
| | 57K (70 CRI) | | 23,000 | 24,200 | 15,800 | 14,500 | | 23000 L | 24000 L | 16000 L | 15000 L |
| | 30K (70 CRI) | | 20,100 | 21,100 | 13,800 | 12,625 | | 20000 L | 21000 L | 14000 L | 13000 L |
| Q4/X4 | 40K (70 CRI) | 126 | 20,900 | 22,000 | 14,375 | 13,175 | 130 | 21000 L | 22000 L | 14000 L | 13000 L |
| Q4/X4 | 50K (90 CRI) | 120 | 14,225 | 14,975 | 9,800 | 8,975 | 130 | 14000 L | 15000 L | 10000 L | 9000 L |
| | 57K (70 CRI) | | 20,900 | 22,000 | 14,375 | 13,175 | | 21000 L | 22000 L | 14000 L | 13000 L |
| | 30K (70 CRI) | | 18,500 | 19,500 | 12,750 | 11,675 | | 19000 L | 20000 L | 13000 L | 12000 L |
| Q3/X3 | 40K (70 CRI) | - 113 | 19,300 | 20,300 | 13,275 | 12,150 | 110 | 19000 L | 20000 L | 13000 L | 12000 L |
| Q3/A3 | 50K (90 CRI) | 113 | 13,150 | 13,825 | 9,050 | 8,275 | 110 | 13000 L | 14000 L | 9000 L | 8000 L |
| | 57K (70 CRI) | | 19,300 | 20,300 | 13,275 | 12,150 | | 19000 L | 20000 L | 13000 L | 12000 L |
| | 30K (70 CRI) | | 16,700 | 17,600 | 11,500 | 10,550 | | 17000 L | 18000 L | 12000 L | 11000 L |
| 02/22 | 40K (70 CRI) | 100 | 17,400 | 18,300 | 11,975 | 10,950 | 100 | 17000 L | 18000 L | 12000 L | 11000 L |
| Q2/X2 | 50K (90 CRI) | - 100 | 11,825 | 12,450 | 8,150 | 7,450 | 100 | 12000 L | 12000 L | 8000 L | 7000 L |
| | 57K (70 CRI) | | 17,400 | 18,300 | 11,975 | 10,950 | | 17000 L | 18000 L | 12000 L | 11000 L |
| | 30K (70 CRI) | | 14,725 | 15,500 | 10,125 | 9,275 | | 15000 L | 16000 L | 10000 L | 9000 L |
| 01* | 40K (70 CRI) | 00 | 15,400 | 16,200 | 10,600 | 9,700 | 00 | 15000 L | 16000 L | 11000 L | 10000 L |
| Q1* | 50K (90 CRI) | 90 | 10,450 | 11,000 | 7,200 | 6,600 | 90 | 10000 L | 11000 L | 7000 L | 7000 L |
| | 57K (70 CRI) | | 15,400 | 16,200 | 10,600 | 9,700 | | 15000 L | 16000 L | 11000 L | 10000 L |
| | | | | | | | | | | | |

* X1 option not available with 30L lumen package

The Field Adjustable Output option enables the OSQ area luminaires to be tuned to the exact needs of a particular application through multiple levels of adjustment. When ordered with the Q option, the luminaire will be shipped from the factory at the selected Q setting and will be fully adjustable between the nine settings. When ordered with the N option, the luminaire will include an ANSI C136.15-2020 utility label that indicates the wattage (rounded to nearest 10W), the lumen output (</= 24,000 lumens rounded to nearest 1000 lumens, > 24,001 lumens rounded to the nearest 2000 lumens), and the CCT of the luminaire at the selected lumen output. Additional dimming functionality is available when a dimming control (by others) is used in the 7-Pin receptacle.

Locked Lumen Output (X8/X7/X6/X5/X4/X3/X2/X1) Option Description:

The Locked Lumen Output option on this page permanently locks the lumen output on the OSQ area luminaire to the setting selected. When ordered with the X option, the luminaire will be shipped from the factory at the lumen output setting selected and will only be able to be adjusted down in the field through a dimming control (by others). When ordered with the N option, the luminaire will include a utility label that indicates the wattage, lumen output, and CCT of the setting selected.

Q & X Option Power & Lumen Data – 40L Lumen Package

| | | System | Lumen Values | 5 | | | Utility | Utility Label Lumens | | | |
|-----------------------|--------------|-------------------|--------------|-----------|---------------------|----------|------------------|----------------------|-----------|---------------------|----------|
| Q/X Option Setting | CCT/CRI | Watts 120-480V | Asymmetric | Symmetric | 2M, 3M, AF w/BLS | 4M w/BLS | Label Wattage | Asymmetric | Symmetric | 2M, 3M, AF w/BLS | 4M w/BLS |
| | 30K (70 CRI) | | 36,500 | 38,400 | 25,100 | 23,000 | | 36000 L | 38000 L | 26000 L | 23000 L |
| Q9 | 40K (70 CRI) | | 38,000 | 40,000 | 26,200 | 24,000 | 1 | 38000 L | 40000 L | 26000 L | 24000 L |
| (Full Power) | 50K (90 CRI) | 236 | 25,900 | 27,200 | 17,800 | 16,300 | 130 | 26000 L | 28000 L | 18000 L | 16000 L |
| | 57K (70 CRI) | - | 38,000 | 40,000 | 26,200 | 24,000 | | 38000 L | 40000 L | 26000 L | 24000 L |
| | 30K (70 CRI) | | 34,800 | 36,600 | 23,900 | 21,900 | | 34000 L | 36000 L | 24000 L | 22000 L |
| | 40K (70 CRI) | | 36,300 | 38,200 | 25,000 | 22,900 | | 36000 L | 38000 L | 26000 L | 23000 L |
| Q8/X8 | 50K (90 CRI) | 212 | 24,600 | 25,900 | 16,900 | 15,500 | 210 | 24000 L | 26000 L | 17000 L | 16000 L |
| | 57K (70 CRI) | - | 36,300 | 38,200 | 25,000 | 22,900 | | 36000 L | 38000 L | 26000 L | 23000 L |
| | 30K (70 CRI) | | 33,400 | 35,100 | 23,000 | 21,000 | | 34000 L | 36000 L | 23000 L | 21000 L |
| | 40K (70 CRI) | _ | 34,800 | 36,600 | 23,900 | 21,900 | 1 | 34000 L | 36000 L | 24000 L | 22000 L |
| Q7/X7 | 50K (90 CRI) | 203 | 23,700 | 24,900 | 16,300 | 14,925 | 200 | 24000 L | 24000 L | 16000 L | 15000 L |
| | 57K (70 CRI) | - | 34,800 | 36,600 | 23,900 | 21,900 | | 34000 L | 36000 L | 24000 L | 22000 L |
| | 30K (70 CRI) | | 32,200 | 33,900 | 22,200 | 20,300 | | 32000 L | 34000 L | 22000 L | 20000 L |
| 0. N/ | 40K (70 CRI) | 105 | 33,600 | 35,400 | 23,100 | 21,200 | | 34000 L | 36000 L | 23000 L | 21000 L |
| Q6/X6 | 50K (90 CRI) | 195 | 22,800 | 24,000 | 15,700 | 14,375 | 200 | 23000 L | 24000 L | 16000 L | 14000 L |
| | 57K (70 CRI) | | 33,600 | 35,400 | 23,100 | 21,200 | | 34000 L | 36000 L | 23000 L | 21000 L |
| | 30K (70 CRI) | | 29,500 | 31,000 | 20,300 | 18,600 | _ | 30000 L | 32000 L | 20000 L | 19000 L |
| | 40K (70 CRI) | 176 | 30,700 | 32,300 | 21,100 | 19,300 | 180 | 30000 L | 32000 L | 21000 L | 19000 L |
| Q5/X5 | 50K (90 CRI) | - 1/6 | 20,900 | 22,000 | 14,375 | 13,175 | 180 | 21000 L | 22000 L | 14000 L | 13000 L |
| | 57K (70 CRI) | | 30,700 | 32,300 | 21,100 | 19,300 | | 30000 L | 32000 L | 21000 L | 19000 L |
| | 30K (70 CRI) | | 26,800 | 28,200 | 18,400 | 16,900 | | 26000 L | 28000 L | 18000 L | 17000 L |
| O/N/ | 40K (70 CRI) | 1/0 | 27,900 | 29,400 | 19,200 | 17,600 | 160 | 28000 L | 30000 L | 19000 L | 18000 L |
| Q4/X4 | 50K (90 CRI) | 160 | 19,000 | 20,000 | 13,075 | 11,975 | 160 | 19000 L | 20000 L | 13000 L | 12000 L |
| | 57K (70 CRI) | | 27,900 | 29,400 | 19,200 | 17,600 | | 28000 L | 30000 L | 19000 L | 18000 L |
| | 30K (70 CRI) | | 24,700 | 26,000 | 17,000 | 15,600 | | 24000 L | 26000 L | 17000 L | 16000 L |
| Q3/X3 | 40K (70 CRI) | 144 | 25,800 | 27,100 | 17,700 | 16,200 | 140 | 26000 L | 28000 L | 18000 L | 16000 L |
| Q3/A3 | 50K (90 CRI) | 144 | 17,500 | 18,400 | 12,025 | 11,025 | 140 | 18000 L | 18000 L | 12000 L | 11000 L |
| | 57K (70 CRI) | | 25,800 | 27,100 | 17,700 | 16,200 | | 26000 L | 28000 L | 18000 L | 16000 L |
| | 30K (70 CRI) | | 22,200 | 23,400 | 15,300 | 14,025 | | 22000 L | 23000 L | 15000 L | 14000 L |
| 02/22 | 40K (70 CRI) | 120 | 23,200 | 24,400 | 16,000 | 14,625 | 120 | 23000 L | 24000 L | 16000 L | 15000 L |
| Q2/X2 | 50K (90 CRI) | 129 | 15,800 | 16,600 | 10,850 | 9,950 | 130 | 16000 L | 17000 L | 11000 L | 10000 L |
| | 57K (70 CRI) | | 23,200 | 24,400 | 16,000 | 14,625 | | 23000 L | 24000 L | 16000 L | 15000 L |
| | 30K (70 CRI) | | 19,700 | 20,700 | 13,525 | 12,400 | | 20000 L | 21000 L | 14000 L | 12000 L |
| 01/21 | 40K (70 CRI) | 111 | 20,500 | 21,600 | 14,125 | 12,925 | 110 | 21000 L | 22000 L | 14000 L | 13000 L |
| Q1/X1 | 50K (90 CRI) | - 111 | 13,925 | 14,650 | 9,575 | 8,775 | 110 | 14000 L | 15000 L | 10000 L | 9000 L |
| | 57K (70 CRI) | | 20,500 | 21,600 | 14,125 | 12,925 |] | 21000 L | 22000 L | 14000 L | 13000 L |

The Field Adjustable Output option enables the OSQ area luminaires to be tuned to the exact needs of a particular application through multiple levels of adjustment. When ordered with the Q option, the luminaire will be shipped from the factory at the selected Q setting and will be fully adjustable between the nine settings.

Locked Lumen Output (X8/X7/X6/X5/X4/X3/X2/X1) Option Description:

The Locked Lumen Output option on this page permanently locks the lumen output on the OSQ area luminaire to the setting selected. When ordered with the X option, the luminaire will be shipped from the factory at the lumen output setting selected and will only be able to be adjusted down in the field through a dimming control (by others).

Q & X Option Power & Lumen Data – 50L Lumen Package

| Q/X Option | 007/001 | System Watts | Lumen Values | | | | |
|--------------|--------------|--------------|--------------|-----------|------------------|----------|--------|
| Setting | CCT/CRI | 120-480V | Asymmetric | Symmetric | 2M, 3M, AF w/BLS | 4M w/BLS | |
| | 30K (70 CRI) | | 45,600 | 48,000 | 31,400 | 28,700 | |
| Q9 | 40K (70 CRI) | 207 | 47,500 | 50,000 | 32,700 | 29,900 | |
| (Full Power) | 50K (90 CRI) | 297 | 32,300 | 34,000 | 22,200 | 20,400 | |
| | 57K (70 CRI) | | 47,500 | 50,000 | 32,700 | 29,900 | |
| | 30K (70 CRI) | | 43,500 | 45,800 | 29,900 | 27,400 | |
| Q8/X8 | 40K (70 CRI) | 285 | 45,300 | 47,700 | 31,200 | 28,600 | |
| Q8/X8 | 50K (90 CRI) | 200 | 30,800 | 32,400 | 21,200 | 19,400 | |
| | 57K (70 CRI) | | 45,300 | 47,700 | 31,200 | 28,600 | |
| | 30K (70 CRI) | | 41,700 | 43,900 | 28,700 | 26,300 | |
| 07.07 | 40K (70 CRI) | 2/0 | 43,400 | 45,700 | 29,900 | 27,400 | |
| Q7/X7 | 50K (90 CRI) | 269 | 29,600 | 31,100 | 20,300 | 18,600 | |
| | 57K (70 CRI) | | 43,400 | 45,700 | 29,900 | 27,400 | |
| | 30K (70 CRI) | | 40,300 | 42,400 | 27,700 | 25,400 | |
| O/N/ | 40K (70 CRI) | 250 | 42,000 | 44,200 | 28,900 | 26,500 | |
| Q6/X6 | 50K (90 CRI) | 258 | 28,600 | 30,100 | 19,700 | 18,000 | |
| | 57K (70 CRI) | | 42,000 | 44,200 | 28,900 | 26,500 | |
| | 30K (70 CRI) | | 36,900 | 38,800 | 25,400 | 23,200 | |
| OF ME | 40K (70 CRI) | 233 | 233 | 38,400 | 40,400 | 26,400 | 24,200 |
| Q5/X5 | 50K (90 CRI) | 233 | 26,100 | 27,500 | 18,000 | 16,500 | |
| | 57K (70 CRI) | | 38,400 | 40,400 | 26,400 | 24,200 | |
| | 30K (70 CRI) | | 33,500 | 35,200 | 23,000 | 21,100 | |
| Q4/X4 | 40K (70 CRI) | 215 | 34,900 | 36,700 | 24,000 | 22,000 | |
| Q4/X4 | 50K (90 CRI) | 215 | 23,800 | 25,000 | 16,300 | 14,975 | |
| | 57K (70 CRI) | | 34,900 | 36,700 | 24,000 | 22,000 | |
| | 30K (70 CRI) | | 30,900 | 32,500 | 21,300 | 19,500 | |
| Q3/X3 | 40K (70 CRI) | 101 | 32,200 | 33,900 | 22,200 | 20,300 | |
| Q3/X3 | 50K (90 CRI) | 191 | 22,000 | 23,100 | 15,100 | 13,825 | |
| | 57K (70 CRI) | | 32,200 | 33,900 | 22,200 | 20,300 | |
| | 30K (70 CRI) | | 27,900 | 29,300 | 19,200 | 17,500 | |
| Q2/X2 | 40K (70 CRI) | 170 | 29,000 | 30,500 | 19,900 | 18,300 | |
| 42/72 | 50K (90 CRI) | 170 | 19,700 | 20,700 | 13,525 | 12,400 | |
| | 57K (70 CRI) | | 29,000 | 30,500 | 19,900 | 18,300 | |
| | 30K (70 CRI) | | 24,600 | 25,900 | 16,900 | 15,500 | |
| 01/01 | 40K (70 CRI) | 150 | 25,700 | 27,000 | 17,700 | 16,200 | |
| Q1/X1 | 50K (90 CRI) | 153 | 17,400 | 18,300 | 11,975 | 10,950 | |
| | 57K (70 CRI) | | 25,700 | 27,000 | 17,700 | 16,200 | |



The Field Adjustable Output option enables the OSQ area luminaires to be tuned to the exact needs of a particular application through multiple levels of adjustment. When ordered with the Q option, the luminaire will be shipped from the factory at the selected Q setting and will be fully adjustable between the nine settings.

Locked Lumen Output (X8/X7/X6/X5/X4/X3/X2/X1) Option Description:

The Locked Lumen Output option on this page permanently locks the lumen output on the OSQ area luminaire to the setting selected. When ordered with the X option, the luminaire will be shipped from the factory at the lumen output setting selected and will only be able to be adjusted down in the field through a dimming control (by others).

Q & X Option Power & Lumen Data – 65L Lumen Package

| Q/X Option | 007/001 | | Lumen Values | Lumen Values | | | | | | | |
|--------------|--------------|----------|--------------|--------------|------------------|----------|--|--|--|--|--|
| Setting | CCT/CRI | 120-480V | Asymmetric | Symmetric | 2M, 3M, AF w/BLS | 4M w/BLS | | | | | |
| | 30K (70 CRI) | | 59,300 | 62,400 | 40,800 | 37,400 | | | | | |
| Q9 | 40K (70 CRI) | | 61,800 | 65,000 | 42,500 | 38,900 | | | | | |
| (Full Power) | 50K (90 CRI) | - 384 | 42,000 | 44,200 | 28,900 | 26,500 | | | | | |
| | 57K (70 CRI) | _ | 61,800 | 65,000 | 42,500 | 38,900 | | | | | |
| | 30K (70 CRI) | | 56,600 | 59,500 | 38,900 | 35,600 | | | | | |
| | 40K (70 CRI) | | 58,900 | 62,000 | 40,500 | 37,100 | | | | | |
| Q8/X8 | 50K (90 CRI) | 365 | 40,100 | 42,200 | 27,600 | 25,300 | | | | | |
| | 57K (70 CRI) | _ | 58,900 | 62,000 | 40,500 | 37,100 | | | | | |
| | 30K (70 CRI) | | 54,200 | 57,000 | 37,300 | 34,100 | | | | | |
| 05.4/5 | 40K (70 CRI) | | 56,500 | 59,400 | 38,800 | 35,600 | | | | | |
| Q7/X7 | 50K (90 CRI) | 347 | 38,400 | 40,400 | 26,400 | 24,200 | | | | | |
| | 57K (70 CRI) | | 56,500 | 59,400 | 38,800 | 35,600 | | | | | |
| | 30K (70 CRI) | | 52,500 | 55,200 | 36,100 | 33,100 | | | | | |
| | 40K (70 CRI) | | 54,700 | 57,500 | 37,600 | 34,400 | | | | | |
| Q6/X6 | 50K (90 CRI) | 332 | 37,200 | 39,100 | 25,600 | 23,400 | | | | | |
| | 57K (70 CRI) | _ | 54,700 | 57,500 | 37,600 | 34,400 | | | | | |
| | 30K (70 CRI) | | 47,900 | 50,400 | 33,000 | 30,200 | | | | | |
| 05. h/5 | 40K (70 CRI) | | 49,900 | 52,500 | 34,300 | 31,400 | | | | | |
| Q5/X5 | 50K (90 CRI) | - 301 | 33,900 | 35,700 | 23,300 | 21,400 | | | | | |
| | 57K (70 CRI) | _ | 49,900 | 52,500 | 34,300 | 31,400 | | | | | |
| | 30K (70 CRI) | | 43,500 | 45,800 | 29,900 | 27,400 | | | | | |
| 0/ 1/ | 40K (70 CRI) | | 45,300 | 47,700 | 31,200 | 28,600 | | | | | |
| Q4/X4 | 50K (90 CRI) | 276 | 30,800 | 32,400 | 21,200 | 19,400 | | | | | |
| | 57K (70 CRI) | | 45,300 | 47,700 | 31,200 | 28,600 | | | | | |
| | 30K (70 CRI) | | 40,200 | 42,300 | 27,700 | 25,300 | | | | | |
| 00.1/2 | 40K (70 CRI) | 0/7 | 41,900 | 44,100 | 28,800 | 26,400 | | | | | |
| Q3/X3 | 50K (90 CRI) | 247 | 28,500 | 30,000 | 19,600 | 18,000 | | | | | |
| | 57K (70 CRI) | | 41,900 | 44,100 | 28,800 | 26,400 | | | | | |
| | 30K (70 CRI) | | 36,200 | 38,100 | 24,900 | 22,800 | | | | | |
| 02/22 | 40K (70 CRI) | 220 | 37,700 | 39,700 | 26,000 | 23,800 | | | | | |
| Q2/X2 | 50K (90 CRI) | 220 | 25,700 | 27,000 | 17,700 | 16,200 | | | | | |
| | 57K (70 CRI) | | 37,700 | 39,700 | 26,000 | 23,800 | | | | | |
| | 30K (70 CRI) | | 31,900 | 33,600 | 22,000 | 20,100 | | | | | |
| Q1* | 40K (70 CRI) | 105 | 33,300 | 35,000 | 22,900 | 21,000 | | | | | |
| ur. | 50K (90 CRI) | 195 | 22,600 | 23,800 | 15,600 | 14,250 | | | | | |
| | 57K (70 CRI) | | 33,300 | 35,000 | 22,900 | 21,000 | | | | | |

* X1 option not available with 65L lumen package.

The Field Adjustable Output option enables the OSQ area luminaires to be tuned to the exact needs of a particular application through multiple levels of adjustment. When ordered with the Q option, the luminaire will be shipped from the factory at the selected Q setting and will be fully adjustable between the nine settings.

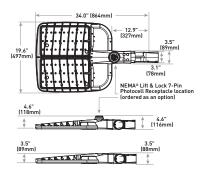
Locked Lumen Output (X8/X7/X6/X5/X4/X3/X2/X1) Option Description:

The Locked Lumen Output option on this page permanently locks the lumen output on the OSQ area luminaire to the setting selected. When ordered with the X option, the luminaire will be shipped from the factory at the lumen output setting selected and will only be able to be adjusted down in the field through a dimming control (by others).

Q & X Option Power & Lumen Data – 75L Lumen Package

| Q/X Option | 007/001 | System Watts | Lumen Values | | | | |
|--------------|--------------|--------------|--------------|-----------|------------------|----------|--------|
| Setting | CCT/CRI | 120-480V | Asymmetric | Symmetric | 2M, 3M, AF w/BLS | 4M w/BLS | |
| | 30K (70 CRI) | | 68,400 | 72,000 | 47,100 | 43,100 | |
| Q9 | 40K (70 CRI) | - 447 | 71,300 | 75,000 | 49,000 | 44,900 | |
| (Full Power) | 50K (90 CRI) | 44/ | 48,500 | 51,000 | 33,300 | 30,500 | |
| | 57K (70 CRI) | | 71,300 | 75,000 | 49,000 | 44,900 | |
| | 30K (70 CRI) | | 65,300 | 68,700 | 44,900 | 41,100 | |
| Q8/X8 | 40K (70 CRI) | | 68,100 | 71,600 | 46,800 | 42,900 | |
| Q8/X8 | 50K (90 CRI) | 426 | 46,300 | 48,700 | 31,800 | 29,200 | |
| | 57K (70 CRI) | | 68,100 | 71,600 | 46,800 | 42,900 | |
| | 30K (70 CRI) | | 62,500 | 65,800 | 43,000 | 39,400 | |
| 07/07 | 40K (70 CRI) | | 65,200 | 68,600 | 44,900 | 41,100 | |
| Q7/X7 | 50K (90 CRI) | 404 | 44,300 | 46,600 | 30,500 | 27,900 | |
| | 57K (70 CRI) | | 65,200 | 68,600 | 44,900 | 41,100 | |
| | 30K (70 CRI) | | 60,500 | 63,600 | 41,600 | 38,100 | |
| 0. N/ | 40K (70 CRI) | 0.07 | 63,000 | 66,300 | 43,400 | 39,700 | |
| Q6/X6 | 50K (90 CRI) | - 387 | 42,900 | 45,100 | 29,500 | 27,000 | |
| | 57K (70 CRI) | - | 63,000 | 66,300 | 43,400 | 39,700 | |
| | 30K (70 CRI) | | 55,300 | 58,200 | 38,100 | 34,900 | |
| Q5/X5 | 40K (70 CRI) | 350 | 350 | 57,600 | 60,600 | 39,600 | 36,300 |
| Q5/X5 | 50K (90 CRI) | | | - 300 | 39,200 | 41,200 | 26,900 |
| | 57K (70 CRI) | | 57,600 | 60,600 | 39,600 | 36,300 | |
| | 30K (70 CRI) | | 50,200 | 52,800 | 34,500 | 31,600 | |
| O/N/ | 40K (70 CRI) | | 52,400 | 55,100 | 36,000 | 33,000 | |
| Q4/X4 | 50K (90 CRI) | 321 | 35,600 | 37,400 | 24,500 | 22,400 | |
| | 57K (70 CRI) | | 52,400 | 55,100 | 36,000 | 33,000 | |
| | 30K (70 CRI) | | 46,400 | 48,800 | 31,900 | 29,200 | |
| Q3/X3 | 40K (70 CRI) | 287 | 48,400 | 50,900 | 33,300 | 30,500 | |
| Q3/X3 | 50K (90 CRI) | 287 | 32,900 | 34,600 | 22,600 | 20,700 | |
| | 57K (70 CRI) | | 48,400 | 50,900 | 33,300 | 30,500 | |
| | 30K (70 CRI) | | 41,700 | 43,900 | 28,700 | 26,300 | |
| 00.00 | 40K (70 CRI) | 25/ | 43,500 | 45,800 | 29,900 | 27,400 | |
| Q2/X2 | 50K (90 CRI) | 256 | 29,600 | 31,100 | 20,300 | 18,600 | |
| | 57K (70 CRI) | | 43,500 | 45,800 | 29,900 | 27,400 | |
| | 30K (70 CRI) | | 36,900 | 38,800 | 25,400 | 23,200 | |
| 01//1 | 40K (70 CRI) | 007 | 38,400 | 40,400 | 26,400 | 24,200 | |
| Q1/X1 | 50K (90 CRI) | 227 | 26,100 | 27,500 | 18,000 | 16,500 | |
| | 57K (70 CRI) | | 38,400 | 40,400 | 26,400 | 24,200 | |

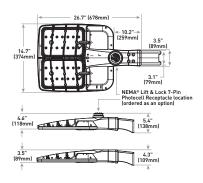
OSQL - AA Mount



| Luminaire | Weight | | | | |
|-----------|--------------------|--|--|--|--|
| OSQL | 28.4 lbs. (12.9kg) | | | | |

Note: For OSQM w/AA mount, refer to drawing on page 1.

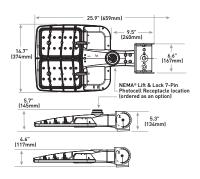




| Luminaire | Weight | | | | |
|-----------|-------------------|--|--|--|--|
| OSQM | 19.7 lbs. (8.9kg) | | | | |

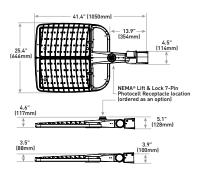
Note: Refer to page 14 for fixture mounting drill pattern.

OSQM - Trunnion Mount



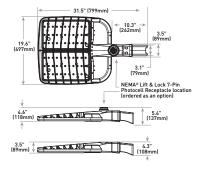
| Luminaire | Weight |
|-----------|--------------------|
| OSQM | 23.2 lbs. (10.5kg) |





| Luminaire | Weight |
|-----------|--------------------|
| OSQX | 48.6 lbs. (22.0kg) |

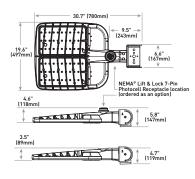




| Luminaire | Weight | | | | |
|-----------|--------------------|--|--|--|--|
| OSQL | 28.8 lbs. (13.1kg) | | | | |
| | | | | | |

Note: Refer to page 14 for fixture mounting drill pattern.

OSQL - Trunnion Mount

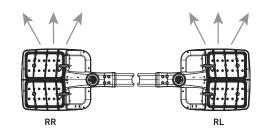


| | Luminaire | Weight |
|---|-----------|--------------------|
|) | OSQL | 32.3 lbs. (14.7kg) |

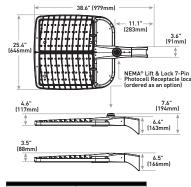
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US: <u>creelighting.com</u> (800) 236-6800 Canada: <u>creelighting-canada.com</u> (800) 473-1234

RR/RL Configuration



OSQX-DA Mount



| Luminaire | Weight |
|-----------|--------------------|
| OSQX | 45.8 lbs. (20.8kg) |

Note: Refer to page 14 for fixture mounting drill pattern.

CREE ÷ LIGHTING

A COMPANY OF IDEAL INDUSTRIES, INC.

OLLWD LED-P1-40K-MVOLT-DDB GC TO SEE NOTES BELOW UU1-UU2



FEATURES & SPECIFICATIONS

INTENDED USE

Provides years of maintenance-free illumination for outdoor use in residential & commercial applications. Ideal for applications such as lighting walkways and stairways for safety and security.

CONSTRUCTION

Cast-aluminum housing with corrosion-resistant paint in either dark bronze or white finish.

ADA compliant.

OPTICS

4000K CCT LEDs.

Polycarbonate lens protects the LED from moisture, dirt and other contaminants.

LUMEN MAINTENANCE: The LED will deliver 70% of its initial lumens at 50,000 hour average LED life. See Lighting Facts label on page 2 for performance details.

ELECTRICAL

MVOLT driver operates on any line voltage from 120-277V

Operating temperature -30°C to 40°C.

1KV surge protection standard.

INSTALLATION

Surface mounts to universal junction box (provided by others).

LISTINGS

UL Listed to U.S. and Canadian safety standards for wet locations.

Tested in accordance with IESNA LM-79 and LM-80 standards.

WARRANTY — 5-year limited warranty. This is the only warranty provided and no other statements in this specification sheet create any warranty of any kind. All other express and implied warranties are disclaimed. Complete warranty terms located at:

www.acuitybrands.com/support/customer-support/terms-and-conditions

Note: Actual performance may differ as a result of end-user environment and application.

All values are design or typical values, measured under laboratory conditions at 25 °C.

Specifications subject to change without notice.

CONTRACTOR TO VERIFY THAT FIXTURES CAN BE MOUNTED PER PLAN AND ALL NECESSARY HARDWARE IS SPECIFIED FOR INSTALLATION PRIOR TO PURCHASING



Catalog

Number

Notes

Туре



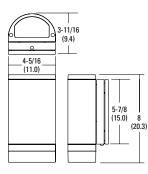
OLLWD & OLLWU

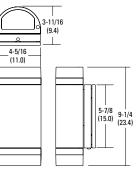
Outdoor General Purpose

LED WALL CYLINDER LIGHT

Specifications

All dimensions are inches (centimeters)





| ORDERING INFORMATION FO | or shortest lead times, configure produ | cts using bolded options . | | Example: OLLWD LED P1 40K MVOLT DDI | | |
|--|---|-----------------------------------|---|--|--|--|
| | | | | | | |
| Series Performance Package | | Color temperature (CCT) Voltage | | Finish | | |
| OLLWD LED Downlight OLLWU LED Up & downlight | P1 | 40K 4000K | MVOLT 120V-277V 120 120V ¹ | DDB Dark bronze WH White ² | | |

Notes

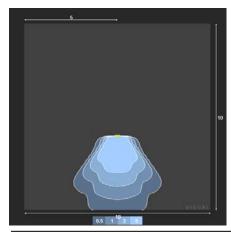
1. Only available with OLLWU and in DDB.

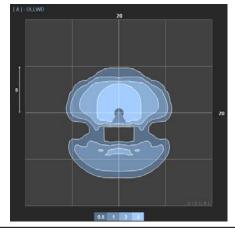
2. Only available with OLLWU.

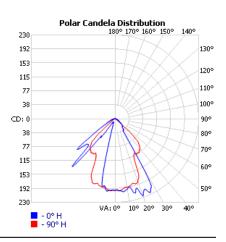
PHOTOMETRICS

To see complete photometric reports or download .ies files for this product, visit Lithonia Lighting's Outdoor LED homepage Tested in accordance with IESNA LM-79 and LM-80 standards.

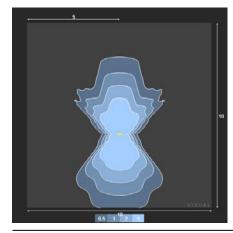
OLLWD

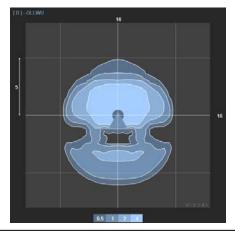


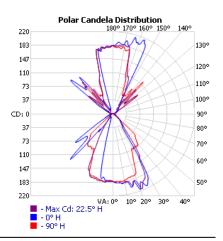




OLLWU







OLLWD Tighting facts Lithonia Lightin Light Output (Lumens) 533 Watts 9.1 Lumens per Watt (Efficacy) 58.63 Color Accuracy 70 Light Color 4000 (Bright White) All results are according to IESNA LM-79-2008: Approved Me Photometric Testing of Solid-State Lighting. The U.S. Departm product test data and results. hod for the Electrical and ant of Energy (DOE) veri Visit www.lightingfacts.com for the Label Reference Guide Model Number: OLLWD LED P1 40K XXXXX XXX Type: Luminaire - Other

OLLWU Tighting facts Lithonia Ligh Light Output (Lumens) 947 Watts 14 Lumens per Watt (Efficacy) 67.64 Color Accuracy 70 Light Color 4000 (Bright White) te esuits are according to IESNA LM-79-2008: Approve cometric Teating of Solid-State Lighting. The U.S. De fuct lest data and results. t of for the Electrical and to Energy (DOE) ver Visit www.lightingfacts.com for the Label Reference Guide. ber: NJSM-Y7HN68 (7/20 del Number: OLLWU LED P1 40K XXXXX XXX Type: Luminaire - Other



🚺 LITHONIA LIGHTING

OLLWD-OLLWU



CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION CASE MEMO

PLANNING AND ZONING DEPARTMENT 385 S. GOLIAD STREET • ROCKWALL, TX 75087 PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

| TO: | Planning and Zoning Commission |
|--------------|------------------------------------|
| DATE: | November 14, 2023 |
| APPLICANT: | Clay Cristy; ClayMoore Engineering |
| CASE NUMBER: | SP2023-038; Site Plan for HTeaO |

SUMMARY

Discuss and consider a request by Clay Cristy of ClayMoore Engineering on behalf of Staci Bowen of Metroplex Acquisition Fund, LP for the approval of a <u>Site Plan</u> for Restaurant with Less Than 2,000 SF with a Drive-Through or Drive-In (i.e. HTeaO) on a 0.93-acre portion of a larger 5.16-acre parcel of land identified as Lot 13, Block A, Stone Creek Retail Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 70 (PD-70) for General Retail (GR) District land uses, situated within North SH-205 Overlay (N. SH-205 OV) District, generally located at the northeast corner of the intersection of N. Goliad Street [SH-205] and Bordeaux Drive, and take any action necessary.

BACKGROUND

The subject property was annexed into the City of Rockwall on May 19, 1986 by *Ordinance No. 86-37.* On December 7, 1993, the City's historic zoning map indicates the subject property was zoned Agricultural (AG) District. On April 2, 2007, the City Council approved a zoning change for the subject property changing the zoning designation from an Agricultural (AG) District to Planned Development District 70 (PD-70) [*i.e. Ordinance No. 07-13*] for limited General Retail (GR) District land uses. On October 5, 2020, the City Council approved a replat [*i.e. Case No. P2020-038*] that replatted the subject property as Lot 11, Block A, Stone Creek Retail Addition. On May 2, 2022, the City Council approved a replat [*i.e. Case No. P2022-013*] that established the subject property as a portion of Lot 13, Block A, Stone Creek Retail Addition. On November 6, 2023, the City Council approved a Specific Use Permit (SUP) [*i.e. Case No. Z2023-048; Ordinance No. 23-62, S-319*] to allow a *Restaurant with less than 2,000 SF with Drive-Through or Drive-In* on the subject property. The subject property is currently vacant.

<u>PURPOSE</u>

On October 20, 2023, the applicant -- *Clay Cristy of ClayMoore Engineering* -- submitted an application requesting the approval of a site plan for the purpose of constructing a *Restaurant Less Than 2,000 SF with a Drive-Through or Drive-In (i.e. HTeaO)* on the subject property.

ADJACENT LAND USES AND ACCESS

The subject property is generally located northeast of the intersection of N. Goliad Street [SH-205] and Bordeaux Drive. The land uses adjacent to the subject property are as follows:

- <u>North</u>: Directly north of the subject is a *Restaurant with less than 2,000 SF with a Drive-Through (i.e. Salad-n-Go)*. North of this is a *Restaurant with more than 2,000 SF with a Drive-Through (i.e. McDonald's)*. Beyond this is a *Retail Store with Gasoline Sales (i.e. Tom Thumb Gas Station)*. All of these properties are zoned Planned Development District 70 (PD-70) for limited General Retail (GR) District land uses.
- <u>South</u>: Directly south of the subject property is Bordeaux Drive, which is identified as a A4D (*i.e. major arterial, four [4] lane, divided roadway*) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this is Phase 1 of the Stone Creek Subdivision, which is an 83.57-acre residential subdivision, zoned Planned Development District 70 (PD-70) for Single-Family 10 (SF-10) District land uses.

- *East*: Directly east of the subject property is the remainder of a 5.16-acre parcel of land (*i.e. Lot 13, Block A, Stone Creek Retail Addition*) -- *that includes the subject property* --, which is currently vacant. East of this is Stone Creek Drive, which is identified as a *Minor Collector* on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this is Phases 2B & 6 of the Stone Creek Subdivision, which are zoned Planned Development District 70 (PD-70) for Single-Family 10 (SF-10) District land uses.
- <u>West</u>: Directly west of the subject property is N. Goliad Street [*SH-205*], which is identified as a A4D (*i.e. major arterial, four [4] lane, divided roadway*) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this are two (2) parcels of land (*i.e. 3069 and 3073 N. Goliad Street*), zoned Single-Family 16 (SF-16) District. Beyond this is Phase 6 of the Shores Subdivision, which consists of 70 lots and is zoned Planned Development District 3 (PD-3) for single-family land uses.

DENSITY AND DIMENSIONAL REQUIREMENTS

According to Section 01, Land Use Schedule, of Article 04, Permissible Uses, of the Unified Development Code (UDC), a Restaurant with Less Than 2,000 SF with a Drive-Through or Drive-In is permitted by Specific Use Permit (SUP) in a General Retail (GR) District. A Specific Use Permit (SUP) [*i.e. Case No. Z2023-048; Ordinance No. 23-62, S-319*] was granted for this land use by the City Council on November 6, 2023. The submitted site plan, landscape plan, photometric plan, and building elevations generally conform to the technical requirements contained within the Unified Development Code (UDC) for a property located within a General Retail (GR) District. A summary of the density and dimensional requirements for the subject property are as follows:

| Ordinance Provisions | Zoning District Standards | Conformance to the Standards |
|----------------------------------|-------------------------------------|-------------------------------|
| Minimum Lot Area | 6,000 SF | X=0.81-acres; In Conformance |
| Minimum Lot frontage | 60-Feet | X= 137-feet; In Conformance |
| Minimum Lot Depth | 100-Feet | X=249.46-feet; In Conformance |
| Minimum Front Yard Setback | 15-Feet | x>15-feet; In Conformance |
| Minimum Rear Yard Setback | 10-Feet | x>10-feet; In Conformance |
| Minimum Side Yard Setback | 10-Feet | x=10-feet; In Conformance |
| Maximum Building Height | 36-Feet | X<60-feet; In Conformance |
| Max Building/Lot Coverage | 40% | X=2.22%; In Conformance |
| Minimum Number of Parking Spaces | 1 Parking Space/100 SF (8 Required) | x=8; In Conformance |
| Minimum Landscaping Percentage | 20% | In Conformance |
| Maximum Impervious Coverage | 85-90% | x<85%; In Conformance |

TREESCAPE PLAN

There are no trees being removed from the property, therefore no treescape plan is required.

CONFORMANCE WITH THE CITY'S CODES

According to Subsection 02.02(F)(27), *Restaurant with Drive Through or Drive-In*, of Article 13, *Definitions*, of the Unified Development Code (UDC) defines *Restaurants with Drive Through or Drive-In* as "(a) place of business whose primary source of revenue is derived from the sale of prepared food to the general public for consumption on-premise or off-premises and/or in a personal vehicle or where facilities are provided on the premises that encourages the serving and consumption of food in a personal vehicle on or near the restaurant premises." In this case the applicant is requesting a *Restaurant with Less Than 2,000 SF with Drive-Through or Drive-In*, which conforms to the land use listed in Section 01, *Land Use Schedule*, of Article 04, *Permissible Uses*, of the Unified Development Code (UDC).

The proposed site plan generally conforms to the standards of the *General Overlay District Standards* and the *General Commercial District Standards* as stipulated by Article 05, *District Development Standards*, of the Unified Development Code (UDC), with the exception of the variances being requested as outlined in the *Variances and Exceptions Requested by the Applicant* section of this case memo.

VARIANCES AND EXCEPTIONS BY THE APPLICANT

As stated above, the applicant's request conforms to the majority of the City's codes; however, staff has identified the following exceptions:

- (1) Architectural Standards.
 - (a) <u>20% Stone Requirement</u>. According to Subsection 06.02(C)(1)(A)(1), Stone, of Article 05, District Development Standards, of the Unified Development Code (UDC), "...a minimum of 20% natural or quarried stone is required on all building facades." In this case, the applicant meets this requirement on three (3) of four (4) sides of the building. A variance is requested for the building façade that does not meet this requirement.
 - (b) <u>90% Masonry Requirement</u>. According to Subsection 06.02(C)(1), Materials and Masonry Composition, of Article 05, District Development Standards, of the Unified Development Code (UDC), "...each exterior wall of a building's façade shall consist of a minimum of 90% Primary Materials..." In this case, the applicant meets this requirement on one (1) of the four (4) sides of the building. A variance is requested on three (3) of the four (4) sides of the building.
 - (c) <u>Roof Design Standards.</u> According to Subsection 06.02 (C)(3), Roof Design Standards, of Article 05, District Development Standards, of the Unified Development Code (UDC), states that "(a)II structures that have a building footprint of less than 6,000 SF shall be constructed with a pitched roof". In this case, the applicant is requesting that this requirement be waived in order to meet their brand standards and match the surrounding buildings. Staff should note that this variance has been granted before for the adjacent restaurant (*i.e. Salad and Go*).
 - (d) <u>Four-Sided Architecture</u>. According to Article 05, General Overlay District Development Standards, of the Unified Development Code (UDC), "(a)II buildings shall be architecturally finished on all four (4) sides utilizing the same materials, detailing, articulation and features. In addition, a minimum of one (1) row of trees (*i.e. four [4] or more accent or canopy trees*) shall be planted along perimeter of the subject property to the rear of the building." In this case, the building elevations did not meet the articulation standards or projection standards for all four (4) facades of all buildings proposed and there is not an additional row of trees proposed at the back of the property.

According to Subsection 09.01, *Exceptions to the General Standards*, of Article 11, Development Applications and Review Procedures, of the Unified Development Code (UDC), "...an applicant may request the Planning and Zoning Commission grant an exception to the provisions contained in the Unified Development Code (UDC), where unique or extraordinary conditions exist or where strict adherence to the technical requirements of the Unified Development Code would create an undue hardship." In addition, the code requires that applicant's provide compensatory measures that directly offset the requested exception. In this case, as compensatory measures the applicant is proposing to [1] increased landscaping (*i.e. six* (6) canopy trees around the building and increased landscaping at east and southwest corners of the lot), [2] additional coverings (*i.e. portico around the front entrance and squared arch openings on either side of portico*), and [3] increased horizontal articulation (*i.e. added cornice design using two-step cornice crowning the top of the walls finished in stucco*). With this being said, requests for exceptions to the general standards are discretionary decisions for the Planning and Zoning Commission. Staff should also note that a supermajority vote (*e.g. six* [6] out of the seven [7] commissioners) -- with a minimum of four (4) votes in the affirmative -- is required for the approval of an exception.

CONFORMANCE WITH OURHOMETOWN VISION 2040 COMPREHENSIVE PLAN

The Future Land Use Plan adopted with the OURHometown Vision 2040 Comprehensive Plan identifies the subject property as being situated in the <u>Northwest Residential District</u>. The <u>Northwest Residential District</u> is an established district that is significantly developed with medium-density, suburban housing and many of the subdivisions are not anticipated to change. As a result, the majority of commercial development in the area is anticipated to consist of neighborhood/convenience centers that are compatible in scale with the adjacent residential properties. Strategy #2 in the <u>Northwest Residential District</u> states that "...commercial in this district is intended to support the existing residential subdivisions and should be compatible in scale with the adjacent residential structures." In this case, the applicant's proposal appears to conform with the goals and policies of the Comprehensive Plan.

ARCHITECTURAL REVIEW BOARD (ARB) RECOMMENDATION

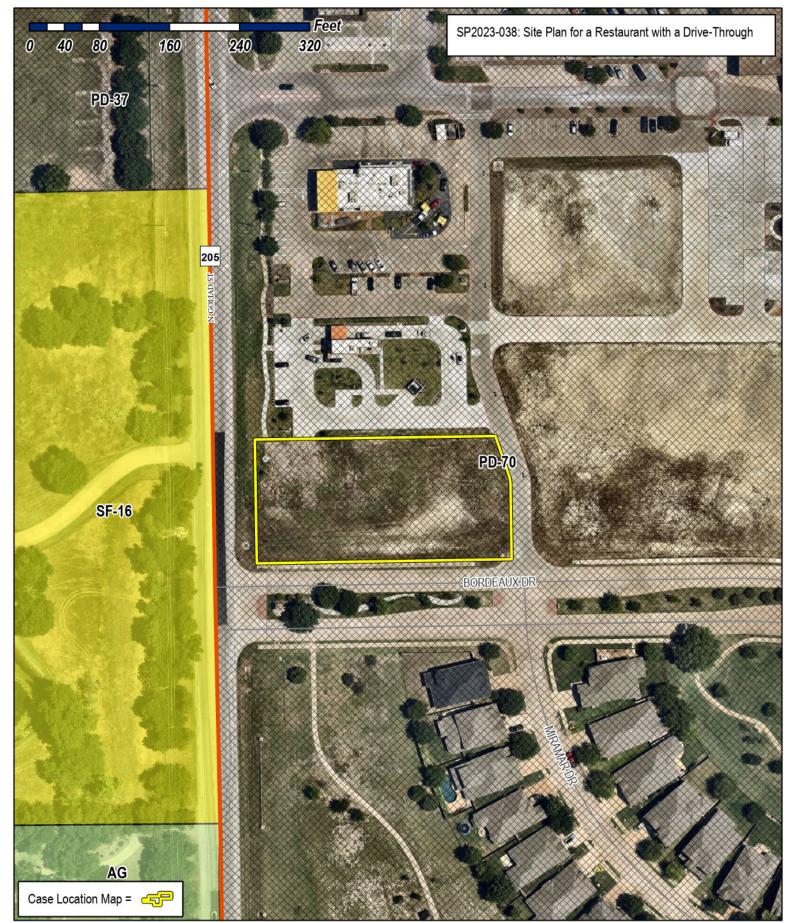
The Architectural Review Board (ARB) reviewed the building elevations provided by the applicant on November 1, 2023. The ARB recommended that the applicant revise the elevations to be more consistent with the surrounding buildings (*i.e. Salad and Go*) in terms of projections and building materials. They also asked that the applicants meet the articulation requirements. Before action is taken on the elevations, the ARB wants to see the revised elevations at the November 14, 2023 meeting.

CONDITIONS OF APPROVAL

If the Planning and Zoning Commission chooses to approve the applicant's <u>Site Plan</u> for HTeaO on the subject property, then staff would propose the following conditions of approval:

- (1) All staff comments provided by the Planning, Engineering and Fire Department must be addressed prior to the submittal of engineering plans.
- (2) The applicant shall update the Photometric Plan to be in conformance with the Unified Development Code (UDC) before the engineering process.
- (3) Any construction resulting from the approval of this <u>Site Plan</u> shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

| | DEVELOPMENT APPLICA City of Rockwall Planning and Zoning Departmen 385 S. Goliad Street Rockwall, Texas 75087 | nt SI | STAFF USE ONLY PLANNING & ZONING CASE NO. <u>NOTE:</u> THE APPLICATION IS NOT CONSIDERED ACCEPTED BY TH CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW. DIRECTOR OF PLANNING: CITY ENGINEER: | | | | |
|--|--|---|---|--|--|--|--|
| Please check the ap | ppropriate box below to indicate the type of deve | elopment reques | t [SELECT ONLY ONE BOX]: | | | | |
| Preliminary Pli Final Plat (\$30.0 Replat (\$300.0 Amending or N Plat Reinstates Site Plan Applicat Site Plan (\$250 | 100.00 + \$15.00 Acre) ¹ at (\$200.00 + \$15.00 Acre) ¹ 0.00 + \$20.00 Acre) ¹ 00 + \$20.00 Acre) ¹ Winor Plat (\$150.00) ment Request (\$100.00) | [] Zoning [] Specific [] PD Devi Other Appl [] Tree Re [] Varianc Notes: 2: In determin | Dication Fees: Change (\$200.00 + \$15.00 Acre) ¹ Use Permit (\$200.00 + \$15.00 Acre) ¹ elopment Plans (\$200.00 + \$15.00 Acre) ¹ ication Fees: moval (\$75.00) e Request (\$100.00) hing the fee, please use the exact acreage when multiplying by the unt. For requests on less than one acre, round up to one (1) acre. | | | | |
| PROPERTY INFO | ORMATION [PLEASE PRINT] | | | | | | |
| Address | | | | | | | |
| Subdivision | Stone Creek Retail Addition | | Lot 12 Block A | | | | |
| General Location | North East Corner of N. Goliad St a | nd Bordeaux | ۲. | | | | |
| ZONING, SITE P | LAN AND PLATTING INFORMATION [PLEA | | | | | | |
| Current Zoning | | Current U | se Undeveloped | | | | |
| Proposed Zoning | | | se Retail | | | | |
| Acreage | | | Lots [Proposed] 2 | | | | |
| | | | | | | | |
| | re to address any of staff's comments by the date provided | | <u>3167</u> the City no longer has flexibility with regard to its approve Calendar will result in the denial of your case. | | | | |
| | CANT/AGENT INFORMATION [PLEASE PRINT/ | CHECK THE PRIMAR | Y CONTACT/ORIGINAL SIGNATURES ARE REQUIRED] | | | | |
| | Metroplex Acquisition Fund, LP | [🗸] Applicar | t ClayMoore Engineering | | | | |
| Contact Person | Staci Bowen | | n Clay Cristy | | | | |
| Address | 1717 Woodstead Ct. | Addres | 1903 Central Dr. | | | | |
| | Ste. 207 | | Ste. 406 | | | | |
| | The Woodlands, TX 77380 | City, State & Zi | Bedford, Texas 76021 | | | | |
| | 214.343.4477 | Phon | | | | | |
| E-Mail | sbowen@crestviewcompanies.com | E-Ma | il Clay@claymooreeng.com | | | | |
| Before me, the undersig this application to be tru "I hereby certify that I an cover the cost of this ap that www.thin ff.Rockwa | med authority, on this day personally appeared <u>Metroplex</u> ue and certified the following: <i>m the owner for the purpose of this application; all informat</i> plication, has been paid to the City of Rockwall on this the <u></u> Il (i.e. "City") is authorized and permitted to provide inform | <u>14</u> day of <u>Sept</u> mation contained wi this application, if su | | | | | |

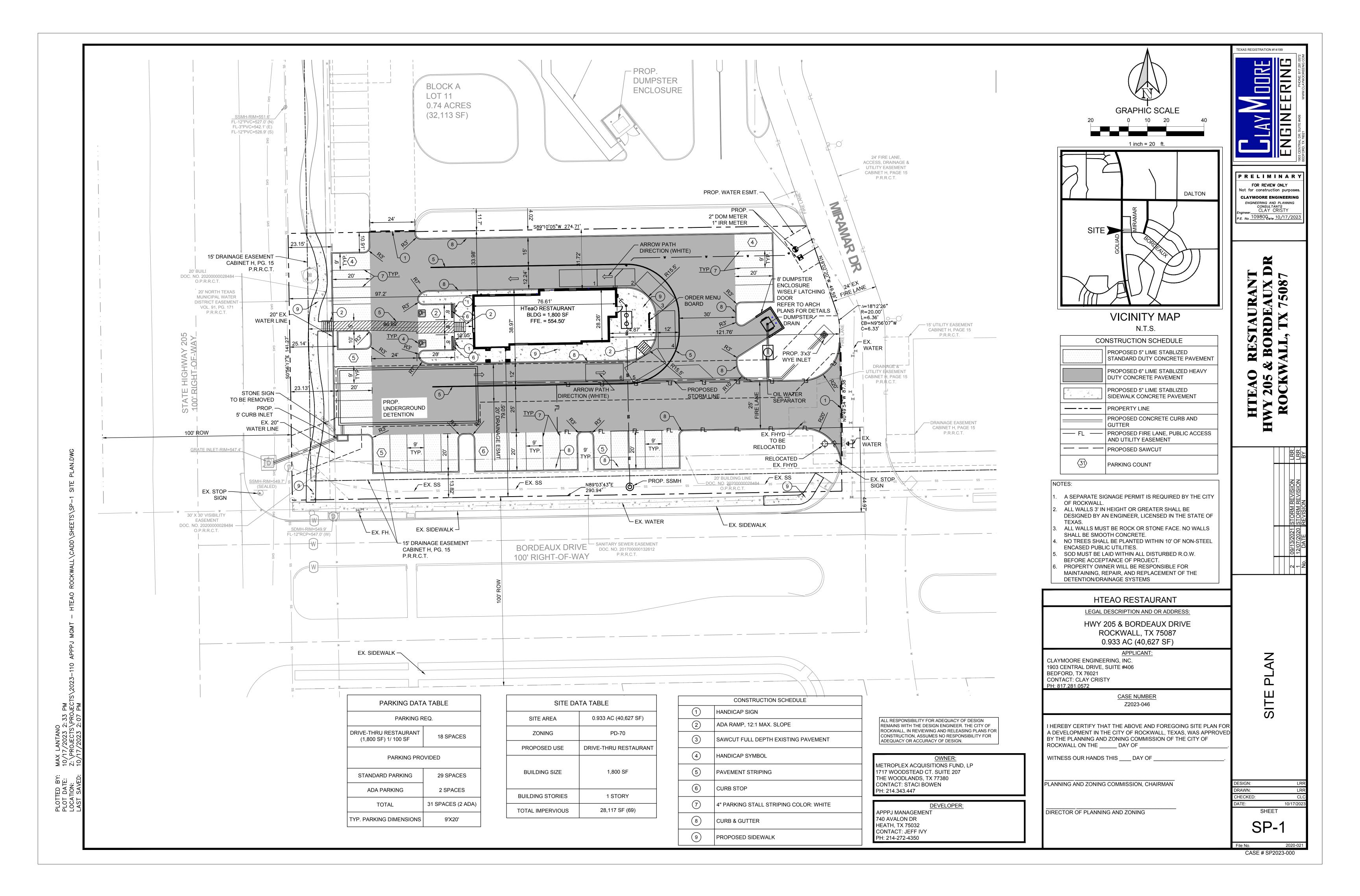




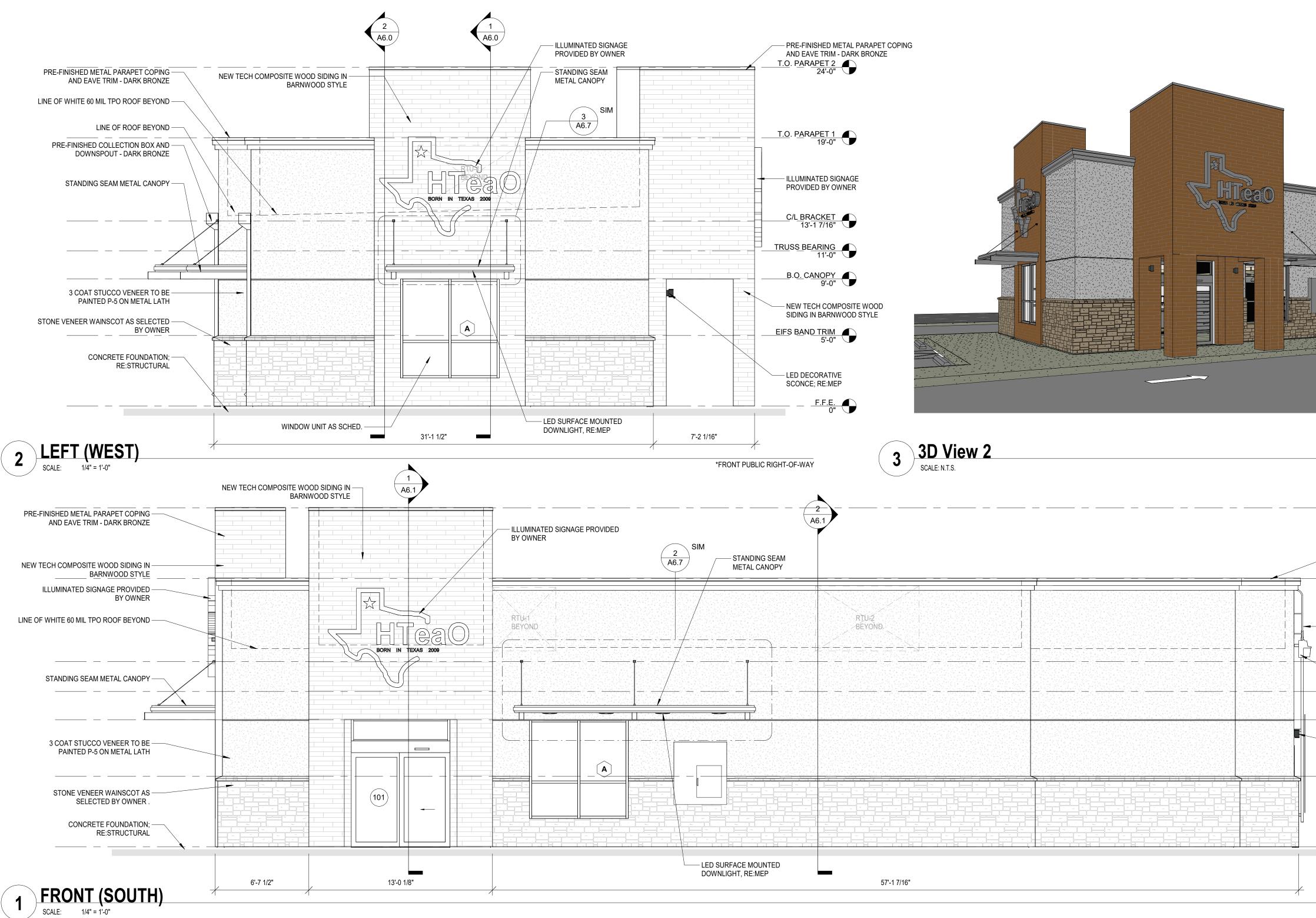
City of Rockwall Planning & Zoning Department 385 S. Goliad Street Rockwall, Texas 75087 (P): (972) 771-7745 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





| | BUI | LDING EXTE | RIOR WALL | MATERIAL PE | RCENTAGES | 10 | | | | |
|----------------|--|--|--|--|---|---|--|--|--|---|
| <u>4389</u> S. | .F. | | | | | | | | | |
| UDING OPENI | NGS, WINDO | WS AND DOO | RS: | <u>4111</u> S. | F. | | | | | |
| LOWED BY COI | DE: <u>40'-0" S.F</u> . | <u>.</u> P | ROPOSED BU | JILDING HEIGH | T: <u>22'-0" S.F.</u> | | | | | |
| NORT | <u>н</u> | SOUT | тн | FAST | -3 | WEST | r | τοτα | s | |
| S.F. | % | S.F. | % | S.F. | % | S.F. | % | S.F. | % | |
| 957 | 66% | 800 | 53% | 318 | 48% | 250 | 33% | 2325 | 53% | |
| 329 | 23% | 297 | 20% | 132 | 20% | 98 | 13% | 856 | 20% | |
| 0 | 0% | 250 | 17% | 171 | 26% | 351 | 46% | 772 | 18% | |
| 64 | 4% | 54 | 4% | 23 | 3% | 17 | 2% | 158 | 4% | |
| 96 | 7% | 112 | 7% | 21 | 3% | 49 | 6% | 278 | 6% | |
| 1446 | 100% | 1513 | 100% | 665 | 100% | 765 | 100% | 4389 | 100% | |
| | UDING OPENII LOWED BY CO NORT S.F. 957 329 0 64 96 | 4389 S.F. UDING OPENINGS, WINDOV LOWED BY CODE: 40'-0" S.F NORTH S.F. % 957 66% 329 23% 0 0% 64 4% 96 7% | 4389 S.F. JUDING OPENINGS, WINDOWS AND DOOL LOWED BY CODE: 40'-0" S.F. NORTH SOU S.F. % S.F. 957 66% 800 329 23% 297 0 0% 250 64 4% 54 96 7% 112 | 4389 S.F. JUDING OPENINGS, WINDOWS AND DOORS: LOWED BY CODE: 40'-0" S.F. PROPOSED BU NORTH SOUTH S.F. % S.F. % 957 66% 800 53% 329 23% 297 20% 0 0% 250 17% 64 4% 54 4% 96 7% 112 7% | 4389 S.F. LUDING OPENINGS, WINDOWS AND DOORS: 4111 S. LOWED BY CODE: 40'-0" S.F. PROPOSED BUILDING HEIGH NORTH SOUTH EAST S.F. % S.F. % 957 66% 800 53% 318 329 23% 297 20% 132 0 0% 250 17% 171 64 4% 54 4% 23 96 7% 112 7% 21 | 4389 S.F. UDING OPENINGS, WINDOWS AND DOORS: 4111 S.F. DOPOSED BUILDING HEIGHT: 22'-0" S.F. NORTH SOUTH EAST S.F. % S.F. % S.F. % S.F. % S.F. % S.F. % S.F. % 957 66% 800 53% 318 48% 329 23% 297 20% 132 20% 132 20% 132 20% 132 20% 132 20% 132 20% 132 20% 132 20% 132 20% 132 20% 132 33% 33% 36 136 <th colspa<="" td=""><td>LUDING OPENINGS, WINDOWS AND DOORS: 4111 S.F. LOWED BY CODE: 40'-0" S.F. PROPOSED BUILDING HEIGHT: 22'-0" S.F. NORTH SOUTH EAST WEST S.F. % S.F. % S.F. 957 66% 800 53% 318 48% 250 329 23% 297 20% 132 20% 98 0 0% 250 17% 171 26% 351 64 4% 54 4% 23 3% 17 96 7% 112 7% 21 3% 49</td><td>S.F. 4111 S.F. LUDING OPENINGS, WINDOWS AND DOORS: <u>4111</u> S.F. LOWED BY CODE: <u>40'-0" S.F.</u> PROPOSED BUILDING HEIGHT: <u>22'-0" S.F.</u> NORTH SOUTH EAST WEST S.F. % S.F. % S.F. % 318 48% 250 33% 33% O 00% 250 17% 171 26% 331 46% 66% 0 0% 250 33% 0 0% 250 13% 0 0% 250 17% 17 2% 0 0% 250 17% 171 26% 351 46% 46% 46% 23 3% 17 2% 3% 49 6% 6% 6% 6% 6% 6% 6% 6% 6% 6% 6% 17 2%<!--</td--><td>4389 S.F. JUDING OPENINGS, WINDOWS AND DOORS: 4111 S.F. LOWED BY CODE: 40'-0" S.F. PROPOSED BUILDING HEIGHT: 22'-0" S.F. NORTH SOUTH EAST WEST TOTA S.F. % S.F. % S.F. 70 957 66% 800 53% 318 48% 250 33% 2325 329 23% 297 20% 132 20% 98 13% 856 0 0% 250 17% 171 26% 351 46% 772 64 4% 54 4% 23 3% 17 2% 158 96 7% 112 7% 21 3% 49 6% 278</td></td></th> | <td>LUDING OPENINGS, WINDOWS AND DOORS: 4111 S.F. LOWED BY CODE: 40'-0" S.F. PROPOSED BUILDING HEIGHT: 22'-0" S.F. NORTH SOUTH EAST WEST S.F. % S.F. % S.F. 957 66% 800 53% 318 48% 250 329 23% 297 20% 132 20% 98 0 0% 250 17% 171 26% 351 64 4% 54 4% 23 3% 17 96 7% 112 7% 21 3% 49</td> <td>S.F. 4111 S.F. LUDING OPENINGS, WINDOWS AND DOORS: <u>4111</u> S.F. LOWED BY CODE: <u>40'-0" S.F.</u> PROPOSED BUILDING HEIGHT: <u>22'-0" S.F.</u> NORTH SOUTH EAST WEST S.F. % S.F. % S.F. % 318 48% 250 33% 33% O 00% 250 17% 171 26% 331 46% 66% 0 0% 250 33% 0 0% 250 13% 0 0% 250 17% 17 2% 0 0% 250 17% 171 26% 351 46% 46% 46% 23 3% 17 2% 3% 49 6% 6% 6% 6% 6% 6% 6% 6% 6% 6% 6% 17 2%<!--</td--><td>4389 S.F. JUDING OPENINGS, WINDOWS AND DOORS: 4111 S.F. LOWED BY CODE: 40'-0" S.F. PROPOSED BUILDING HEIGHT: 22'-0" S.F. NORTH SOUTH EAST WEST TOTA S.F. % S.F. % S.F. 70 957 66% 800 53% 318 48% 250 33% 2325 329 23% 297 20% 132 20% 98 13% 856 0 0% 250 17% 171 26% 351 46% 772 64 4% 54 4% 23 3% 17 2% 158 96 7% 112 7% 21 3% 49 6% 278</td></td> | LUDING OPENINGS, WINDOWS AND DOORS: 4111 S.F. LOWED BY CODE: 40'-0" S.F. PROPOSED BUILDING HEIGHT: 22'-0" S.F. NORTH SOUTH EAST WEST S.F. % S.F. % S.F. 957 66% 800 53% 318 48% 250 329 23% 297 20% 132 20% 98 0 0% 250 17% 171 26% 351 64 4% 54 4% 23 3% 17 96 7% 112 7% 21 3% 49 | S.F. 4111 S.F. LUDING OPENINGS, WINDOWS AND DOORS: <u>4111</u> S.F. LOWED BY CODE: <u>40'-0" S.F.</u> PROPOSED BUILDING HEIGHT: <u>22'-0" S.F.</u> NORTH SOUTH EAST WEST S.F. % S.F. % S.F. % 318 48% 250 33% 33% O 00% 250 17% 171 26% 331 46% 66% 0 0% 250 33% 0 0% 250 13% 0 0% 250 17% 17 2% 0 0% 250 17% 171 26% 351 46% 46% 46% 23 3% 17 2% 3% 49 6% 6% 6% 6% 6% 6% 6% 6% 6% 6% 6% 17 2% </td <td>4389 S.F. JUDING OPENINGS, WINDOWS AND DOORS: 4111 S.F. LOWED BY CODE: 40'-0" S.F. PROPOSED BUILDING HEIGHT: 22'-0" S.F. NORTH SOUTH EAST WEST TOTA S.F. % S.F. % S.F. 70 957 66% 800 53% 318 48% 250 33% 2325 329 23% 297 20% 132 20% 98 13% 856 0 0% 250 17% 171 26% 351 46% 772 64 4% 54 4% 23 3% 17 2% 158 96 7% 112 7% 21 3% 49 6% 278</td> | 4389 S.F. JUDING OPENINGS, WINDOWS AND DOORS: 4111 S.F. LOWED BY CODE: 40'-0" S.F. PROPOSED BUILDING HEIGHT: 22'-0" S.F. NORTH SOUTH EAST WEST TOTA S.F. % S.F. % S.F. 70 957 66% 800 53% 318 48% 250 33% 2325 329 23% 297 20% 132 20% 98 13% 856 0 0% 250 17% 171 26% 351 46% 772 64 4% 54 4% 23 3% 17 2% 158 96 7% 112 7% 21 3% 49 6% 278 |



*FRONT PUBLIC RIGHT-OF-WAY

10

| — | TRUSS BEARING 11'-0" | |
|----------|----------------------------------|--|
| | <u>B.O. CANOPY</u> 9'-0" | |
| <u> </u> | LED DECORATIVE SCONCE; RE:MEP | |
| | <u>EIFS</u> BAND TRIM 5'-0" | |
| | | |
| _ | | |

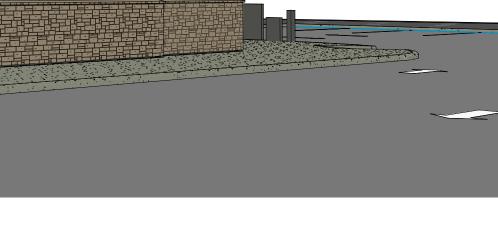
- ACCESS LADDER

<u>T.O</u>. <u>PARAPET 1</u> 19'-0"

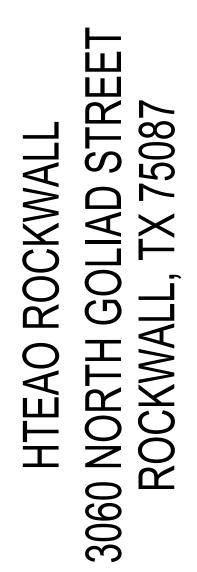
_____C/L_BRACKET 13'-1 7/16" — EXTERIOR LIGHTING; RE:MEP

- PRE-FINISHED METAL PARAPET COPING AND EAVE TRIM DARK BRONZE
- <u>T.O</u>. <u>PARAPET 2</u> 24'-0"





 ALL GLASS SUBJECT TO HUMAN IMPACT SHALL CONFORM TO THE STANDARDS SET FORTH BY CHAPTER 24 OF THE I.B.C. Intum of





Date: 7-24-2023 Project No.: 2348 Issue:

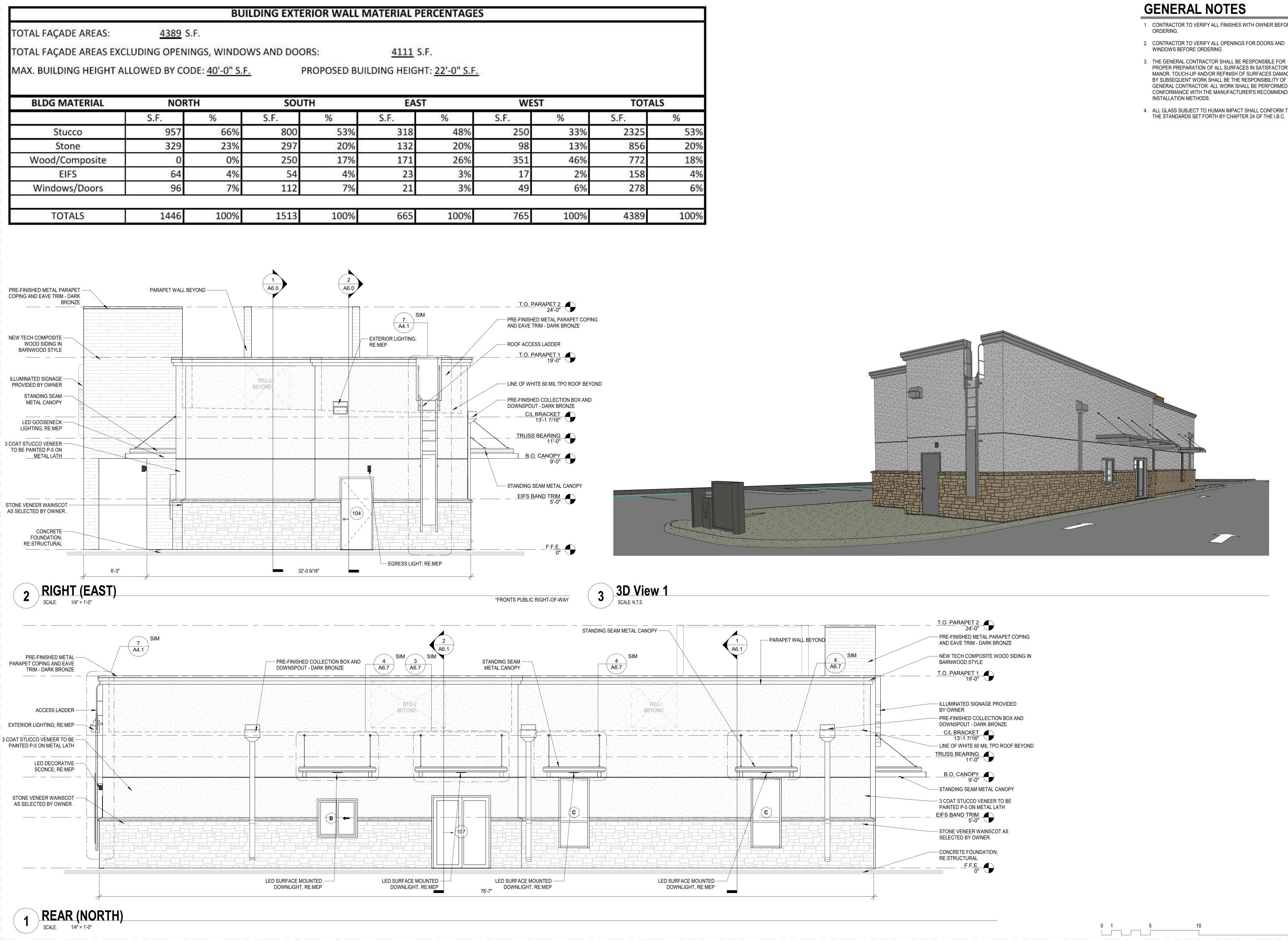


Sheet Name: EXTERIOR ELEVATIONS

²⁰ **A5.0**

GENERAL NOTES

- 1. CONTRACTOR TO VERIFY ALL FINISHES WITH OWNER BEFORE ORDERING.
- 2. CONTRACTOR TO VERIFY ALL OPENINGS FOR DOORS AND
- WINDOWS BEFORE ORDERING 3. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR PROPER PREPARATION OF ALL SURFACES IN SATISFACTORY MANOR. TOUCH-UP AND/OR REFINISH OF SURFACES DAMAGED BY SUBSEQUENT WORK SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR. ALL WORK SHALL BE PERFORMED IN CONFORMANCE WITH THE MANUFACTURER'S RECOMMENDED INSTALLATION METHODS.



| S | TOTAL | | WEST | | | | | | | | | | |
|------|--------|------|------|------|--|--|--|--|--|--|--|--|--|
| % | S.F. | % | S.F. | 6 | | | | | | | | | |
| 53% | 2325 | 33% | 250 | 48% | | | | | | | | | |
| 20% | 856 | 13% | 98 | 20% | | | | | | | | | |
| 18% | 772 | 46% | 351 | 26% | | | | | | | | | |
| 4% | 158 | 2% | 17 | 3% | | | | | | | | | |
| 6% | 278 | 6% | 49 | 3% | | | | | | | | | |
| | 52 | 33 | | 23 | | | | | | | | | |
| 100% | 4389 | 100% | 765 | 100% | | | | | | | | | |

- 1. CONTRACTOR TO VERIFY ALL FINISHES WITH OWNER BEFORE
- 2. CONTRACTOR TO VERIFY ALL OPENINGS FOR DOORS AND
- 3. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR PROPER PREPARATION OF ALL SURFACES IN SATISFACTORY MANOR. TOUCH-UP AND/OR REFINISH OF SURFACES DAMAGED BY SUBSEQUENT WORK SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR. ALL WORK SHALL BE PERFORMED IN CONFORMANCE WITH THE MANUFACTURER'S RECOMMENDED
- 4. ALL GLASS SUBJECT TO HUMAN IMPACT SHALL CONFORM TO



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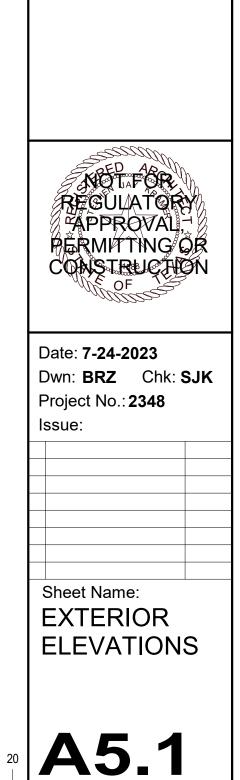
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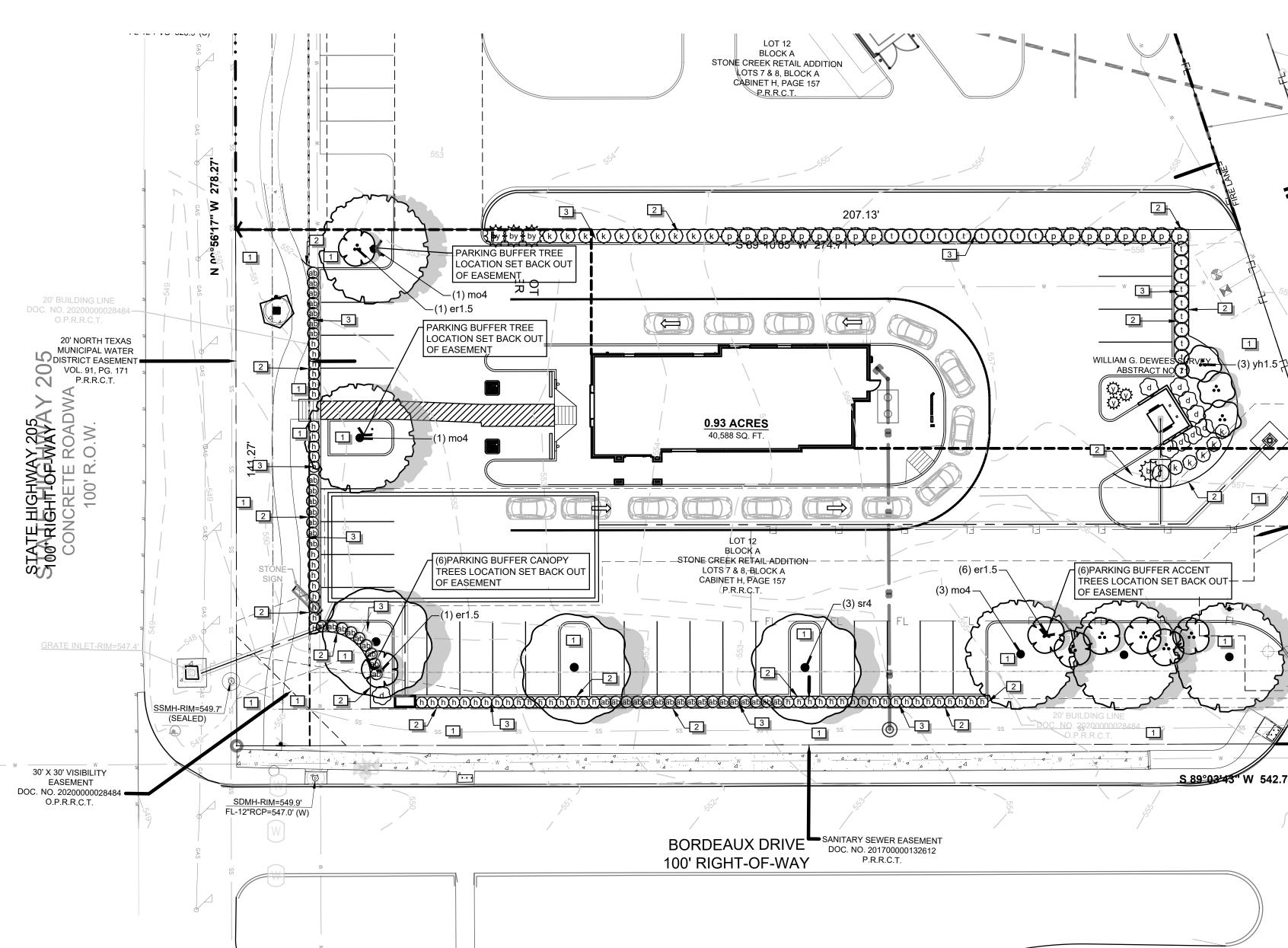
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LANDSCAPE CALCULATIONS

| LANDSCAPE BUFFER |
|----------------------|
| LANDSCAPE BUFFER |
| N Called Dr. (110 B) |

- N Goliad Dr. (110 lf) •• Shade trees (1 per 50 lf)
- •• Accent trees (1 per 50 lf) Bordeaux Dr. (291 lf)
- •• Shade trees (1 per 50 lf)
- Accent trees (1 per 50 lf)

LANDSCAPE SCREENING Headlight Screening (shrubs and 2' tall berm)

- •• N Goliad Dr. •• Bordeaux Dr.
- ••• *shrubs and berm cannot be provided due to easement conflicts

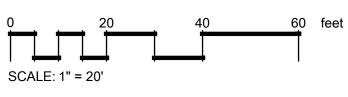
LANDSCAPE REQUIREMENTS

- Total Site Area Amount of Landscaping (20% Total Site)
- Location of Landscaping (50% in Streetyard)

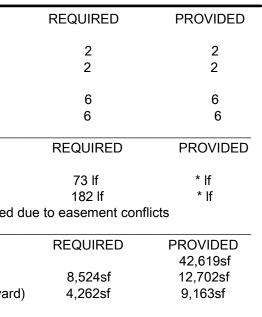
REFERENCE NOTES SCHEDULE

| SYMBOL | DESCRIPTION |
|--------|-------------|
| 1 | Lawn, Sod |
| 2 | Steel Edge |
| 3 | Mulch |









| LOT 12 BLOCK A STONE CREEK RETAIL ADDITION OTS 7 & 8, BLOCK A CABINET H, PAGE 157 P.R.R.C.T. 20 (k) (P) (P) (P) (P) (P) (P) (P) (P) (P) (P | | | | | 24' FIR CABINE P.R.R.C | | LOT 13 BLOCK A STONE CREEK RETAIL ADDITION | Main Description Description Description |
|--|--|---|---------|---------------|------------------------------|----------|--|--|
| 0.93 ACRES 40,588 SQ. FT. LOT 12 BLOCK A VE CREEK RETAIL ADDITION LOTS 7 & 8, BLOCK A CABINET H, PAGE 157 P.R.C.T. (3) (2) (2) (3) (1) (3) (2) (3) (1) (3) (2) (3) (3) (2) (3) (3) (3) (3) (3) (3) (3) (3) (3) (3 | (6) er1.5- (3) mo4 | Constant of the second | | 1 3) yh1.5 | FIRE LANE | | LOTS 7 & 8, BLOCK A CABINET H, PAGE 157 P.R.C.T. * * * * * * * * * * * * * * * * * * | BLAR LANDSCAPP BLAR LANDSCAPP BLAR LANDSCAPP (512) 522-8979 info@BlairLA.com www.BlairLA.com www.BlairLA.com www.BlairLA.com www.BlairLA.com to Congress Ave. Ste 2000 Austin, TX 78701 |
| RDEAUX DRIVE RIGHT-OF-WAY | RY SEWER EASEMENT NO. 201700000132612 P.R.R.C.T. | 554 | 89°0243 | <i>,</i> | 556 | | | Killiam S. Blat |
| TREES | COMMON NAME Monterey Oak | BOTANICAL NAME | | CAL 4"Cal | 6` H min | QTY 5 | | November 9, 2023 Project Name and Address |
| | Shumard Red Oak | Quercus shumardii | - | 4"Cal | 6` H min | 3 | | Aall ^{x Dr.} |
| ORNAMENTAL TREES | | | | | | | | Ockwall Bordeaux Dr. , Texas |
| | Eastern Redbud | Cercis canadensis | - | 1.5"Cal | 6` H min | 8 | | T. and E kwall, J |
| yh1.5 | Yaupon Holly | llex vomitoria | - | 1.5"Cal | 6` H min | 3 | | HteaO RG N Goliad Dr. and F Rockwall, ⁻ |
| | | BOTANICAL NAME | CONT | SIZE | | QTY | | |
| SHRUBS | Abelia,Twist of Lime | Abelia x grandiflora 'Twist of Lime' | 5 gal | | | 40 | | |
| <u>,</u> ,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,, | Beaked Yucca, `Blue Velvet` | Yucca rostrata `Blue Velvet` | 5 gal | | | 4 | | Sheet Title |
| \sim | Dwarf Palmetto | Sabal minor | 5 gal | | | 9 | | |
| | Dwarf Burford Holly | llex cornuta `Burfordii Nana` | 5 gal | | | 55 | | |
| $\left(\right)$ | Knock Out Rose | Rosa acicularis `Knock Out` | 5 gal | | | 15 | | 0e - |
| June . | Pineapple Guava | Feijoa sellowiana | 5 gal | | | 17 | | ca |
| t t | Texas Sage 'Silverado' | Leucophyllum frutescens `Silverado` | 5 gal | | | 19 | | Landscape Plan |
| يىر | Soft Leaf Yucca | Yucca pendula | 5 gal | | | 3 | | La |
| | | | | | | | | Design By: Will Blair Checked By: xxxx Issue Date: 09/15/2023 Project Number: 23062-LP L1 OF 2 |

LANDSCAPE PLANTING SPECIFICATIONS

1) Guarantee - All labor, materials and plants will be guaranteed for a period of twelve (12) months after the final acceptance of work by Owner. All plants that have died or are unhealthy shall be replaced no later than 30 days from the anniversary date of the final acceptance. This guarantee does not apply to plant material that dies due to abnormal freezes, hail, abnormal high winds, or other acts of God, vandalism or lack of normal maintenance and watering. This guarantee does not apply to annual plantings.

2) Contractor is to verify all site dimensions and layout prior to the commencement of landscape construction. Any discrepancies between the drawings and the actual site conditions shall be brought to the attention of the owner's representative immediately. 3) Contractor is responsible for verification of the location of all underground utilities, repair to said utilities as a result of the work of the contractor shall be the responsibility of the contractor. Refer to the drawing for any additional information

4) Contractor is responsible for maintaining positive drainage in all shrub and turf planting areas.

5) Tree pits are to be the same depth as the root ball and 24" wider. Prior to planting the tree pit should be filled with water to check for good drainage. If water does not drain the Contractor should check with the Landscape Architect to relocate the tree. 6) Trees should be positioned in the center of the tree pits, back filled with soil that was excavated from the pit until the surface is level with the surrounding area and the crown of the plant is at the finished grade. Build a water basin around the tree (36" dia.). Water until planting pit is soaked and soil has settled. Add soil necessary to bring soil level flush with surrounding ground. Fill the basin with three (3) inches of compost.

7) All plant material shall conform to the standards of the latest edition of "American Standard for Nursery Stock" by The American Association of Nurserymen and "Grades and Standards" by The Texas Association of Nurserymen. A plant shall be dimensioned as it stands in its natural position. All plants shall be at least the minimum size indicated. Larger stock is acceptable at no additional cost, and providing that the larger plants will not be cut back to size indicated.

8) It is the landscape contractor's responsibility to provide plants free of disease or pests.

9) Space specified quantity of plant materials to evenly fill designated areas, adjusting spacing indicated on the drawings as required. Landscape architect or owner to have final approval of locations of all trees, shrubs and groundcover beds. 10) Contractor is responsible for removing all clods, rocks, concrete, trash and any other debris from beds prior to adding soil ix or plant material.

11) All planting beds should have three (3) inches of compost tilled into them to a depth of six (6) inches. A three (3) inch layer of shredded hardwood bark mulch should be applied to all beds after planting is completed. Four (4) inch pots and ground cover may be planted through the mulch.

12) Contractor is responsible for removal of trash and repair of hazardous conditions (tools, open holes, et.) on a daily basis by the end of the work day. 13) Water all plantings in bed areas thoroughly on a daily basis until final acceptance.

14) To prepare turf areas treat them with a selective herbicide two weeks prior to sodding or seeding. Then rake area to remove stones, sticks and other debris. Add two (2) inches of topsoil to the turf area. Rake area to a finish grade (1" below walks and curbs).

15) If sodding is to take place the sod should be gathered and planted within a 48 hour period. Lay the sod to form a solid mass with tight fitting joints. Butt ends and sides of sod and offset joints in adjacent courses. Roll sod to ensure good contact with soil. If planting on a slope be sure to lay courses parallel to the contours and secure sod with pins if necessary. Site preparation and maintenance will be the same for hydromulching. 16) Water sod daily so as to not allow turf blades to wilt. If necessary water twice per day.

17) Apply slow release fertilizer 15-15-15 or equal at a rate of 2 lbs. per 100 s.f. to all turf or planted areas.

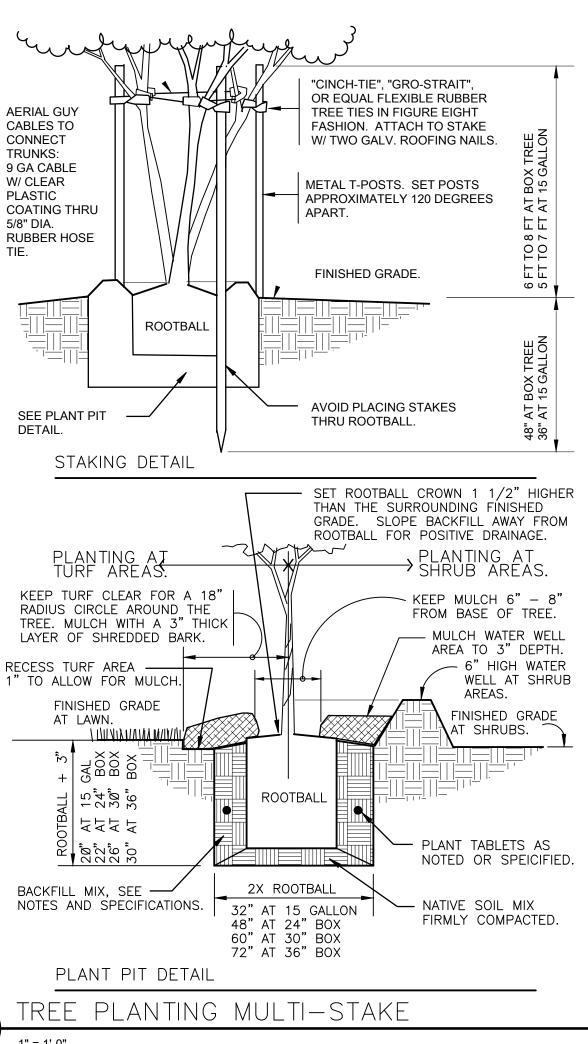
REFERENCE NOTE SPECIFICATIONS

LAWN AREAS - SOD / HYDROMULCH / SEED MIX structurally sound condition. 1. Lawn, Bermuda "Tif 419" Sod. Provide spray irrigation. Temporary irrigation only within septic fields 3) The regular maintenance, repair, or replacement, where necessary, of any rec or Right of Way (R.O.W.). Pre emergent weed treatment recommended. screening or buffering.

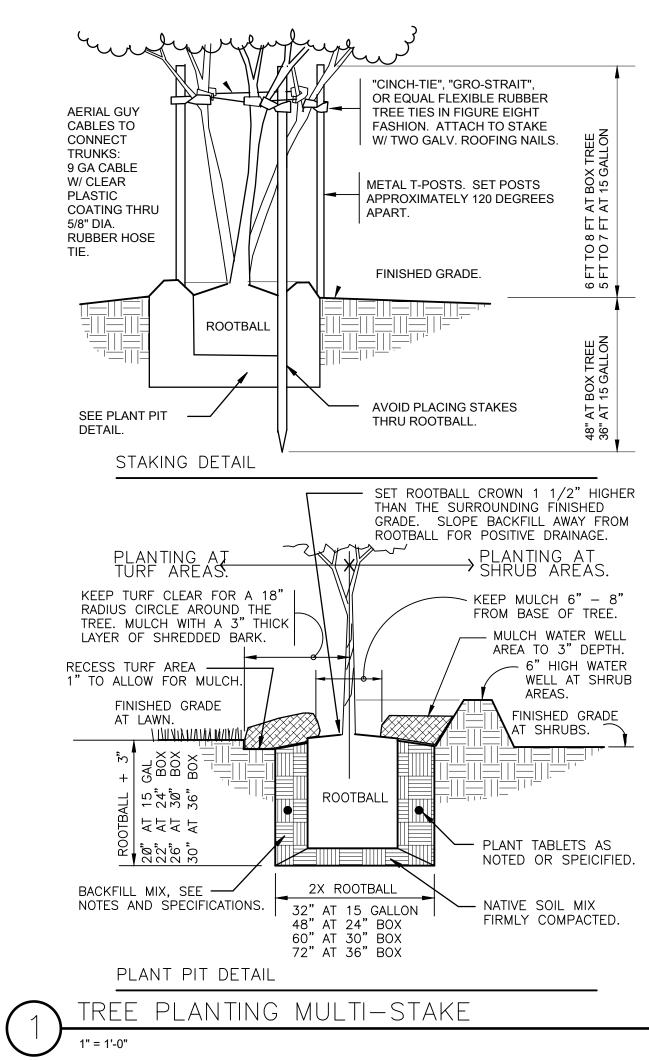
STEEL EDGE

be 1" above height of soil mat of sod.

MULCHES / GRAVELS / RIVER ROCK / BOULDERS 3. Mulch, Native Hardwood. 3" deep with drip irrigation. Ensure that drip line is placed above rootballs



| FIN AT | ISHED GRADE LAWN. \\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\ |
|-----------|--|
| , ∿ | GAL BOX BOX BOX |
| ALL | 15 24" 30" 36" |
| OOTBALI | AT AT AT |
| õ | |



2. Steel edge, 3/16" x 4" landscape edging as manufactured by Ryerson, or equal, dark green and furnished with steel stakes. Install edging in smooth curves free of kinks. Final height of edging to

19) Contractor shall keep all construction areas and public streets free from accu of waste material. Upon completion of construction and prior to final approval con shall thoroughly clean the site of all trash, spilled soil, and litter, etc. that has resu from landscape construction operations. Repair all damage to finish grade include tailings from excavations, wheel ruts, etc. caused from construction. All debris, the excess materials and equipment shall be removed from the site prior to final acce 20) Remove all tags, ribbons and wires from all newly installed plant material.

LANDSCAPE MAINTENANCE REQUIREMENTS

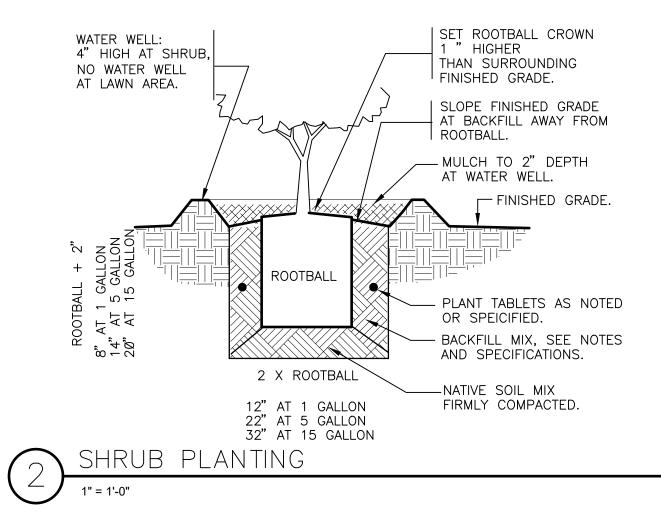
The owner shall be responsible for:

1) Regular maintenance of all required landscape areas and plant materials in a and healthy condition, free from diseases, pests, weeds, and litter. This mainten shall include weeding, watering, fertilization, pruning, mowing, edging, mulching needed maintenance, in accordance with generally accepted horticultural practic 2) The repair or replacement of required landscape structures (walls, fences, etc

4) All open space areas that are to be preserved as natural plant communities sh trimmed, at least once a year, of all exotic vegetation, lawn grasses, trash, or oth debris. Natural area should be mulched, pruned and otherwise maintained so th are vigorous.

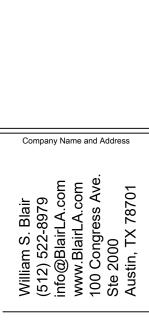
IRRIGATION SPECIFICATIONS

1) Irrigation contractor will provide pipes for sleeves and specify locations for place of sleeves by general contractor prior to pouring concrete or laying asphalt. 2) Irrigation contractor will install all backflow prevention devices and all piping be the point of connection and the backflow preventer as per local governing author 3) Find location of backflow preventer, and automatic controller location shall be approved by the owner's authorized representative.



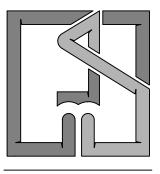
| cumulation ontractor sulted | 4) 120 VAC electrical power source at controller location shall be provided by others. The irrigation contractor shall make the final connection from the electrical source to the controller. | , - |
|-----------------------------------|--|--------------|
| uding trash and | All sprinkler heads shall be set perpendicular to finish grade unless otherwise specified. | |
| ceptance. | The irrigation contractor shall flush and adjust all sprinkler heads and valves for optimum coverage with minimal overspray onto walks, streets, walls, etc. | |
| | 7) Head location is the responsibility of the irrigation contractor, with the understanding that all landscape areas will receive adequate water to provide for | |
| | vigorous growth of vegetation. 8) Irrigation contractor will replace or repair all items damaged by his work. | C |
| a vigorous enance | 9) All work shall be installed in accordance with applicable codes and ordinances for the City of Rockwall, Texas and the National Electrical Code and all governing | |
| g or other ice. | authorities. 10) The irrigation contractor is responsible for reporting any deficiency in water | |
| ice. ic.) to a | pressure that would affect the operation of the irrigation system. | |
| equired | 11) The irrigation contractor shall be a Registered Licensed Irrigator in the State of Texas. Contractor must conform to all codes as stated in section 34 of the Texas Water Code and TNRCC. | |
| shall be ther | 12) All remote control valves, gate valves, quick couplers and control wire and computer cable pull pints shall be installed in approved valve boxes. | |
| hat plants | 13) Irrigation Contractor shall procure all permits, licenses, and pay all charges and fees and give all necessary notices for the completion of work. | |
| | 14) Contractor shall not disturb roots of existing trees. There shall be no machine trenching below the dripline of existing trees. | |
| acement | 15) Extreme care shall be exercised in excavating and working near utilities. Contractor shall verify the location and condition of all utilities and be responsible | |
| | for damage to any utilities. | |
| between | 16) Contractor shall clearly mark all exposed excavations, materials, and | |
| orities. e | equipment. Cover or barricade trenches when the contractor is not on the site. Take all necessary precautions to protect and prevent injury to any persons on the site. | |
| | 17) All automatic irrigation systems shall be equipped with a controller of dual or multiple programming. Controllers shall have multiple cycle start capacity and a | |
| | flexible calendar program, including the capacity of being set to water every five days. All automatic irrigation systems shall be equipped with a rain sensor shutoff device. | |
| | | |

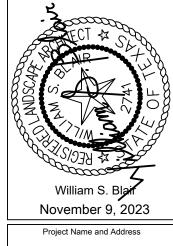
18) Irrigation in Texas is regulated by the Texas Commission on Environmental Quality, www.tceq.texas.gov, (512) 239-1000



Consultant Seal









Landscape Details & pecification

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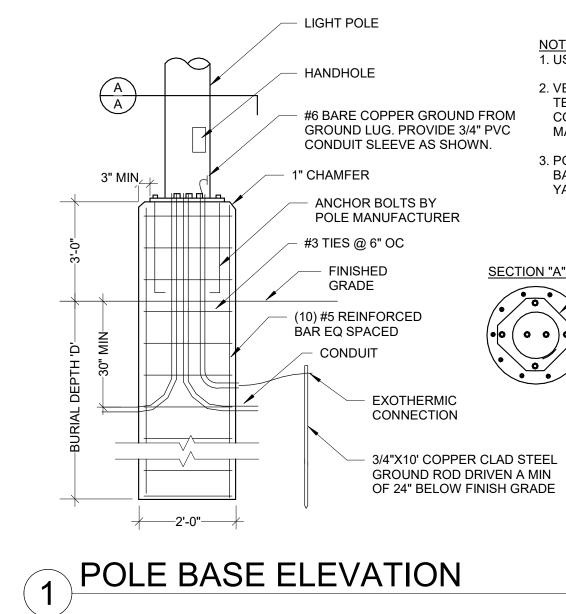
Sheet Title

Design By: Will Blair Checked By: xxxx Issue Date: 09/15/2023 Project Number: 23062-LP



| | JLS GHTING | | | | | | | | NV- |
|--|--|--|--|--|---------------------------|---|--|--|---|
| | GITTING | | | | | | A | REA, SIT | E & ROADWA |
| Sleek, I Spec g Engine Low de Reduce Exceed poles a Optical - Park - Auto | ID FUNCTION ow profile housing rade performance ered for optimum preciation rate es energy consum Is IES foot candle and fixtures per pro- system designed system designed ting Lots o Dealerships eral Area Lighting | thermal ma ption and co evels utilizio piect | | 5% number of | | | I | | |
| Externa Corrosi One-pie compa One-pie Two-pi around Grade 2 FINISH 3-5 mil NLS' st | st Aluminum al cooling fins ion resistant extern ece silicone gaske intment ece Optics Plate" n ece silicone Micro I each PCB 2 Clear Anodized C s electrostatic pov | t ensures IF nounting sil Optic syste Optics Plate vder coat. sy finishes p | P65 seal for licone Micro em ensures " standard prevent corro | o Optics IP67 level seal | ВUY То е | ensure the latest BAA/T | AA/BABA Stand | lards are being | * SOUDILY * |
| WARRAN Five-year | TY limited warranty fo | or drivers ar | nd LEDs. | | Plea NLS | se contact the factory products requesting B | before placing a AA (Buy Americ | an order for any an Act), TAA | |
| | | | | | | | | | |
| | | | 4.01 | | | | 101- | | <u></u> |
| | 00 milliamps 30 milliamps | | es IP65 seal for electronics g silicone Micro Optics ystem ensures IP67 level seal late * standard at. es prevent corrosion, protects conditions rs and LEDs. | | | | | | |
| 5 | | | 21w 28w 36w | | 32 - - 71 | w | - - 104w | | - - 136w |
| 5 7 10 | 30 milliamps 00 milliamps 050 milliamps t Name: | 1 NI | 21w 28w 36w 56w | | 32 - - 71 106 | L w w | 104w 156w Type: | K-HSS 1 | - 136w 205w |
| 5 7 10 | 30 milliamps 00 milliamps 550 milliamps t Name: TYPE G | | 21w 28w 36w 56w | | 32 | | 104w 156w Type: -DPS3-BL | | 136w 205w 16W |
| 5 7 Projec Cat# NV-1 | 30 milliamps 00 milliamps 250 milliamps t Name: TYPE G Light Dist. Type 2 | # of LEDs | 21w 28w 36w 56w S LIGH Milliamps 400 | Kelvin Amber | 32 | T3-32L-1-40K8 | - 104w 156w Type: -DPS3-BL Color Bronze Textured | Bii | 136w 205w 205w 16W Options rd Spikes (BS) |
| 5 7 10 Projec Cat# | 30 milliamps 00 milliamps 150 milliamps t Name: TYPE G Light Dist. Type 2 (T2) | # of LEDs 16 (16L) | 21w 28w 36w 56w S LIGH Milliamps 400 (40) | Kelvin | 32 | T3-32L-1-40K8 | AREA, SITE & ROADWAY CON CON Select BAA, TAA, /BABA Standards are being select BAA, TAA, or BABA in the options sector. Its requesting BAA (Buy American Act), TAB its requesting BAA (Buy American CAC), TAB its requesting BAA (Buy American Act), TAB its requesting BAA (Buy American Buy American) INTER: Lal-ch40K8-DPS3-BLK-HSS 116W Dire Textured (BY) AGAA) Pols 37 Am T39 T30, Quad DPS3) ^O Noroth White OPS3) ^O Back Textured (CW) Dire Tag Colar Dird Spikes (BS) Marine Gade Finish (MCP) Cate Play Colar (BY) Bis Colar (BY) Smooth White OPS3) ^O Bis Colar (BY) Bis Cola | - 136w 205w 16W Dptions rd Spikes (BS) Grade Finish (MGF) ted to Match Fixture (OF | |
| 5 7 Projec Cat# NV-1 | 30 milliamps 00 milliamps 150 milliamps t Name: TYPE G Light Dist. Type 2 (T2) Type 3 (T3) | # of LEDs | 21w 28w 36w 56w S LIGF Milliamps 400 (40) 530 | Kelvin Amber 585-600nM (AMBER) ^O © | 32 | T3-32L-1-40K8 Mounting Architectural Sweep Arm (ASA) Direct Pole 3" Arm Single, D180 | | | |
| 5 7 Projec Cat# NV-1 | 30 milliamps 00 milliamps 150 milliamps t Name: TYPE G Light Dist. Type 2 (T2) Type 3 (T3) Type 4 (T4) | # of LEDs 16 (16L) 32 (32L) 48 | 21w 28w 56w 56w S LIGH Milliamps 400 (40) 530 (53) 700 | Kelvin Amber 585-600nM (AMBER) ^O © | 32 | C3-32L-1-40K8 Mounting Architectural Sweep Arm (ASA) Direct Pole 3" Arm Single, D180 (DPS3)@ Direct Pole 7" Arm | 104w 156w Type: -DPS3-BL Color Bronze Textured (BRZ) White Textured (WHT) Smooth White Gloss (SWT) | Bii Marine Optic Plate Pair Nema 7-1 Photocel Receptacle FSP-211 (FSP-2 | - 136w 205w 205w 16W Options Id Spikes (BS) Grade Finish (MGF) Ited to Match Fixture (OF Pin Receptacle (PCR) I + Receptacle (PCR) + Shorting Cap (PER) with Motion Sensor 20 99(29) Heinhts |
| 5 7 Projec Cat# NV-1 | 30 milliamps 00 milliamps 550 milliamps t Name: TYPE G Light Dist. Type 2 (T2) Type 3 (T3) Type 4 | # of LEDs 16 (16L) 32 (32L) | 21w 28w 56w 56w S LIGH Milliamps 400 (40) 530 (53) | Kelvin Amber 585-600nM (AMBER)®® 2700K, 70 CRI (27K7)® 2700K, 80 CRI (27K8)®® 3000K, 70 CRI | 32 | T3-32L-1-40K8 Mounting Architectural Sweep Arm (ASA) Direct Pole 3" Arm Single, D180 (DPS3) @ | Type: Type: DPS3-BL Color Bronze Textured (BRZ) White Textured (WHT) Smooth White Gloss (SWT) Silver (SVR) | Bir Marine Optic Plate Pair Nema 7-1 Photocel Receptacle FSP-211 (FSP-2 (FSP-4 Quick M Retrofit M | - 136w 205w 205w 16WV Options rd Spikes (BS) Grade Finish (MGF) ted to Match Fixture (OF Pin Receptacle (PE7) I + Receptacle (PCR) + Shorting Cap (PER) with Motion Sensor 20) 9'-20' Heights 0) 921'-40' Heights ount Bracket (QMB) ount Bracket (QMB) |
| 5 77 10 Projec Cat# | 30 milliamps 00 milliamps 150 milliamps t Name: TYPE G Light Dist. Type 2 (T2) Type 3 (T3) Type 4 (T4) Type 5 (T5) Nema 3 30° Narrow Beam | # of LEDs 16 (16L) 32 (32L) 48 (48L) | 21w 28w 36w 56w S LIGH Milliamps 400 (40) 530 (53) 700 (7) | Kelvin Amber 585-600nM (AMBER) © © 2700K, 70 CRI (27K7) © 2700K, 80 CRI (27K8) © © 3000K, 70 CRI (30K7) © | 32 | C3-32L-1-40K8 Mounting Architectural Sweep Arm (ASA) Direct Pole 3" Arm Single, D180 (DPS3)@ Direct Pole 7" Arm | Type: Type: DPS3-BL Color Bronze Textured (BRZ) White Textured (WHT) Smooth White Gloss (SWT) Silver (SVR) Black Textured (BLK) | Bin Marine Optic Plate Pair Nema 7-1 Photocel Receptacle FSP-211 (FSP-2 (FSP-4 Quick M Retrofit M Round Pole A Round Pole A Rotate | - - - - - - - - - - - - - - |
| S 7 10 ProjeC Cat# NV-1 (NV-1) | 30 milliamps 00 milliamps 550 milliamps t Name: TYPE G Light Dist. Type 2 (T2) Type 3 (T3) Type 4 (T4) Type 5 (T5) Nema 3 30° Narrow Beam (N3) | # of LEDs 16 (16L) 32 (32L) 48 (48L) 64 (64L) | 21w 28w 36w 56w S LIGH Milliamps 400 (40) 530 (53) 700 (7) 1050 (1) | Kelvin Amber 585-600nM (AMBER) © 2700K, 70 CRI (27K7) © 2700K, 80 CRI (27K8) © © 3000K, 70 CRI (30K7) © 3000K, 80 CRI (30K8) © © | 32 | C3-32L-1-40K8 | Type: Type: -DPS3-BL Color Bronze Textured (BRZ) White Textured (WHT) Smooth White Gloss (SWT) Silver (SVR) Black Textured (BLK) Smooth Black Gloss | Bin Marine Optic Plate Pair Nema 7-1 Photocel Receptacle FSP-211 (FSP-4 Quick M Retrofit M Round Pole A Round Pole A Round Pole A Rotatec Automotive F | 136w 205w 205w 16W 205w 16W 205w 16W 205w 2016 2017 2017 2017 2017 2017 2017 2017 2017 |
| S 7 10 ProjeC Cat# NV-1 (NV-1) | 30 milliamps 00 milliamps 150 milliamps t Name: TYPE G Light Dist. Type 2 (T2) Type 3 (T3) Type 4 (T4) Type 5 (T5) Nema 3 30° Narrow Beam (N3) actory for Lead Time. Const d Pole Specify RPA4 or RPA3 | # of LEDs 16 (16L) 32 (32L) 48 (48L) 64 (64L) Ult Factory for 90 | 21w 28w 36w 56w S LIGH Milliamps 400 (40) 530 (53) 700 (7) 1050 (1) | Kelvin Amber 585-600nM (AMBER) © © 2700K, 70 CRI (27K7) © 2700K, 80 CRI (27K8) © © 3000K, 70 CRI (30K7) © 3000K, 80 CRI (30K8) © © 3500K, 80 CRI (35K8) | 32 | C3-32L-1-40K8 | 104w 156w Type: DPS3-BL Color Bronze Textured (BRZ) White Textured (BRZ) White Textured (BRZ) Smooth White Gloss (SWT) Silver (SVR) Black Textured (BLK) Smooth Black (SBK) Graphite Textured (GPH) | Bii Marine Optic Plate Pair Nema 7-1 Photocel Receptacle FSP-211 (FSP-2 (FSP-4 Quick M Retrofit M Round Pole A Round Pole A Rotate Rotate Automotive H House Black (| 136w 205w 205w 16W 205w 16W 205w 16W 205w 16W 205w 205w 205w 205w 205w 205w 205w 205w |
| 5 7 10 ProjeC Cat# NV-1 (NV-1) NV-1 (NV-1) NV-1 (NV-1) | 30 milliamps 00 milliamps 150 milliamps t Name: TYPE G Light Dist. Type 2 (T2) Type 3 (T3) Type 4 (T4) Type 5 (T5) Nema 3 30° Narrow Beam (N3) actory for Lead Time. Const d Pole Specify RPA4 or RPA1 finish is stainless steel. Can ture Voltage 120-277 pplicable with Nema 2 and | # of LEDs 16 (16L) 32 (32L) 48 (48L) 64 (64L) Ult Factory for 90 5 16 16 16 16 16 16 16 16 16 16 | 21w 28w 36w 56w S LIGF Milliamps 400 (40) 530 (53) 700 (7) 1050 (1) CRI Requests. | Kelvin Amber 585-600nM (AMBER) © © 2700K, 70 CRI (27K7) © 2700K, 80 CRI (27K8) © © 3000K, 70 CRI (30K7) © 3000K, 80 CRI (30K8) © © 3500K, 80 CRI (35K8) 4000K, 70 CRI (40K7) | 32 | C3-32L-1-40K8 | 104w 156w Type: DPS3-BL Color Bronze Textured (BRZ) White Textured (WHT) Smooth White Gloss (SWT) Smooth White Gloss (SWT) Silver (SVR) Black Textured (BLK) Smooth Black Gloss (SBK) Graphite Textured (GPH) Grey Textured (GRY) | Bin Marine Optic Plate Pair Nema 7-1 Photocel Receptacle FSP-211 (FSP-4 Quick M Retrofit M Round Pole A Round Pole A Round Pole A Round Pole A Rotated Automotive H House Blact Black (G H H | 136w 205w 205w 16W 205w 16W 205w 16W 205w 205w 205w 205w 205w 205w 205w 205w |
| 5 7 10 Projec Cat# NV-1 (NV-1) NV-1 (NV-1) NV-1 (NV-1) Standard Standard match fix 9 For Rounc 9 Standard match fix 9 HSS not a tomeet Ir 9 HSS not a tomeet Ir 9 Glass Len 9 Glass Len | 30 milliamps 00 milliamps 150 milliamps t Name: TYPE G Light Dist. Type 2 (T2) Type 3 (T3) Type 4 (T4) Type 5 (T5) Nema 3 30° Narrow Beam (N3) actory for Lead Time. Const d Pole Specify RPA4 or RPA finish is stainless steel. Car ture Voltage 120-277 ture Voltage 120-277 ture Voltage 120-277 ture Voltage 120-277 policable with Nema 2 and lower, with fixed mounting of ternational Dark-Sky Assoc | # of LEDs 16 (16L) 32 (32L) 48 (48L) 64 (64L) be painted to Nema 3 Optics pition certification | 21w 28w 36w 56w S LIGF Milliamps 400 (40) 530 (53) 700 (7) 1050 (1) CRI Requests. | Kelvin Amber 585-600nM (AMBER) 9 @ 2700K, 70 CRI (27K7) 9 2700K, 80 CRI (3000K, 70 CRI (3000K, 70 CRI (3000K, 80 CRI (3000K, 80 CRI (3000K, 80 CRI (3000K, 80 CRI (35K8) 4000K, 70 CRI (40K7) 4000K, 80 CRI (40K8) 9 | 32 | C3-32L-1-40K8 Mounting Architectural Sweep Arm (ASA) Direct Pole 3" Arm Single, D180 (DPS3)® Direct Pole 7" Arm 180, D90, T90, T120, Quad (DPS7)® Knuckle Mount (KM) Wall Mount (WM) Trunnion Mount (TM)® Tennis Arm Mount (TA) Mast Arm Mount | - - - - - - - - - - - - - - | Bin Marine Optic Plate Pair Nema 7-1 Photocel FSP-211 (FSP-4 Quick M Retrofit M Round Pole A Round Pole A Rotate Rotate Rotate Black Black G G H/J Buy Trade Build Americ | 136w 205w 205w 16W 205w 16W 205w 16W 205w 16W 205w 205w 205w 205w 205w 205w 205w 205w |
| 5 7 10 ProjeC Cat# NV-1 (NV-1) Notes: Consult F Consult F For Rourd Standard match fix 0 Jonsult F S for Rourd S a 3000K or to meet Ir Glass Len S Storta Charlow S Standard MISS not a S Standard MISS not a S Standard S Standard MISS not a S Standard S Standard MISS not a S Standard S Standard S Standard MISS not a S Standard S S | 30 milliamps 00 milliamps 050 milliamps 150 milliamps 1 Name: TYPE G Light Dist. Type 2 (T2) Type 3 (T3) Type 4 (T4) Type 5 (T5) Nema 3 30° Narrow Beam (N3) actory for Lead Time. Conss d Pole Specify RPA4 or RPA4 finish is stainless steel. Can ture Voltage 120-277 pipicable with Nema 2 and lower, with fixed mounting or ternational Dark-Sky Assoc s: Low Iron glass, fully temp 47 (QCH-2201-37) : Clear Soda-Lime-Silica Floo pectrum Yellow Smooth 161 | # of LEDs 16 (16L) 32 (32L) 48 (48L) 64 (64L) be painted to Nema 3 Optics ptions only, must iation certification cered per at Glass, S), Annealed, 1/8 | 21w 28w 36w 56w S LIGF Milliamps 400 (40) 530 (53) 700 (7) 1050 (1) CRI Requests. t be selected n. | Kelvin Amber 585-600nM (AMBER)90 2700K, 70 CRI (27K7)9 2700K, 80 CRI (3000K, 70 CRI (3000K, 70 CRI (3000K, 80 CRI (3000K, 80 CRI (3000K, 80 CRI (3000K, 80 CRI (300K, 70 CRI (3500K, 80 CRI (4000K, 70 CRI (4000K, 80 CRI (4000K, 80 CRI | 32 | C3-32L-1-40K8 Mounting Architectural Sweep Arm (ASA) Direct Pole 3" Arm Single, D180 (DPS3)® Direct Pole 7" Arm 180, D90, T90, T120, Quad (DPS7)® Knuckle Mount (KM) Wall Mount (KM) Wall Mount (TM)® Tennis Arm Mount (TA) | Type: Type: DPS3-BL Color Bronze Textured (BRZ) White Textured (WHT) Smooth White Gloss (SWR) Black Textured (BLK) Silver (SVR) Black Textured (BLK) Smooth Black Gloss (SBK) Graphite Textured (GPH) Green (GRN) Hunter Green (HGN) | Bin Marine Optic Plate Pair Nema 7-1 Photocel FSP-211 (FSP-4 Quick M Retrofit M Round Pole A Round Pole A Rotate Rotate Rotate Black Black G G H/J Buy Trade Build Americ | - - - - - - - - - - - - - - |
| S 7 10 ProjeC Cat# NV-1 (NV-1) NV-1 (NV-1) NV-1 (NV-1) Standar Standar Microsoft Standar Microsoft Standar Microsoft Standar Sta | 30 milliamps 00 milliamps 550 milliamps t Name: TYPE G Light Dist. Type 2 (T2) Type 3 (T3) Type 4 (T4) Type 5 (T5) Nema 3 30° Narrow Beam (N3) actory for Lead Time. Conss. d Pole Specify RPA4 or RPA! finish is stainless steel. Car ture Voltage 120-277 pplicable with Nema 2 and finish is stainless steel. Car ture Voltage 120-277 pplicable with Nema 2 and finish is stainless steel. Car ture Yoltage 120-277 pplicable with Nema 2 and finish is stainless steel. Car ture Yoltage 120-277 pplicable with Nema 2 and tower, with fixed mounting of ternational Dark-Sky Assoc ts: Low iron glass, fully terms 47 (QCH-2201-37) : Clear Soda-Lime-Silica Flo. bot, or other control system | # of LEDs 16 (16L) 32 (32L) 48 (48L) 64 (64L) be painted to Nema 3 Optics potions only, mustivation certification at Glass, (S), Annealed, 1/8 ontrol Integration ron, DMX/RDM, S s) | 21w 28w 36w 56w S LIGH Milliamps 400 (40) 530 (53) 700 (7) 1050 (1) CRI Requests. t be selected n. | Kelvin Amber 585-600nM (AMBER) © © 2700K, 70 CRI (27K7) © 2700K, 80 CRI (27K8) © © 3000K, 70 CRI (30K7) © 3000K, 80 CRI (30K8) © © 3500K, 80 CRI (40K7) 4000K, 70 CRI (40K8) © | 32 | C3-32L-1-40K8 Mounting Architectural Sweep Arm (ASA) Direct Pole 3" Arm Single, D180 (DPS3)® Direct Pole 7" Arm 180, D90, T90, T120, Quad (DPS7)® Knuckle Mount (KM) Wall Mount (WM) Trunnion Mount (TM)® Tennis Arm Mount (TA) Mast Arm Mount | Type: Type: DPS3-BL Color Bronze Textured (BRZ) White Textured (WHT) Smooth White Gloss (SWR) Black Textured (BLK) Smooth Black Gloss (SBK) Graphite Textured (GPH) Green (GRN) Hunter Green | Bin Marine Optic Plate Pair Nema 7-1 Photocel FSP-211 (FSP-4 Quick M Retrofit M Round Pole A Round Pole A Rotate Rotate Rotate Black Black G G H/J Buy Trade Build Americ | 136w 205w 205w 16W 205w 16W 205w 16W 205w 16W 205w 205w 205w 205w 205w 205w 205w 205w |

1



<u>NOTES:</u> 1. USE MIN 4000 PSI 28 DAY STRENGTH CONCRETE FOR POLE BASE.

- 2. VERIFY ANCHOR BOLT LOCATIONS WITH MANUFACTURER'S TEMPLATE AND CONDUIT ORIENTATION WITH EC PRIOR TO BASE CONSTRUCTION. EC RESPONCABLE FOR COORDINATING POLE MANUFACTURERS ANCHOR BOLTS WITH IOWA BASE, INC.
- 3. POLES ALONG ROAD WAY SHALL BE 4'-0" TO CENTER OF POLE BASE FROM BACK OF CURB. POLES IN 5' CLEAR ZONE OF STORAGE YARD SHALL BE 5'-0" TO CENTER OF POLE BASE FROM FENCE LINE.

| | – PC |
|-----------------|--------------|
| SECTION "A"-"A" | – AN |
| | #5 R 2" B |

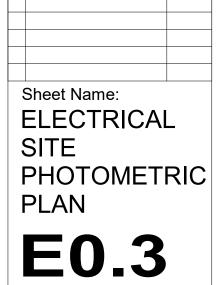
| - POLE BASE | | |
|--------------------------------------|----------------|-----------------|
| - ANCHOR BOLTS | POLE HEIGHT | BURIAL DEPTH |
| #5 REINFORCING BOLTS 2" BELOW TOP | 20'-0" | 5'-0" |
| | | |

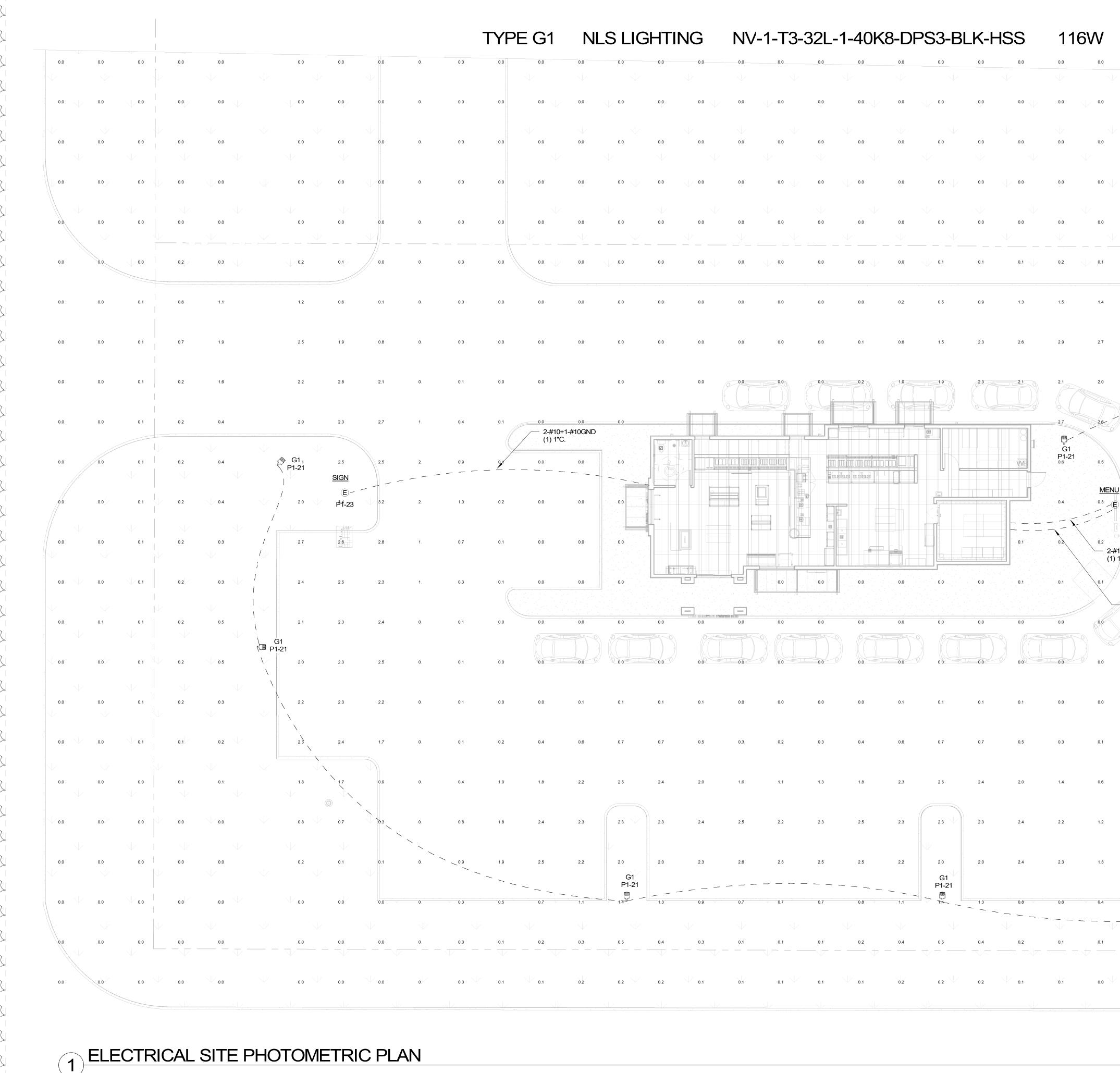


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Date: 09/29/2023 Dwn: **KSF** Chk: **CG** Project No.: 2348 lssue:**PERMIT**





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| N | _S | LIG | HTI | ١G | | NV- | 1-T | 3-3 | 82L- | 1-4 | 0K8 | 3-DI | PS3 | 3-B | LK-ł | HSS | 5 | 110 | 6W | / | | | | | | | | | | | | / | | | |
|-------|--------------|-------------|--------------|-----|---|-----|--------------|-----|--------------|-----|------|----------|--------------|------------|--------------|--------------|--------------|--------------------|---------------------------------------|--|-------------------------------|--------------|-----------------------------------|------------------|--------------|----|--------------|-----|--------------|--------------|------------------------------|--------------------|---------------|--------------|---------|
| 0.0 | 0.0 | | 0.0 | 0.0 | | 0.0 | 0.0 | | 0.0 | 0.0 | | 0.0 | 0 | .0 | 0.0 | | 0.0 | 0.0 | C | 0.0 | 0.0 | | 0.0 | 0.0 | 0.0 | | 0.0 | 0.0 | 0.0 | | 0.0 | 0.0 | , / | 0.0 | |
| 0.0 | 0.0 |) | 0.0 | 0.0 | | 0.0 | 0.0 | | 0.0 | 0.0 | | 0.0 | 0 | .0 | 0.0 | C | 0.0 | 0.0 | , C | 0.0 | 0.0 | | 0.0 | 0.0 | 0.0 | | 0.0 | 0.0 | 0.0 | \checkmark | 0.0 | 0.0 |) | 0.0 | |
| 0.0 | 0.0 | | 0.0 | 0.0 | | 0.0 | 0.0 | | 0.0 | 0.0 | | 0.0 | 0 | .0 | 0.0 | , V | 0.0 | 0.0 | C | 0.0 | 0.0 | | 0.0 | 0.0 | 0.0 | | 0.0 | 0.0 | 0.0 | 1 | 0.0 | 0.0 |) | 0.0 | |
| 0.0 | 0.0 | | 0.0 | | | 0.0 | 0.0 | | 0.0 | 0.0 | | 0.0 | 0 | .0 | 0.0 | | 0.0 | 0.0 | \checkmark | 0.0 | 0.0 | | 0.0 | 0.0 | 0.0 | | 0.0 | | 0.0 | | 0.0 | 0.0 | | 0.0 | |
| | \checkmark | | \downarrow | | | ~ | \downarrow | | \checkmark | V | | <u> </u> | \checkmark | | \checkmark | | \checkmark | | \checkmark | | \checkmark | | \downarrow | | \downarrow | | \downarrow | V | , | | | | \checkmark | | |
| o | 0.0 | • | 0.0 | 0.0 | | 0.0 | 0.0 | | 0.0 | 0.0 | | 0.0 | | .0 | 0.0 | | 0.0 | 0.0 | | 0.0 | 0.0 | \checkmark | 0.0 | 0.0 | 0.0 | ↓ | 0.0 | 0.0 | 0.0 | | 0.0 | 0.0 | 0 | 0.0 | |
| 0 | 0.0 |) | 0.0 | 0.0 | | 0.0 | 0.0 | | 0.0 | 0.0 | | 0.0 | 0 | .1 | 0.1 | C | 0.1 | 0.2 | , c | 0.1 | 0.1 | | 0.1 | 0.0 | 0.0 | | 0.0 | 0.1 | 0.2 | \downarrow | 0.2 | 0.0 |) | 0.0 | |
|) | 0.0 |) | 0.0 | 0.0 | | 0.0 | 0.0 | | 0.0 | 0.0 | ς | 0.2 | 0 | .5 | 0.9 | <u> </u> | 1.3 | 1.5 | 1 | 1.4 | 1.1 | ×., | 0.6 | 0.3 | 0.1 | | 0.1 | 0.5 | 0.9 | | 0.7 | 0.1 | 1 | 0.0 | |
| | 0.0 |) | 0.0 | 0.0 | | 0.0 | 0.0 | | 0.0 | 0.1 | | 0.6 | 1 | .5 | 2.3 | 2 | 2.6 | 2.9 | 2 | 2.7 | 2.4 | | 1.9 | 0.9 | 0.3 | | 0.4 | 1.3 | 1.8 | 4 | 1.6 | 0.2 | 2 | 0.1 | |
| | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| | 0.0 |) | 0.0 | 0.0 | 0 | 0.0 | 0.0 | | 0.0 | 0.2 | | 1.0 | | .9 | 2.3 | | 21 | 2.1 | 2 | 2.0 | 2.2 | | 2.3 | 1.4 | 0.6 | | -0.8 | 2.2 | 2.4 | <u></u> | 2.3 | 0.3 | | 0.2 | |
| ND | 0.0 |) | | | | | | | | | | | | | | | 8 | 2.7 | | 2.6 | 2.3 | | ^{1.9} ── 2-#10 | 1.0)+1-#10GN | 0.5 ND | | 1.1 | 2.5 | 2.1 | | 2.5 | 0.5 | i | 0.3 | |
| | 0.0 | | | | | | | | | | | | - | | | | | G1 P1-21 0.6 | | 0.5 | 0.3 | | (1) 1 " | C. (TYP.) | 0.2 | | 1.3 | 2.8 | 2.1 | | 2.5 G1 | 0.7 | , | 0.4 | |
| _ | 0.0 | | | IJ | | | | | | | 2.12 | | | | | | | 0.4 | | MENU | 0.2 | 9 | 0.1 | 0.1 | 0.1 | | 1.2 | 2.7 | 2.1 | | P1-21 | / / 0.6 | 3 | 0.4 | |
| | | | | | | | | | | | | | | | | | | | | P | 1-29 | | | | | | | | | | | \checkmark | | \checkmark | |
| | 0.0 | | | | | | | | | | | | | | | | 0.1 | 0.2 | | 2 — 2-#10 - 1 (1) 1"C | 0.1 -1-#10GNE : | 11.11 | 0.1 | 0.0 | 0.1 | | 0.9 | 2.4 | 2.2 | <u> </u> | 2.4 ' | 0.4 | \checkmark | 0.2 | |
| | 0.0 | | | | | | 0.0 | | 0.0 | 0.0 | | 0.0 | 0 | .0 | 0.0 | | 0.1 | 0.1 | | 0.1 | | | 0.0 | 0.0 | 0.1 | | 0.6 | 1.9 | 2.3 | \checkmark | 2.1 | 0.3 | j | 0.1 | |
| | 0.0 |) | 0.0 | 0.0 | | 0.0 | 0.0 | | 0.0 | 0.0 | | 0.0 | 0 | .0 | 0.0 | | 0.0 | 0.0 | (9) | 0.0 | 3) 1"C. TO DATA RAC 0.0 | | 0.0 | 0.0 | 0.1 | | 0.3 | 1.0 | 1.5 | | 1.3 | 0.3 | } | 0.1 | |
| -0 | 0.0 | | 0.0 | 0.0 | | 0.0 | 0.0 | | 0.0 | 0.0 | | 0.0 | | .0 | 0.0 | | 0.0 | | | 0.0 | 0.0 | | 0.0 | 0.0 | 0.1 | | 0.3 | 0.7 | 1.2 | : 1 | 1.3 | 1.0 |) | 0.7 | |
| | 0.1 | | 0.1 | 0.1 | | 0.0 | 0.0 | | 0.0 | 0.0 | | 0.1 | 0 | 1 | 0.1 | ſ | 0.1 | 0.0 | ſ | 2.0 | 0.0 | | 0.0 | 0.1 | 0.3 | | 0.9 | 1.8 | 2.3 | | 2.6 | 2.6 | | 2.3 | |
| | 0.1 | | 0.1 | 0.1 | | 0.0 | 0.0 | | 0.0 | 0.0 | | 0.1 | Ū | . 1 | 0.1 | | 0.1 | 0.0 | | | 0.0 | | 0.0 | 0.1 | 0.0 | | 0.0 | 1.0 | 2.3 | | 2.0 | 2.0 | | 2.0 | |
| | 0.7 | | 0.7 | 0.5 | | 0.3 | 0.2 | | 0.3 | 0.4 | | 0.6 | 0 | .7 | 0.7 | (| 0.5 | 0.3 | C | 0.1 | 0.0 | | 0.0 | 0.1 | 0.6 | | 1.5 | 2.3 | 2.3 | | 2.2 | 2.2 | 1 | 2.2 | |
| | 2.5 | 5 | 2.4 | 2.0 | | 1.6 | 1.1 | | 1.3 | 1.8 | | 2.3 | 2 | .5 | 2.4 | 2 | 2.0 | 1.4 | C | 0.6 | 0.2 | | 0.0 | 0.1 | 0.6 | | 1.5 | 2.4 | 2.4 | ١ | \ \ ^{2.1} \ P | 2.1 G1 21-21 | 1 | 2.4 | |
| | 2.3 | | 2.3 | 2.4 | | 2.5 | 2.2 | | 2.3 | 2.5 | | 2.3 | 2 | .3 | 2.3 | 2 | 2.4 | 2.2 | 1 | 1.2 | 0.4 | | 0.1 | 0.0 | 0.2 | | 0.4 | 0.5 | 0.7 | | | 1.0 | , V | 0.7 | |
| | 2.0 | | 2.0 | 2.3 | | 2.6 | 2.3 | | 2.5 | 2.5 | | 2.2 | 2 | .0 | 2.0 | 2 | 2.4 | 2.3 | 1 | 1.3 | 0.4 | | 0.1 | 0.0 | 0.0 | | 0.1 | 0.0 | 0.3 | | 0.4 | 0.4 | 4 | 0.3 | |
| | F | G1 P1-21 | | | | | | | | | | | P | G1 1-21 | | | | | | | | | | | | | | / | \checkmark | | | | | | |
| | 1.4 | | 1.3 | 0.9 | V | 0.7 | 0.7 | | 0.7 | 0.8 | | 1.1 | | | 1.3 | | 0.8 | 0.6 | · · · · · · · · · · · · · · · · · · · | 0.4 | 0.1 | | 0.0 | 0.0 | 0.0- | | 0.0 | 0.1 | 0.1 | | 0.2 | 0.2 | | 0.1 | |
| | 0.5 | ; | 0.4 | 0.3 | | 0.1 | 0.1 | | 0.1 | 0.2 | - \ | 0.4 | | .5 | 0.4 | ··· | 0.2 | 0.1 | ن ب | 0.1 | 0.0 | ~ | 0.0 | 0.0 | 0.0 | J. | 0.0 | 0.0 | 0.1 | - + | 0.1 | 0.1 | | 0.1 | <u></u> |
| | 0.2 | | 0.2 | 0.1 | | 0.1 | 0.1 | | 0.1 | 0.1 | | 0.2 | 0 | .2 | 0.2 | \checkmark | 0.1 | 0.1 | C | 0.0 | 0.0 | | 0.0 | 0.0 | 0.0 | | 0.0 | 0.0 | 0.0 | 1 | SCALE | E: 1"=1(| 0'-0'' | 0.0 | |

CEN-TEX ENGINEERING 18 South Main St. Temple, TX 76501 Suite 610 AUX DR. 75087 ROCKWALI Х П П 下 BO CKWALI TEAO Š 205 HWY S Ţ COOPER GILL 128999 CENS ONAL 09.29.2023 TX FIRM NO. F-11794 Date: 09/29/2023 Dwn: **KSF** Chk: **CG** Project No.: 2348 Issue:PERMIT 11/06/ 2023 **REVISION 1** Sheet Name: ELECTRICAL SITE PHOTOMETRIC PLAN **E0.2**



November 7, 2023

Angelica Guevara Planning and Zoning City of Rockwall 385 S Goliad St. Rockwall. Texas 75087

Re: HTeaO- Variance Request

To Whom It May Concern,

Please let this letter serve as a written request for the variances below, related to our project at the NEC of Highway 205 and Bordeaux Dr.

- 1. 20% stone required for each faced of the proposed building. (UDC SS 05.01.A.1, Article 05)
 - a. The 20% minimum stone has been achieved on 3 of the 4 sides. This variance is requested for only 1 of the 4 sides of the building, in order to meet brand requirements. In compensation, a total of 6 canopies have been added around the building to increase character and architectural presence. In addition to this, we will also be working to increase the landscaping presence at the east and southwest corners of the lot for better appeal and green space.
- 2. 90% masonry materials are required on each façade of the proposed building. (UDC SS 05.01.C.2, Article 05).
 - a. The 90% masonry has been achieved on 1 of the 4 sides. This variance is requested for 3 of the 4 sides of the building, in order to meet brand requirements. In compensation, we have designed a portico around the front entrance to elevate the composite material and draw eyes to the entrance of the building. In addition to this we have chosen to build the squared arched openings on either side of the portico to provide an arcade-like feel as you walk across the front entrance.
- 3. Being in an overlay district and being less than 6,000 sf requires the roof to be pitched. (UDC SS 06.02.C.2, Article 05).
 - a. Similar to the Salad and Go adjacent to our project, we are requesting this requirement be waived to meet brand standards. In compensation we have increased the horizontal articulation of the building to add better depth and character with the casting of shadows throughout the day. In addition to this we have also added and articulated cornice design using a two-step cornice profile that crowns the top of the walls finished in stucco.

In review, all 6 compensatory measures have been thought out in a way to both elevate the site and

appearance of the building to better draw in clientele and enhance the character and architectural

appearance of the Hteao Store.

Sincerely,

Claymoore Engineering, Inc. 1903 Central Drive Ste. 406 Bedford, TX 76021 817-281-0572

Clay Cristy, P.E.