

AGENDA



ARCHITECTURAL REVIEW BOARD MEETING

CITY HALL, 385 SOUTH GOLIAD STREET, ROCKWALL, TEXAS

NOVEMBER 14, 2023 IN THE CITY COUNCIL CONFERENCE ROOM AT 5:00 PM

NOTES ABOUT PUBLIC PARTICIPATION = **RED**

(I) CALL TO ORDER

(II) OPEN FORUM

This is a time for anyone to address the Architectural Review Board (ARB) on any topic. Per the policies of the City of Rockwall, public comments are limited to three (3) minutes out of respect for the time of other citizens. On topics raised during the OPEN FORUM, please know that the Architectural Review Board (ARB) is not permitted to respond to your comments during the meeting per the Texas Open Meetings Act.

(III) ACTION AGENDA

(1) **SP2023-032 (HENRY LEE)**

Discuss and consider a request by Salvador Salcedo for the approval of a Site Plan for an *Office/Warehouse Building* on a 0.45-acre parcel of land identified as Lot 10, Block A, Municipal Industrial Park Addition, City of Rockwall, Rockwall County, Texas, being zoned Light Industrial (LI) District, addressed as 855 Whitmore Drive, and take any action necessary.

(2) **SP2023-034 (HENRY LEE)**

Discuss and consider a request by Trenton Jones and Ben Sanchez of Parkhill on behalf of Frank New of Rockwall County for the approval of a Site Plan for a *Government Building* on a 1.90-acre portion of a larger 12.79-acre parcel of land identified as Lot 1, Block A, Rockwall County Courthouse Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the IH-30 Overlay (IH-30) District, addressed as 963 E. Yellow Jacket Lane, and take any action necessary.

(3) **SP2023-035 (HENRY LEE)**

Discuss and consider a request by Leslie Ford of Ofi Chito on behalf of Michael Hampton of Creekside Commons Crossing, LP for the approval of a Site Plan for a *Restaurant, Greater than 2,000 SF, with Drive-Through or Drive-In (i.e. McDonald's)* on a 1.251-acre tract of land identified as a portion of Lot 3 and all of Lot 2, Block A, Creekside Commons Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the SH-205 Overlay (SH-205 OV) District, generally located north of the northeast corner of the intersection of S. Goliad Street [SH-205] and FM-549, and take any action necessary.

(4) **SP2023-036 (HENRY LEE)**

Discuss and consider a request by Juan J. Vasquez of Vasquez Engineering, LLC on behalf of Shae Shoulders of Kennor Rockwall Retail, LLC for the approval of a Site Plan for two (2) commercial/retail buildings on a 1.93-acre parcel of land identified as Lots 8 & 9, Block A, Dalton-Goliad Addition, City of Rockwall, Rockwall County, Texas, zoned General Retail (GR) District, situated within the North SH-205 Overlay (N. SH-205 OV) District, addressed as 3611 & 3775 N. Goliad Street [SH-205], and take any action necessary.

(5) **SP2023-037 (HENRY LEE)**

Discuss and consider a request by Bart Gardner and James Belt of Gardner Construction on behalf of Corey Fleck of C2LA, LLC for the approval of a Site Plan for a *Light Industrial Building* on a 6.50-acre tract of land identified as Tracts 3-1, 3-2, 3-3 & 3-4 of the J. Lockhart Survey, Abstract No. 134 and Lots 1 & 2, Block A, Eastplex Inc. Park #2 Addition, City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District and Commercial (C) District, situated within the IH-30 Overlay (IH-30 OV) District and the SH-205 By-Pass Overlay (SH-205 BY-OV) District, generally located at the northwest corner of the intersection of the IH-30 Frontage Road and Enterprise Drive, and take any action necessary.

(6) **SP2023-038 (ANGELICA GUEVARA)**

Discuss and consider a request by Clay Cristy of ClayMoore Engineering on behalf of Staci Bowen of Metroplex Acquisition Fund, LP for the approval of a Site Plan for a *Restaurant with Less Than 2,000 SF with a Drive-Through or Drive-In (i.e. HTeaO)* on a 0.93-acre portion of a larger 5.16-acre parcel of land identified as Lot 13, Block A, Stone Creek Retail Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 70 (PD-70) for General Retail (GR) District land uses, situated within North SH-205 Overlay (N. SH-205 OV) District, generally located at the northeast corner of the intersection of N. Goliad Street [SH-205] and Bordeaux Drive, and take any action necessary.

(IV) ADJOURNMENT

The City of Rockwall Planning and Zoning Commission reserves the right to adjourn into executive session at any time to discuss any matters listed on the agenda above, as authorized by Texas Government Code §551.071 (Consultation with City Attorney).

This facility is wheelchair accessible and accessible parking spaces are available. Request for accommodations or interpretive services must be made 48 hours prior to this meeting. Please contact the City Secretary's Office at (972) 772-6406 for further information.

I, Melanie Zavala, Planning and Zoning Coordinator for the City of Rockwall, Texas, do hereby certify that this Agenda was posted at City Hall, in a place readily accessible to the general public at all times, on November 10, 2023 prior to 5:00 PM, and remained so posted for at least 72 continuous hours preceding the scheduled time of said meeting.



CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION CASE MEMO

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Planning and Zoning Commission
DATE: November 14, 2023
APPLICANT: Salvador Salcedo
CASE NUMBER: SP2023-032; *Site Plan for 855 Whitmore Drive*

SUMMARY

Discuss and consider a request by Salvador Salcedo for the approval of a Site Plan for an *Office/Warehouse Building* on a 0.45- acre parcel of land identified as Lot 10, Block A, Municipal Industrial Park Addition, City of Rockwall, Rockwall County, Texas, being zoned Light Industrial (LI) District, addressed as 855 Whitmore Drive, and take any action necessary.

BACKGROUND

The subject property was annexed into the City of Rockwall on June 20, 1959 by *Ordinance No. 59-02 [Case No. A1959-002]*. According to the January 3, 1972 zoning map the subject property was zoned Light Industrial (LI) District, which remains the zoning designation of the subject property today. In March of 1978, the subject property was platted establishing it as Lot 1, Block A, Municipal Industrial Park Addition. On March 19, 2007, the City Council approved a replat [*Case No. P2007-008*] that establish the subject property as Lot 8, Block A, Municipal Industrial Park Addition. On May 2, 2016, the City Council approved an additional replat [*Case No. P2016-017*] that establish the subject property as Lot 10, Block A, Municipal Industrial Park Addition. The subject property has remained vacant since the time of annexation.

PURPOSE

On September 15, 2023, the applicant -- *Salvador Salcedo*. -- submitted an application requesting the approval of a Site Plan for the purpose of constructing an *Office/Warehouse Building* on the subject property.

ADJACENT LAND USES AND ACCESS

The subject property is addressed as 855 Whitmore Drive. The land uses adjacent to the subject property are as follows:

North: Directly north of the subject property is a vacant 1.747-acre tract of land (*i.e. Tract 24 of the R. Ballard Survey, Abstract No. 29*) zoned Light Industrial (LI) District. Beyond this is a vacant 1.83-acre tract of land (*i.e. Tract 14 of the R. Ballard Survey, Abstract No. 29*) zoned Light Industrial (LI) District. Following this is a 100-foot right-of-way owned by the *Union Pacific/Dallas Garland NE Railroad*. North of this is Phase 3 of the Park Place Subdivision, which consists of 85 residential lots and is zoned Planned Development District 59 (PD-59) for Single-Family 7 (SF-7) District land uses.

South: Directly south of the subject property is Whitmore Drive, which is identified as a R2 (*i.e. residential, two [2] lane, undivided roadway*) on the Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this is a vacant 15.7017-acre tract of land (*i.e. Tract 20-1 of the A. Hanna Survey, Abstract No. 99*) zoned Light Industrial (LI) District. Following this is Justin Road, which is identified as a A4D (*i.e. major arterial, four [4] lane, divided roadway*) on the Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan.

East: Directly east of the subject property is a vacant 0.96-acre parcel of land (*i.e. Lot 11, Block A, Municipal Industrial Park Addition*) zoned Light Industrial (LI) District. Beyond this is a 3.35-acre parcel of land (*i.e. Lot 5, Block A, Municipal Industrial Park Addition*) developed with a maintenance building for Rockwall County that is zoned Light

Industrial (LI) District. Following this is Whitmore Drive, which is identified as a R2 (*i.e. residential, two [2] lane, undivided roadway*) on the Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan.

West: Directly west of the subject property is a 1.19-acre parcel of land (*i.e. Lot 9, Block A, Municipal Industrial Park Addition*) developed with a *Bail Bond Service* that is zoned Light Industrial (LI) District. Beyond this is T. L. Townsend Drive, which is identified as a A4D (*i.e. major arterial, four [4] lane, divided roadway*) on the Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Following this is a 13.368-acre parcel of land (*i.e. Lot 2, Block A, Rockwall County Law Enforcement Center Addition*) developed with the Rockwall County Detention Center, which is zoned Commercial (C) District and Light Industrial (LI) District.

DENSITY AND DIMENSIONAL REQUIREMENTS

According to Section 01, *Land Use Schedule*, of Article 04, *Permissible Uses*, of the Unified Development Code (UDC), an *Office/Warehouse Building* is a permitted *by-right* land use in a Light Industrial (LI) District. The submitted site plan, landscape plan, treescape plan, photometric plan, and building elevations generally conform to the technical requirements contained within the Unified Development Code (UDC) for a property located within a Light Industrial (LI) District with the exception of the items noted in the *Variances and Exceptions Requested by the Applicant* section of this case memo. A summary of the density and dimensional requirements for the subject property are as follows:

<i>Ordinance Provisions</i>	<i>Zoning District Standards</i>	<i>Conformance to the Standards</i>
<i>Minimum Lot Area</i>	12,500 SF	X=19,737 SF; <i>In Conformance</i>
<i>Minimum Lot Frontage</i>	100-Feet	X= 120.95-feet; <i>In Conformance</i>
<i>Minimum Lot Depth</i>	125-Feet	X=160-feet; <i>In Conformance</i>
<i>Minimum Front Yard Setback</i>	25-Feet	X>25-feet; <i>In Conformance</i>
<i>Minimum Rear Yard Setback</i>	10-Feet	X>10-feet; <i>In Conformance</i>
<i>Minimum Side Yard Setback</i>	15-Feet	X>15-feet; <i>In Conformance</i>
<i>Maximum Building Height</i>	60-Feet	X=45.6-feet; <i>In Conformance</i>
<i>Max Building/Lot Coverage</i>	60%	X=25.13%; <i>In Conformance</i>
<i>Minimum Number of Parking Spaces</i>	1 Parking Space/500 SF (10 Required)	X=11; <i>In Conformance</i>
<i>Minimum Landscaping Percentage</i>	15%	X=47%; <i>In Conformance</i>
<i>Maximum Impervious Coverage</i>	90-95%	X=53%; <i>In Conformance</i>

TREESCAPE PLAN

The treescape plan provided by the applicant indicates a total of 40 caliper inches will be removed from the site during construction. Based on the landscape requirements, the applicant is providing 68 caliper inches of canopy trees on site, which will satisfy the required tree mitigation.

CONFORMANCE WITH THE CITY’S CODES

The applicant is requesting to construct an *Office/Warehouse Building* on the subject property. According to Subsection 02.02(J)(7), *Wholesale, Distribution and Storage Land Uses*, of Article 13, *Definitions*, of the Unified Development Code (UDC), a *Warehouse/Distribution Center* is defined as a “... building used primarily for the storage and distribution of goods, merchandise, supplies, and equipment including wholesalers which display, sell, and distribute merchandise to business representatives for resale ...” In addition, Subsection 02.02(D)(2), *Office and Professional Uses*, of Article 13, *Definitions*, of the Unified Development Code (UDC), an *Office Building* is defined as a “...(a) facility that provides executive, management, administrative, or professional services ... but not involving the sale of merchandise except as incidental to a permitted use...” In this case, the applicant’s request for an *Office/Warehouse Building* is permitted by right according to Section 01, *Land Use Schedule*, of Article 04, *Permissible Uses*, of the Unified Development Code (UDC).

According to Subsection 05.01, *Landscape Buffers*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC), “(a) minimum of a ten (10) foot wide landscape buffer shall be required along the entire length of any non-residential lot that abuts a public right-of-way ...” and all buffers shall incorporate a berm, and one (1) canopy tree and one (1) accent tree per 50-linear feet of frontage. In this case, the applicant is incorporating the required the landscaping and berm to

satisfy the landscape buffer requirements for a non-residential property abutting a public right-of-way. In addition, the proposed site plan also generally conforms to the requirements of the *General Industrial District Standards* as stipulated by Article 05, *District Development Standards*, of the Unified Development Code (UDC), with the exception of the exception being requested as outlined in the *Variations and Exceptions Requested by the Applicant* section of this case memo.

VARIANCES AND EXCEPTIONS BY THE APPLICANT

As stated above, the applicant's request conforms to the majority of the City's codes; however, staff has identified the following exceptions:

(1) Building Articulation.

- (a) Primary and Secondary Building Facades. According to Subsection 05.01 (C), *General Industrial District Standards*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC), for primary building facades a wall projection should extend 25.00% of the wall height above and away from the wall, and for secondary building facades a wall projection should extend 15.00% of the wall height above and away from the wall. In this case, the proposed building does not meet the projection requirements. This will require an exception from the Planning and Zoning Commission.

According to Subsection 09, *Exceptions and Variations*, of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC), an applicant may request the Planning and Zoning Commission grant variations and exceptions to the provisions contained in the Unified Development Code (UDC), where unique or extraordinary conditions exist or where strict adherence to the technical requirements of the Unified Development Code would create an undue hardship. In addition, the code requires that the applicant provide compensatory measures that directly offset the requested variations and exceptions. At this time the applicant is not proposing any compensatory measures. That being said, requests for exceptions and variations to the *General Standards* and *Engineering Standards of Design and Construction* are discretionary decisions for the Planning and Zoning Commission. Staff should note that a supermajority vote (e.g. six [6] out of the seven [7] commissioners) -- with a minimum of four (4) votes in the affirmative -- is required for the approval of a variance or exception.

CONFORMANCE WITH OURHOMETOWN VISION 2040 COMPREHENSIVE PLAN

The Future Land Use Plan adopted with the OURHometown Vision 2040 Comprehensive Plan identifies the subject property as being situated in the Central District. The Central District "...is composed of a wide range of land uses that vary from single-family to industrial." The Future Land Use Map contained in the OURHometown Vision 2040 Comprehensive Plan, indicates that the subject property should be developed with industrial land uses. In this case, the applicant is proposing an *Office/Warehouse Building*. Based on this, the applicant's land use appears to conform with the Comprehensive Plan; however, Chapter 09, *Non-Residential*, of the OURHometown Vision 2040 Comprehensive Plan states that staff should "...encourage high quality and inspiring architecture throughout the City..." The OURHometown Vision 2040 Comprehensive Plan goes on to state that "(l)ong, blank wall facades on all nonresidential buildings should be subdivided with vertical breaks - - or 'articulated' in architectural terms --, and architectural elements should be incorporated to reflect a scale and rhythm that is more traditional of a small-town." In this case, the applicant is requesting exceptions to building articulation requirements and has failed to incorporate any horizontal articulation or relief to the proposed building. The lack of design appears to conflict with the goals for non-residential buildings contained in the Comprehensive Plan. Based on this the applicant's proposal does not appear to meet the vision of the Comprehensive Plan.

ARCHITECTURAL REVIEW BOARD (ARB) RECOMMENDATION

On September 26, 2023, the Architectural Review Board (ARB) reviewed the proposed building elevations and made the following recommendations: [1] meet the roof pitch and material requirements, [2] dress up the front façade, [3] meet the articulation requirements, and [4] attempt to match the style of the building west of the subject property.

CONDITIONS OF APPROVAL

If the Planning and Zoning Commission chooses to approve the applicant's Site Plan for the construction of an *Office/Warehouse Building* on the *subject property*, then staff would propose the following conditions of approval:

- (1) All staff comments provided by the Planning, Engineering and Fire Department must be addressed prior to the submittal of engineering plans; and,
- (2) Any construction resulting from the approval of this Site Plan shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. _____

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹
- REPLAT (\$300.00 + \$20.00 ACRE) ¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) ¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ^{1 & 2}
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) ²

NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.
²: A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS 855 Whitmore

SUBDIVISION _____

LOT 10

BLOCK A

GENERAL LOCATION _____

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING _____

CURRENT USE _____

PROPOSED ZONING _____

PROPOSED USE _____

ACREAGE _____

LOTS [CURRENT] _____

LOTS [PROPOSED] _____

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER Salvador Salcedo

APPLICANT Salvador Salcedo

CONTACT PERSON _____

CONTACT PERSON _____

ADDRESS 210 Cedar Tree Ln

ADDRESS 210 Cedar Tree Ln

CITY, STATE & ZIP Heath Tx 75032

CITY, STATE & ZIP Heath Tx 75032

PHONE 214 552 2008

PHONE 214 552 2008

E-MAIL salvasalce@novaairac.com

E-MAIL salvasalce@novaairac.com

NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Salvador Salcedo [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 210.00 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 15 DAY OF September, 2023 BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 15 DAY OF September, 2023

OWNER'S SIGNATURE _____

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS _____



THERESA L. MOSS
Notary ID #130926177
My Commission Expires
December 8, 2024

MY COMMISSION EXPIRES 12-08-2024

0 15 30 60 90 120 Feet

SP2023-032: Site Plan for 855 Whitmore Drive



Case Location Map = 



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



PROJECT: NEW COMERCIAL
 OWNER: SALVADOR SALCEDO
 LOCATION: 855 WHITMORE DRIVE, ROCKWALL, TX



Gamma Group, Design & Construction LLC
 33 09 ELM ST # 250, Dallas Texas, 75228
 www.gammagroup-usa.com
 (469)-583-7174 & (469)-463-2761

THESE DOCUMENTS ARE INSTRUMENTS OF THE DESIGNER'S SERVICE FOR USE SOLELY ON THE SPECIFIC PROJECT INDICATED HEREIN. ANY UNAUTHORIZED COPYING OR USE, INCLUDING WITHOUT LIMITATIONS, COPYING FOR USE ON ANY PROJECT OTHER THAN THE ONE INDICATED HEREIN IS STRICTLY PROHIBITED. THE DESIGNER IS THE AUTHOR AND OWNER OF THESE DOCUMENTS. THE DESIGN CONCEPTS, IDEAS AND EXPRESSIONS THEREOF SHOWN IN THE DOCUMENTS ARE THE DESIGNER'S OWN. THE DESIGNER RETAINS ALL COMMON LAW, STATUTORY, AND OTHER RESERVED RIGHTS IN THEM, INCLUDING COPYRIGHTS. ANY VIOLATION OF THE DESIGNER'S RIGHTS, INCLUDING, WITHOUT LIMITATIONS, THOSE OF CONFIDENTIALITY AND OF THE COPYRIGHT LAWS IS SUBJECT TO LEGAL ACTION.

ENGINEERING GENERAL NOTES

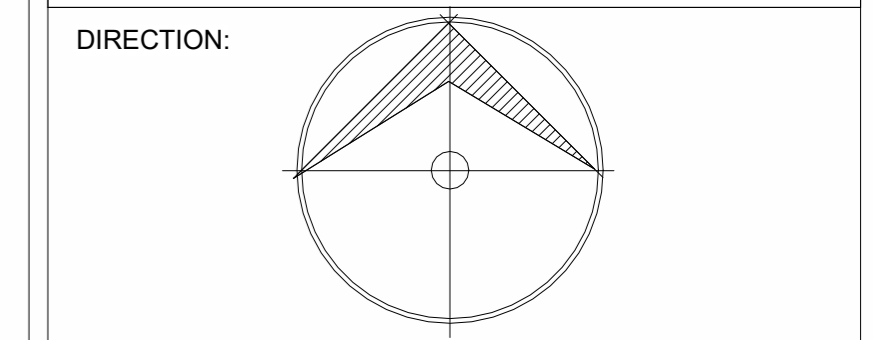
GAMMA GROUP, WE ARE NOT AN ENGINEERING FIRM. WE DO NOT QUALIFY TO BE ONE. NOT ARE WE LICENSED TO DESIGN STRUCTURAL FRAMING, WINDBRACING OR FOUNDATION. A LICENSED PROFESSIONAL ENGINEER SHOULD BE CONTRACTED AND CONSULTED IMMEDIATELY REGARDING FRAMING, WINDBRACING, AND THE FOUNDATION DESIGNS. SHOULD AN ENGINEER'S SEAL BE PRESENT ON THESE DRAWINGS, THE ENGINEER OF RECORD SHALL BEAR ALL RESPONSIBILITY FOR THE STRUCTURE, WINDBRACING AND FOUNDATION DESIGNS FOR THIS PROJECT. THE DESIGNER IS NOT TO BE HELD RESPONSIBLE FOR THE STRUCTURAL DESIGN IN ANY WAY, MATTER, OR FORM IF ANY PROBLEMS MAY ARISE.

NOTE: GENERAL CONTRACTOR SHALL HAVE THIS FOUNDATION PLAN DESIGN BY A TEXAS REGISTERED ENGINEER TO MEET SOIL TESTS REQUIREMENTS.
 THE DESIGNER ASSUMES NO LIABILITY FOR ANY STRUCTURE CONSTRUCTED FROM THIS PLAN. IT IS THE RESPONSIBILITY OF THE PURCHASER OF THIS PLAN, TO PERFORM THE FOLLOWING BEFORE ACTUAL CONSTRUCTION COMMENCES:
 1- BUILDER OR CONTRACTOR MUST VERIFY ALL DIMENSIONS PRIOR PROCEEDING WITH CONSTRUCTION.
 2- BUILDER OR CONTRACTOR MUST VERIFY COMPLIANCE WITH ALL BUILDING CODES OF THE AREA WHERE THE STRUCTURE IS TO BE CONSTRUCTED AND LOCATED.
 13- PLANS INDICATE LOCATIONS ONLY. ENGINEERING ASPECT SHOULD BE INCORPORATED TO ACTUAL CONDITIONS.

CONTRACTOR NOTES

THIS PLAN INCLUDING ALL DESIGN CONCEPTS, DRAWINGS, AND DETAILS CONTAINED HEREIN SHALL REMAIN THE SOLE PROPERTY OF GAMMA GROUP AND CAN NOT BE DUPLICATED IN PART OR IN WHOLE WITHOUT THE PRIOR WRITTEN PERMISSION OF GAMMA GROUP. WORKING DRAWINGS SHALL NOT BE SCALED BEFORE PROCEEDING WITH ANY WORK OR ORDERING OF MATERIALS. THE BUILDER AND/OR SUBCONTRACTORS SHALL VERIFY ALL NOTES AND MEASUREMENTS ANY DISCREPANCIES IN OR OMISSIONS FROM THE WORKING DRAWINGS SHALL BE REPORTED TO THE BUILDER AND DESIGNER.

MATERIALS	
SYMBOL	SPECIFICATION
1	METAL STANDING SEAM
2	STONE
3	STUCCO
4	SIDING
5	WOOD
6	GLASS
7	STEEL
8	ASPHALT SHINGLES
9	BRICK

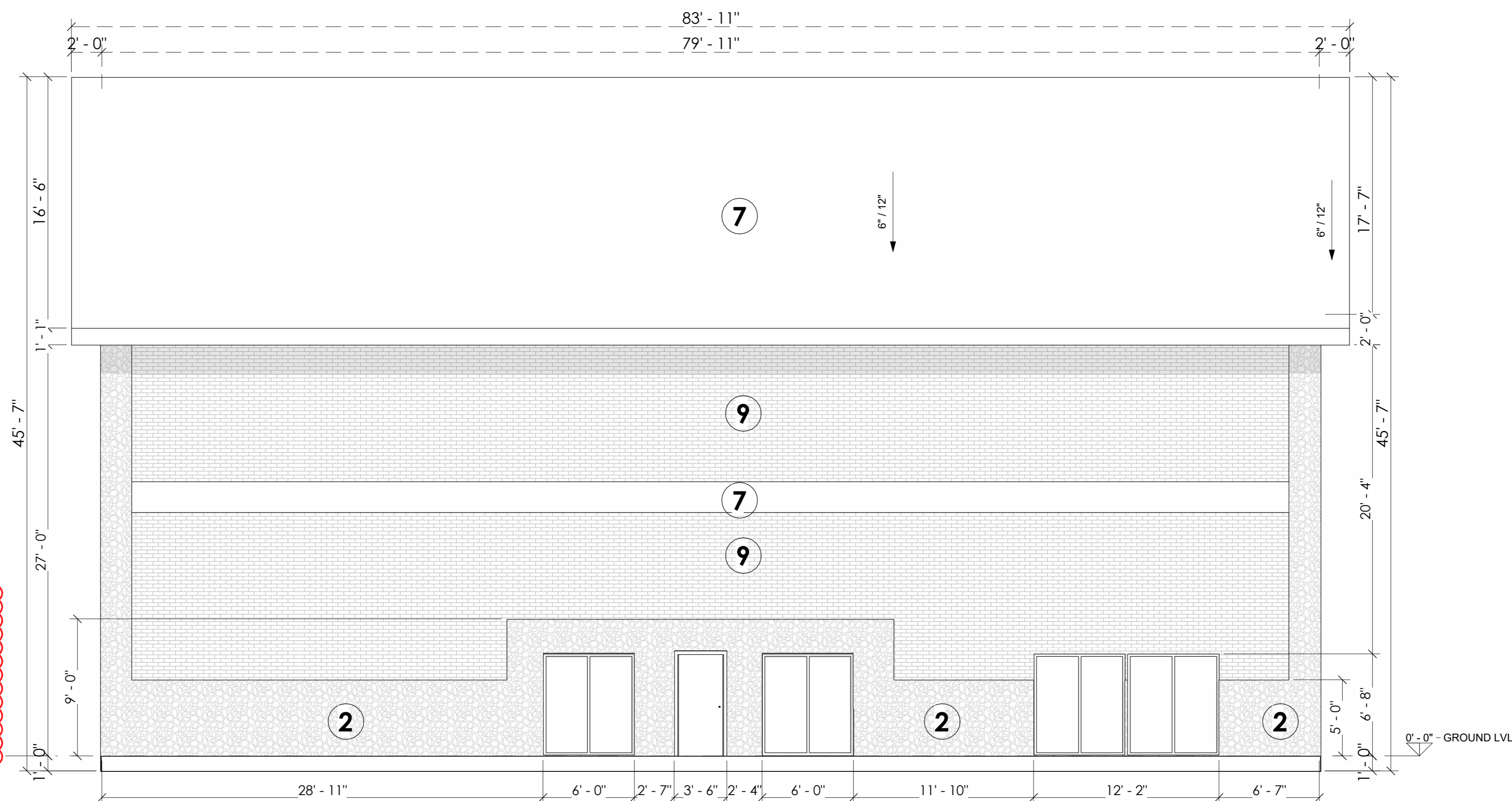


REV. NO.	DATE	COMMENTS
2	09/30/2023	a) INCLINACIÓN DEL TECHO CORREGIDA DE 3:12 A 6:12 b) THE WALL LENGTH REQUIREMENTS FOR THE NORTH, EAST, WEST AND SOUTH FACADES WERE CORRECTED c) THE MATERIALS AND PERCENTAGES OF MATERIALS WERE CORRECTED ACCORDING TO THE ESTABLISHED REQUIREMENTS
3	11/06/2023	A) TABLE OF AREAS AND PERCENTAGE OF MATERIALS WAS ADDED

EXPIRATION DATE:
 PAPER SIZE 36X24

PLAN:
ELEVATIONS

DATE: 04/11/2022
 DRAW BY: F.G.M
 SHEET 04 OF 00

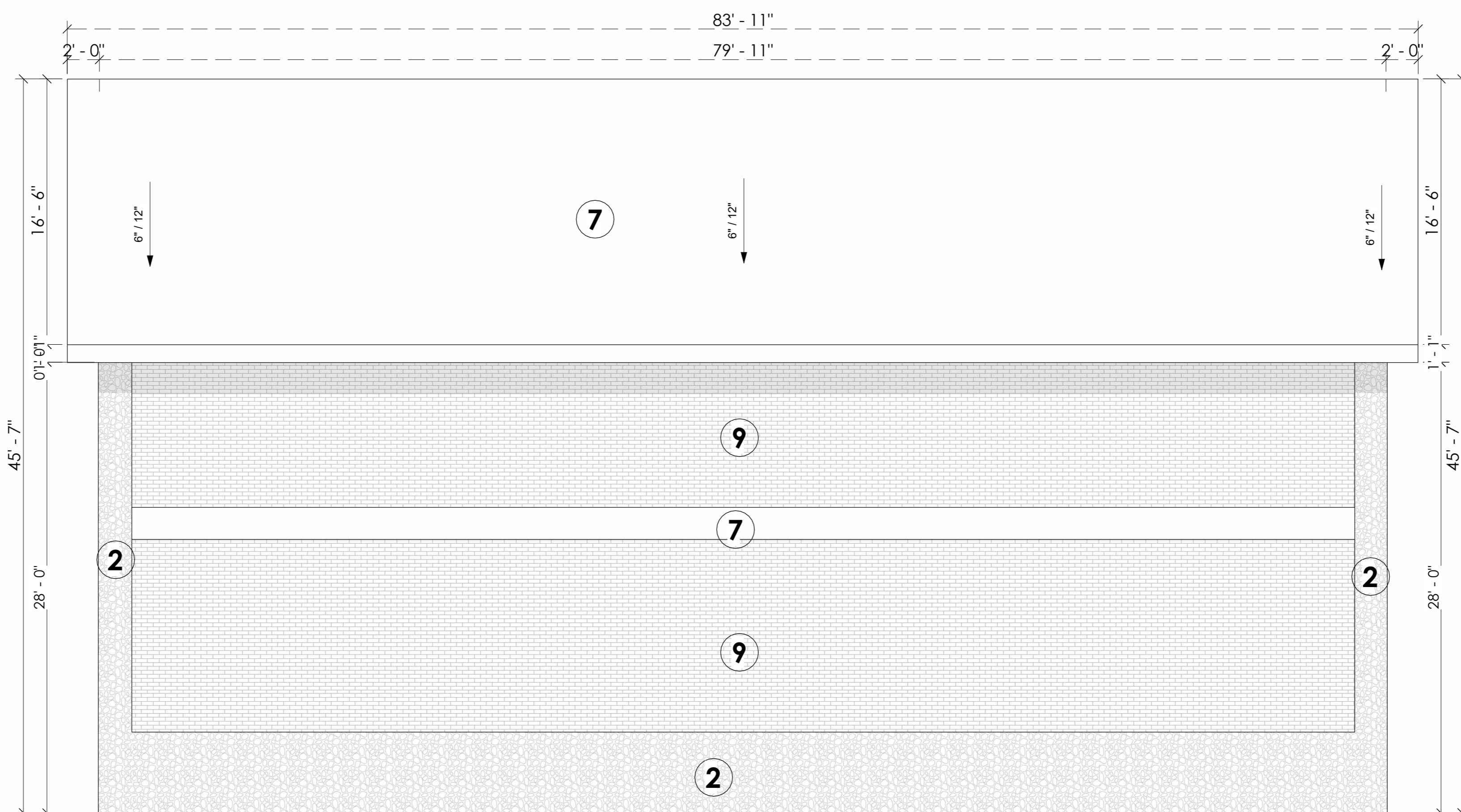


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AREA AND PERCENTAGE OF MATERIALS		
	TOTAL AREA	PERCENTAGE
FRONT ELEVATION	1,973 S.Q. F.T.	100 %
2 & 9 MASONRY MATERIALS	471 S.Q. F.T.	92.0 %
9 BRICKS	1,396 S.Q. F.T.	70.7 %
2 NATURAL STONE	421 S.Q. F.T.	21.3 %
7 SECONDARY MATERIAL	151 S.Q. F.T.	8.0 %
TOTAL	2,280 S.Q. F.T.	100 %

FRONT ELEVATION

3/16" = 1' 0"



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AREA AND PERCENTAGE OF MATERIALS		
	TOTAL AREA	PERCENTAGE
REAR ELEVATION	2,160 S.Q. F.T.	100 %
2 & 9 MASONRY MATERIALS	471 S.Q. F.T.	93.0 %
9 BRICKS	1,594 S.Q. F.T.	70.6 %
2 NATURAL STONE	491 S.Q. F.T.	22.4 %
7 SECONDARY MATERIAL	151 S.Q. F.T.	7.0 %
TOTAL	2,280 S.Q. F.T.	100 %

REAR ELEVATION

3/16" = 1' 0"

A3

PROJECT: NEW COMERCIAL
 OWNER: SALVADOR SALCEDO
 LOCATION: 855 WHITMORE DRIVE, ROCKWALL, TX



Gamma Group, Design & Construction LLC
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 www.gammagroup-usa.com
 (469)-583-7174 & (469)-463-2761

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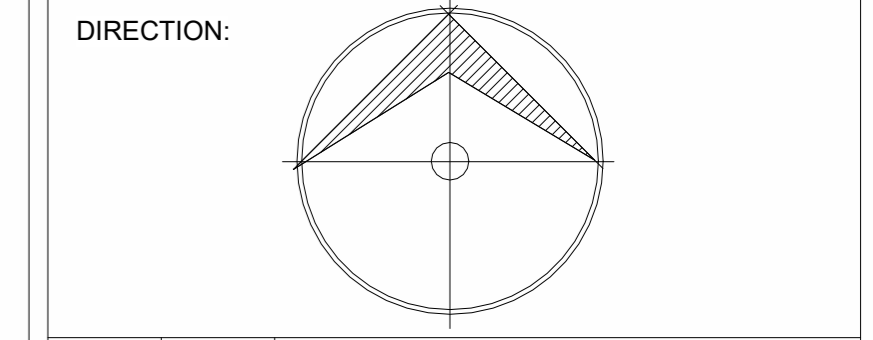
NOTE: GENERAL CONTRACTOR SHALL HAVE THIS FOUNDATION PLAN DESIGN BY A TEXAS REGISTERED ENGINEER TO MEET SOIL TESTS REQUIREMENTS.

THE DESIGNER ASSUMES NO LIABILITY FOR ANY STRUCTURE CONSTRUCTED FROM THIS PLAN. IT IS THE RESPONSIBILITY OF THE PURCHASER OF THIS PLAN, TO PERFORM THE FOLLOWING BEFORE ACTUAL CONSTRUCTION COMMENCES:
 1- BUILDER OR CONTRACTOR MUST VERIFY ALL DIMENSIONS PRIOR PROCEEDING WITH CONSTRUCTION.
 2- BUILDER OR CONTRACTOR MUST VERIFY COMPLIANCE WITH ALL BUILDING CODES OF THE AREA WHERE THE STRUCTURE IS TO BE CONSTRUCTED AND LOCATED.
 3- PLANS INDICATE LOCATIONS ONLY. ENGINEERING ASPECT SHOULD BE INCORPORATED TO ACTUAL CONDITIONS.

CONTRACTOR NOTES

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MATERIALS	
SYMBOL	SPECIFICATION
1	METAL STANDING SEAM
2	STONE
3	STUCO
4	SIDING
5	WOOD
6	GLASS
7	STEEL
8	ASPHALT SHINGLES
9	BRICK

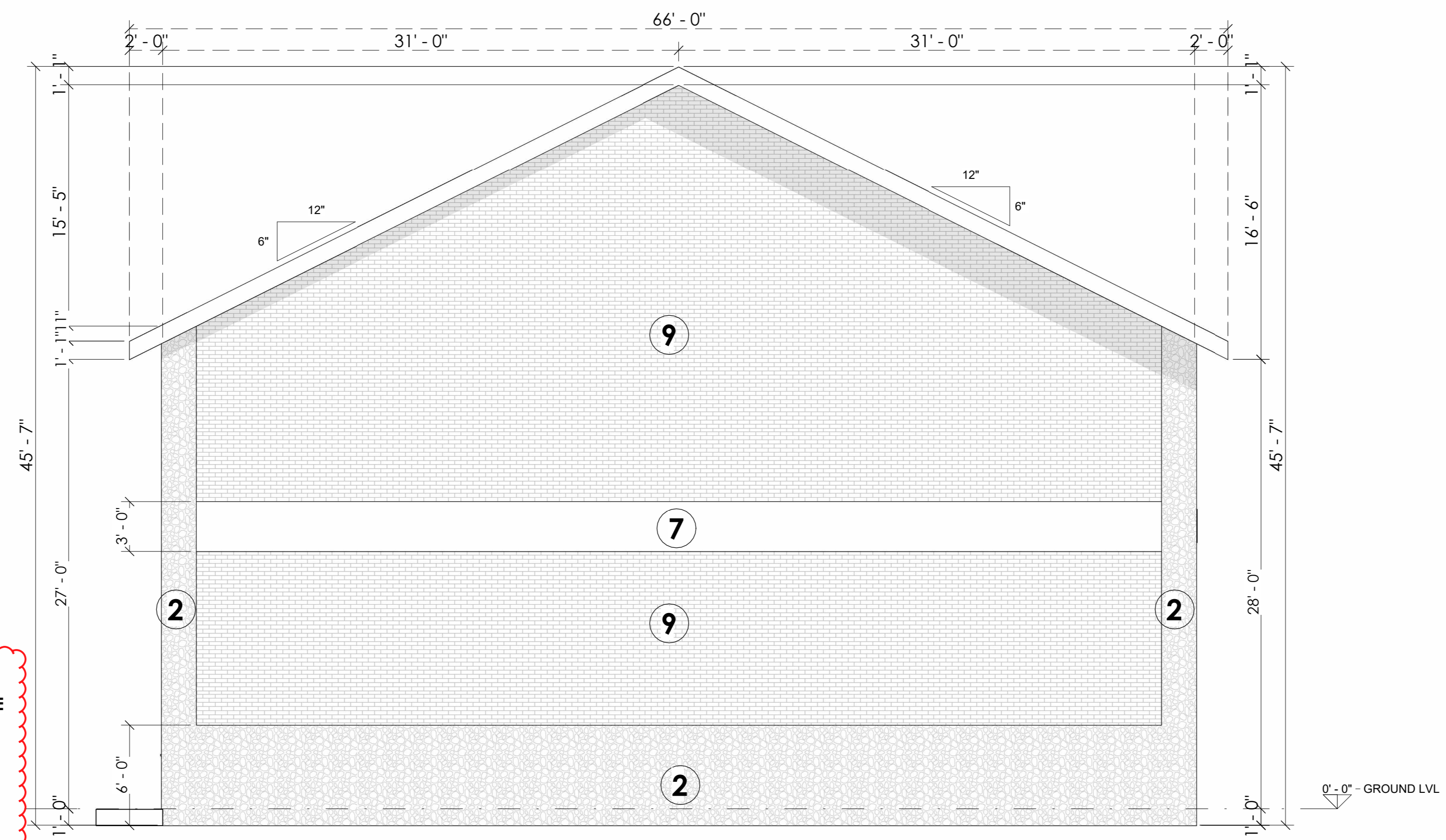


REV. NO.	DATE	COMMENTS
2	09/30/2023	a) INCLINACIÓN DEL TECHO CORREGIDA DE 3:12 A 6:12 b) THE WALL LENGTH REQUIREMENTS FOR THE NORTH, EAST, WEST AND SOUTH FACADES WERE CORRECTED c) THE MATERIALS AND PERCENTAGES OF MATERIALS WERE CORRECTED ACCORDING TO THE ESTABLISHED REQUIREMENTS
3	11/06/2023	A) TABLE OF AREAS AND PERCENTAGE OF MATERIALS WAS ADDED

EXPIRATION DATE:
 PAPER SIZE 36X24

PLAN:
ELEVATIONS

DATE: 04/11/2022
 DRAW BY: F.G.M
 SHEET 05 OF 00

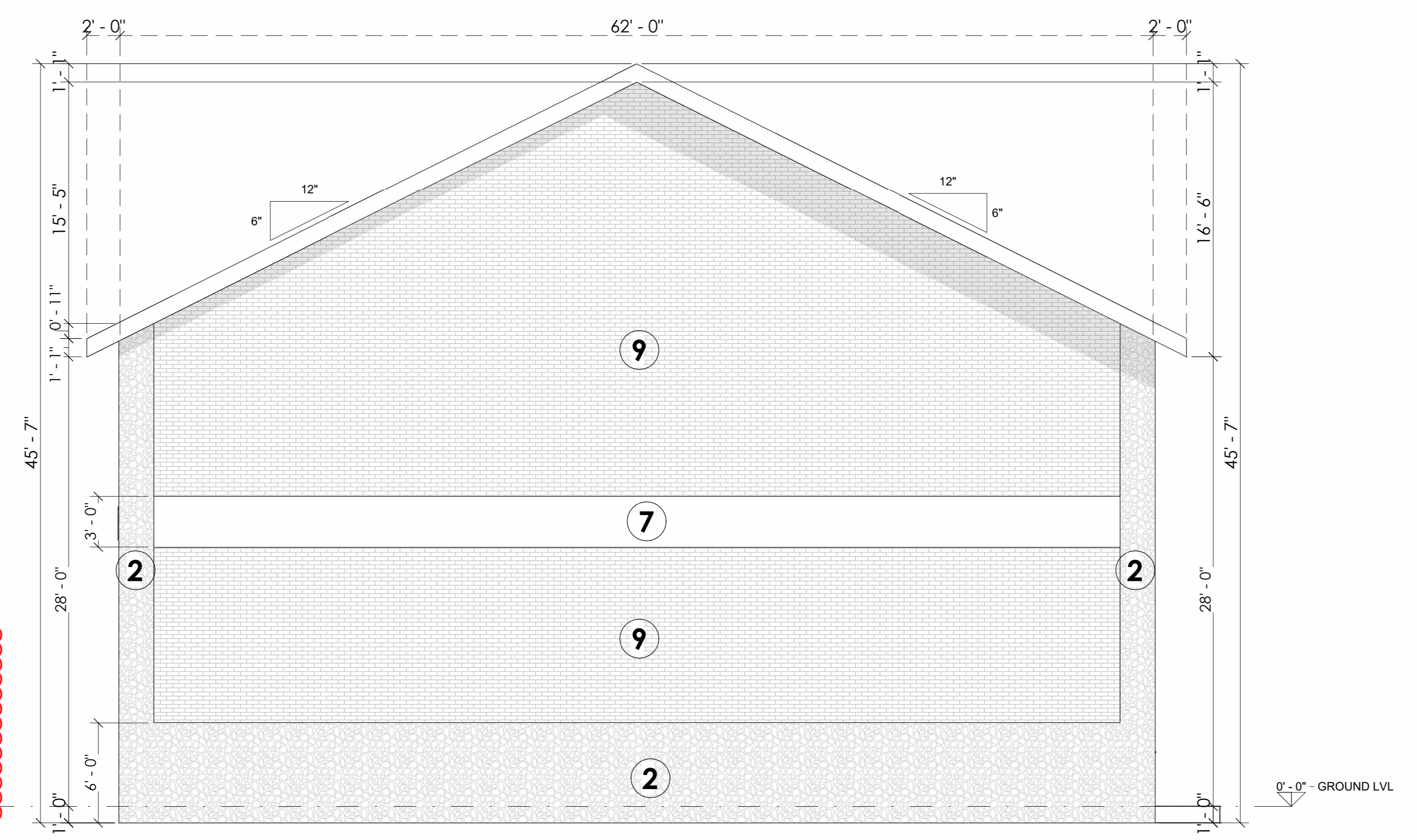


A

AREA AND PERCENTAGE OF MATERIALS		
	TOTAL AREA	PERCENTAGE
RIGHT ELEVATION	2,280 S.Q. F.T.	100 %
MASONRY MATERIALS	471 S.Q. F.T.	92.6 %
BRICKS	1,636 S.Q. F.T.	71.8 %
NATURAL STONE	471 S.Q. F.T.	20.6 %
SECONDARY MATERIAL	173 S.Q. F.T.	7.5 %
TOTAL	2,280 S.Q. F.T.	100 %

RIGHT ELEVATION

3/16" = 1' 0"



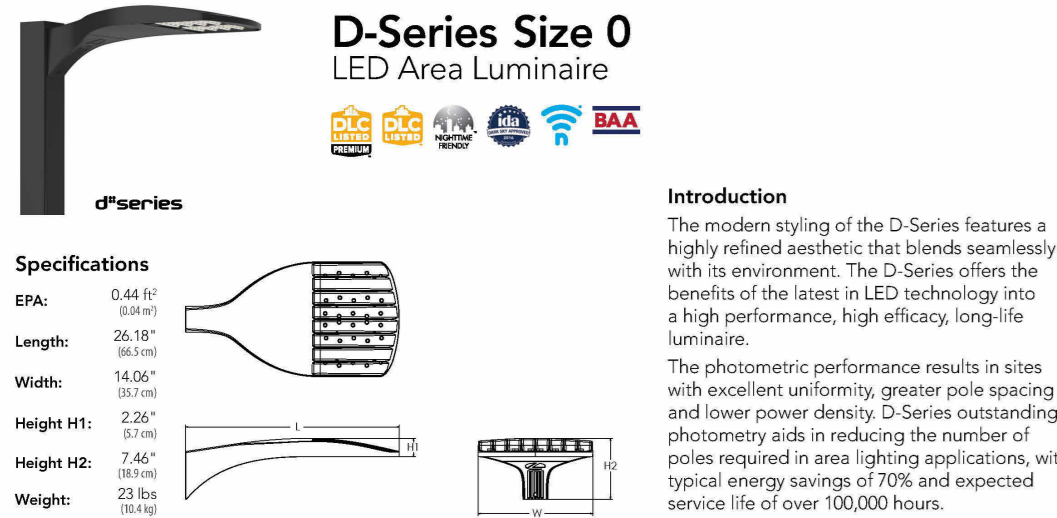
A

AREA AND PERCENTAGE OF MATERIALS		
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SECONDARY MATERIAL	173 S.Q. F.T.	7.5 %
TOTAL	2,280 S.Q. F.T.	100 %

LEFT ELEVATION

3/16" = 1' 0"





Specifications table with columns: Series, LED, Color Temperature, Color Rendering, Distribution, Output, Mounting, Shipping/Weight, and Notes.

Ordering information table with columns: SOLEID, Series, LED, Color Temperature, Color Rendering, Distribution, Output, Mounting, Shipping/Weight, and Notes.

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Lumen Output table showing lumen output per foot for various configurations including Series, LED, Color Temperature, Color Rendering, Distribution, Output, Mounting, Shipping/Weight, and Notes.

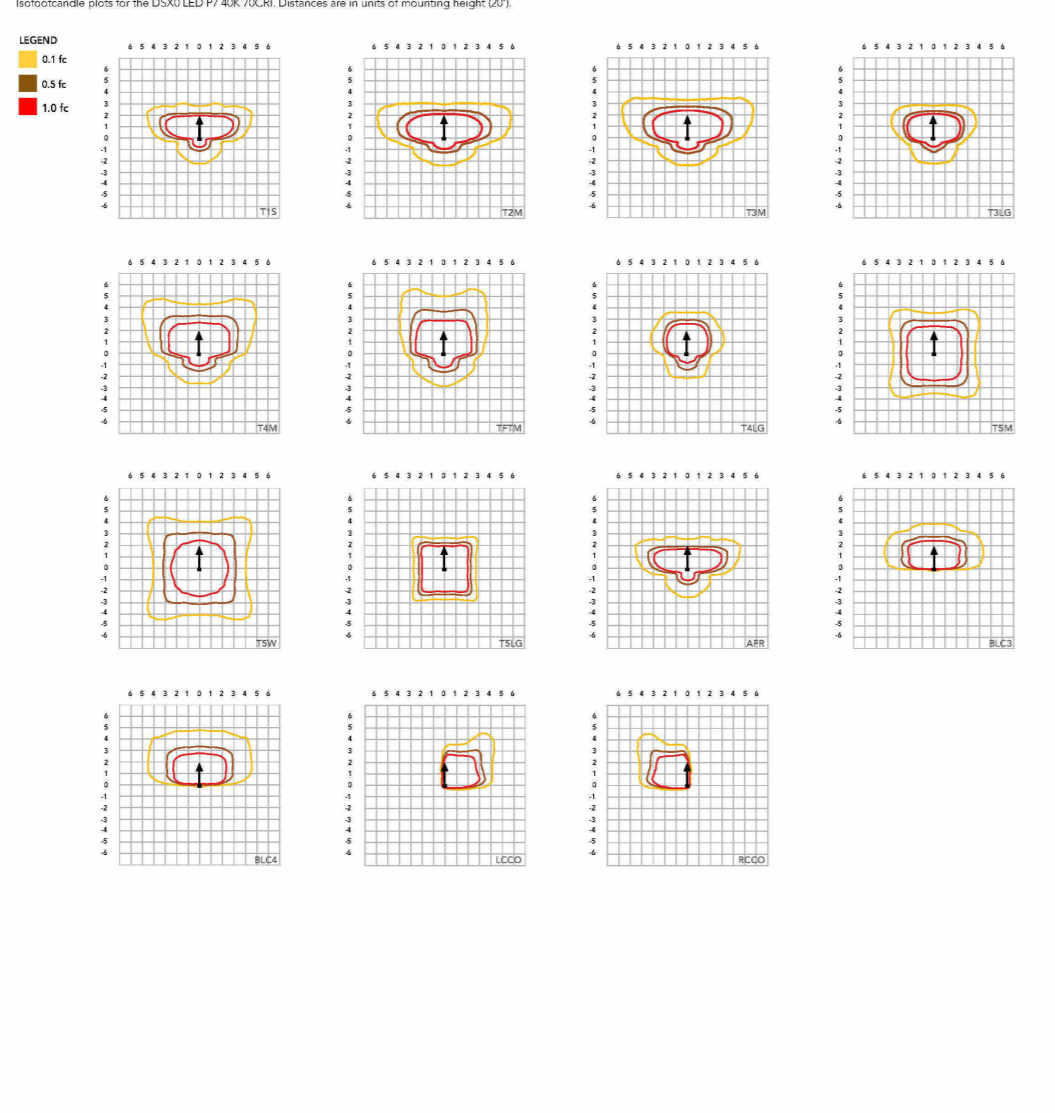
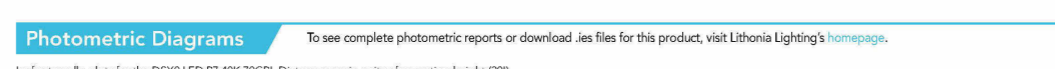
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Performance Data tables for Lumen Ambient Temperature (LAT) Multipliers and Electrical Load.

LED Color Temperature / Color Rendering Multiplier table.

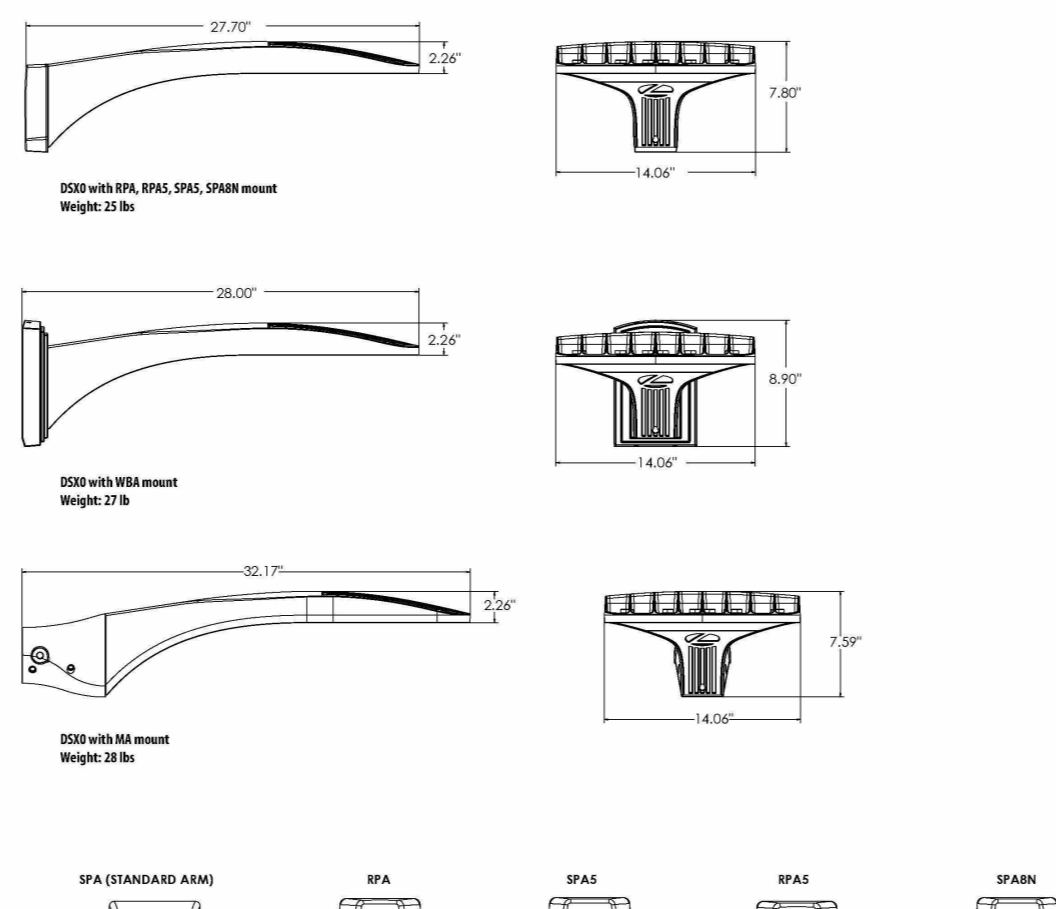
Motion Sensor Default Settings table.

Controls Options table listing various sensor and control options.



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Dimensions section header for DWGE1 LED.



WDGE1 LED Architectural Wall Sconce section header.



WDGE LED Family Overview table.

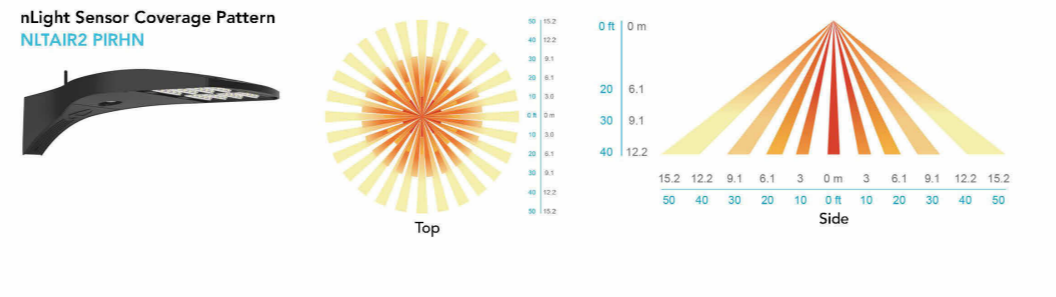
WDGE LED Family Overview table showing luminaire types and their specifications.

Ordering information table for the WDGE LED family.

Options and Accessories table for the WDGE LED family.

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nLight Control - Sensor Coverage and Settings section header.



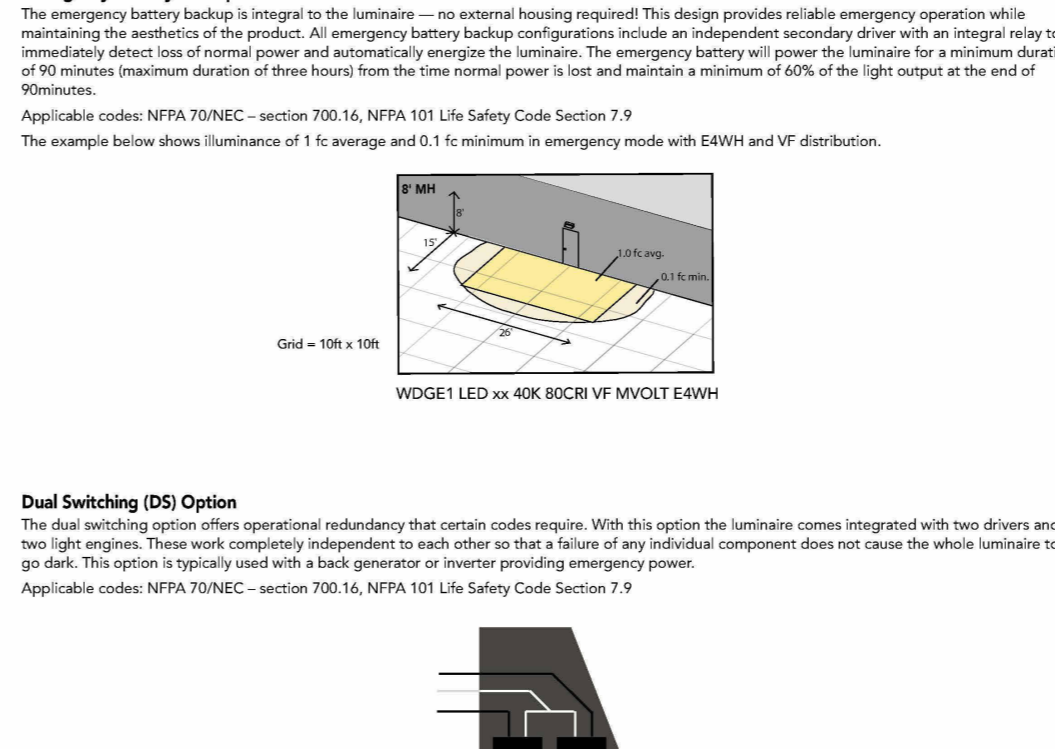
FEATURES & SPECIFICATIONS section for nLight sensors including Intended Use, Construction, Finish, Coastal Construction, and Optics.

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Photometric Diagrams section header for nLight sensors.



Emergency Egress Options section header.



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Performance Data section header for E4WH and E4RW luminaires.

Lumen Output table for E4WH and E4RW luminaires.

Electrical Load table for E4WH and E4RW luminaires.

Lumen Multiplier for OCOR table.

Lumen Output in Emergency Mode table.

Projected LED Lumen Maintenance table.

Lumen Ambient Temperature (LAT) Multiplier table.

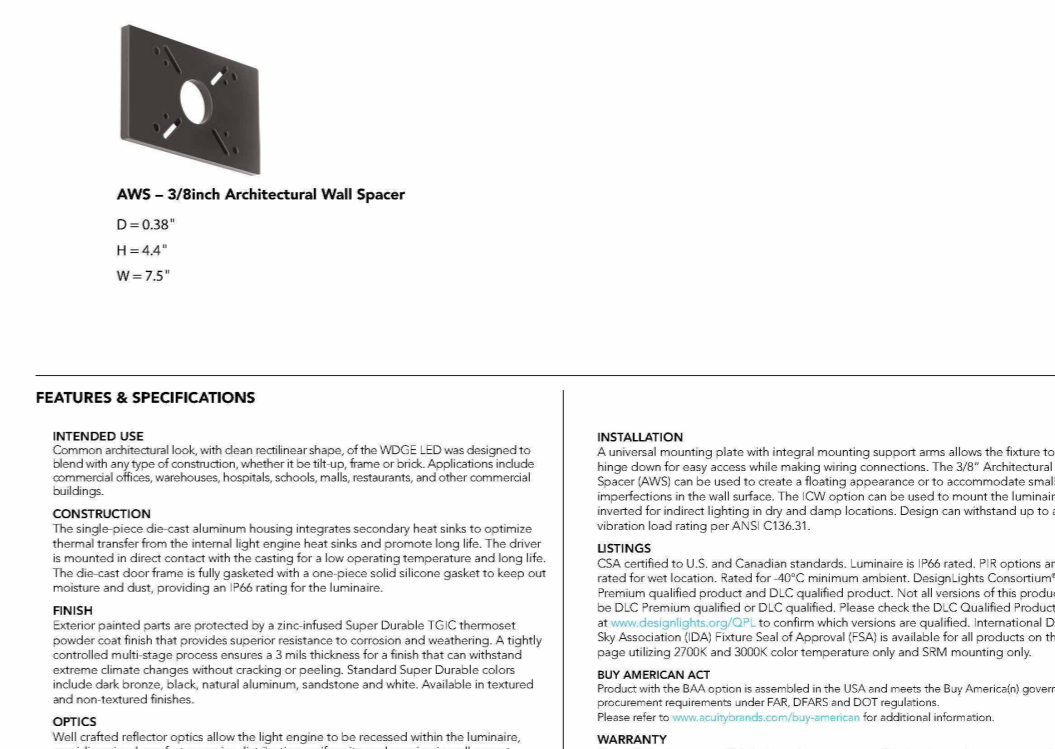
Options and Accessories table for E4WH and E4RW luminaires.

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Mounting, Options & Accessories section header.



Emergency Egress Options section header.

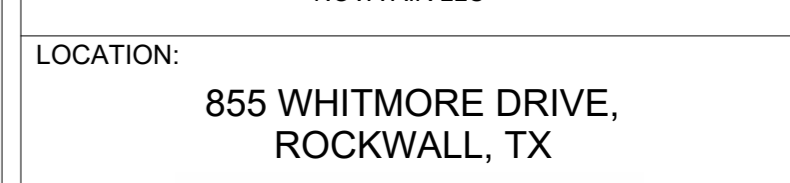


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PROJECT: NEW COMERCIAL AIR CONDITIONING EQUIPMENT STORAGE

OWNER: SALVADOR SALCEDO NOVA AIR LLC

LOCATION: 855 WHITMORE DRIVE, ROCKWALL, TX



Gamma Group, Design & Construction LLC 33 09 ELM ST # 250 Dallas, Texas, 75228 www.gammagroup-usa.com (469)-583-7174 & (469)-463-2761

THESE DOCUMENTS ARE INSTRUMENTS OF THE DESIGNER'S SERVICE FOR USE SOLELY ON THE SPECIFIC PROJECT INDICATED HEREIN.

ENGINEERING GENERAL NOTES

GENERAL CONTRACTOR SHALL HAVE THIS FOUNDATION PLAN DESIGN BY A TEXAS REGISTERED ENGINEER TO MEET SOLI, TESTS REQUIREMENTS.

CONTRACTOR NOTES

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REVISIONS table with columns for Date and Description.

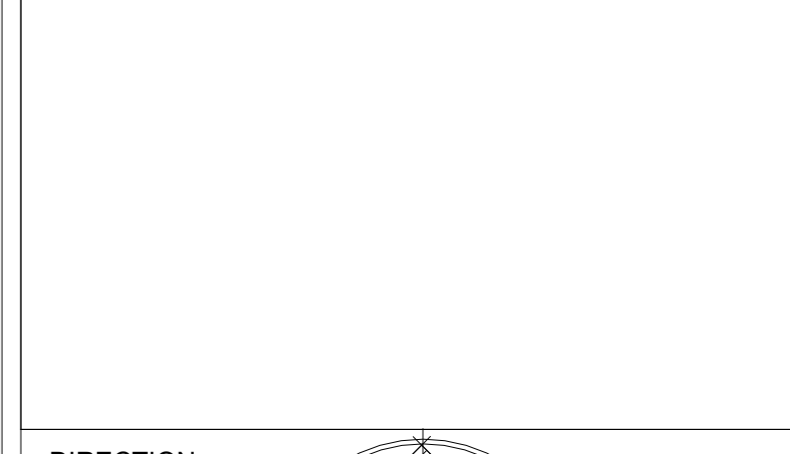


Table with columns: REV. NO., DATE, COMMENTS.

EXPIRATION DATE:

PAPER SIZE 36X24

PLAN: SITE PHOTOMETRICS DETAILS

DATE: 05/01/2023

DRAW BY: F.G.M SHEET 15 OF 15

E2



CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION CASE MEMO

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Planning and Zoning Commission
DATE: November 14, 2023
APPLICANT: Trenton Jones & Ben Sanchez; *Parkhill*
CASE NUMBER: SP2023-034; *Site Plan for Rockwall County Courthouse Annex*

SUMMARY

Consider a request by Trenton Jones and Ben Sanchez of Parkhill on behalf of Frank New of Rockwall County for the approval of a Site Plan for a *Government Building* on a 1.90-acre portion of a larger 12.79-acre parcel of land identified as Lot 1, Block A, Rockwall County Courthouse Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the IH-30 Overlay (IH-30) District, addressed as 963 E. Yellow Jacket Lane, and take any action necessary.

BACKGROUND

The subject property was originally annexed into the City of Rockwall on September 5, 1960 by *Ordinance No. 60-02*. At the time of annexation, the subject property was zoned Agricultural (AG) District. According to the 1983 historic zoning map, at some point between January 3, 1972 and May 16, 1983 the property was zoned from Agricultural (AG) District to Commercial (C) District. On May 17, 2010, the City Council approved a final plat that establish the subject property as Lot 1, Block A, Rockwall County Courthouse Addition. According to the Rockwall Central Appraisal District (RCAD), a 121,208 SF *Government Facility* (i.e. *Rockwall County Courthouse*) was constructed in 2011.

PURPOSE

On October 20, 2023, the applicants -- *Trenton Jones and Ben Sanchez of Parkhill* -- submitted an application requesting the approval of a Site Plan for the purpose of constructing a *Government Building* on the subject property.

ADJACENT LAND USES AND ACCESS

The subject property is generally located south of the intersection of T. L. Townsend Drive and E. Yellow Jacket Lane. The land uses adjacent to the subject property are as follows:

North: Directly north of the subject property is E. Yellow Jacket Lane, which is classified as a A4D (i.e. *major arterial, four [4] lane, divided roadway*) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this is an 8.485-acre parcel of land (i.e. *Lot 10, Block A, First United Methodist Church Addition*) developed with a *Church/House of Worship*. Beyond this is a vacant 9.001-acre parcel of land (i.e. *Lot 11, Block A, First United Methodist Church Addition*). Both of these properties are zoned Commercial (C) District.

South: Directly south of the subject property are several parcels of land developed with commercial land uses (i.e. *Office, Retail, General Personal Service, Animal Hospital, Car Wash, & Car Dealership*), and zoned Commercial (C) District. Beyond this is the intersection of S. Goliad Street [*SH-205*] and E. Interstate 30 [*IH-30*], where S. Goliad Street [*SH-205*] is classified as a P6D (i.e. *principal arterial, six [6] lane, divided roadway*) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan.

East: Directly east of the subject property is a 5.909-acre parcel of land (i.e. *Lot 5, Block A, Rockwall Library Addition*) developed with a *Public Library* and zoned Commercial (C) District. Beyond this is T. L. Townsend Drive, which is classified as a A4D (i.e. *major arterial, four [4] lane, divided roadway*) on the City's Master Thoroughfare Plan

contained in the OURHometown Vision 2040 Comprehensive Plan. Following this is a 4.194-acre parcel of land (i.e. Lot 1, Block A, Emerus Emergency Hospital) developed with a Hospital and zoned Light Industrial (LI) District.

West: Directly west of the subject property is E. Yellow Jacket Lane, which is classified as a A4D (i.e. major arterial, four [4] lane, divided roadway) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this are two (2) vacant parcels of land (i.e. Lot 11, Block A, First United Methodist Church Addition and Lot 6, Block 1, First United Methodist Church Addition). Following this are three (3) parcels of land developed with commercial land uses (i.e. Minor Automotive Repair, Restaurant with Drive-Through, and Convenience Store with Gasoline Sales). All of these properties are zoned Commercial (C) District. After this is S. Goliad Street [SH-205], which is classified as a P6D (i.e. principal arterial, six [6] lane, divided roadway) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan.

DENSITY AND DIMENSIONAL REQUIREMENTS

According to Section 01, *Land Use Schedule*, of Article 04, *Permissible Uses*, of the Unified Development Code (UDC), a *Government Facility* is permitted *by-right* in a Commercial (C) District. The submitted site plan, landscape plan, photometric plan, and building elevations generally conform to the technical requirements contained within the Unified Development Code (UDC) for a property located within a Commercial (C) District with the exception of the item(s) noted in the *Variations and Exceptions Requested by the Applicant* section of this case memo. A summary of the density and dimensional requirements for the subject property are as follows:

<i>Ordinance Provisions</i>	<i>Zoning District Standards</i>	<i>Conformance to the Standards</i>
<i>Minimum Lot Area</i>	10,000 SF	X=12.79-acres; In Conformance
<i>Minimum Lot Frontage</i>	60-Feet	X= 673.84-feet; In Conformance
<i>Minimum Lot Depth</i>	100-Feet	X=563.21-feet; In Conformance
<i>Minimum Front Yard Setback</i>	15-Feet	X=15-feet; In Conformance
<i>Minimum Rear Yard Setback</i>	10-Feet	X>10-feet; In Conformance
<i>Minimum Side Yard Setback</i>	10-Feet	X>10-feet; In Conformance
<i>Maximum Building Height</i>	60-Feet	X=23.5-feet; In Conformance
<i>Max Building/Lot Coverage</i>	60%	X=9.1%; In Conformance
<i>Minimum Number of Parking Spaces</i>	1 Parking Space/300 SF (Office) 39 Required Parking Spaces	X=43; In Conformance
<i>Minimum Landscaping Percentage</i>	20%	X=31.42%; In Conformance
<i>Maximum Impervious Coverage</i>	85-90%	X=68.58%; In Conformance

CONFORMANCE WITH THE CITY'S CODES

The applicant is requesting to construct a *Government Facility* on the subject property. According to Subsection 02.02(C)(12), *Government Facility*, of Article 13, *Definitions*, of the Unified Development Code (UDC), a *Government Facility* is defined as "(a)n office of a governmental agency that provides administrative and/or direct services to the public..." In this case, the applicant's proposed use falls under this classification, which is permitted by-right within a Commercial (C) District. When reviewing the proposed site plan against these standards, it appears to generally conform with the exception of the variance(s) and exception(s) being requested as outlined in the *Variations and Exceptions Requested by the Applicant* section of this case memo.

VARIANCES AND EXCEPTIONS BY THE APPLICANT

As stated above, the applicant's request conforms to the majority of the City's codes; however, staff has identified the following variance(s) and exception(s):

- (1) Architectural Standards.
 - (a) Four-Sided Architecture. According to Subsection 06.02(C)(5), of Article 05, of the *General Overlay District Development Standards* of the Unified Development Code (UDC), "(a)ll buildings shall be architecturally finished on

all four (4) sides utilizing the same materials, detailing, articulation and features.” In this case, the proposed building exceeds the wall length requirement, “...the maximum wall length shall not exceed three (3) times the wall height.” This will require a *variance* from the Planning and Zoning Commission pending a recommendation from the Architectural Review Board (ARB).

- (b) Stone. According to Subsection 06.02(C)(1)(a)(1), *General Overlay District Standards*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC), “(a) minimum of 20.00% natural or quarried stone is required on all building façades.” In this case the applicant has not met this requirement on the north and west building façades. This will require a *variance* from the Planning and Zoning Commission.
 - (c) Masonry Material. According to Subsection 06.02(C)(1)(a)(1), *General Overlay District Standards*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC), a minimum of 90.00% masonry material must be utilized on each building façade. In this case the applicant has not met this requirement on the north and west building façades. This will require a *variance* from the Planning and Zoning Commission.
 - (d) Tilt-Up Wall. According to Section 06.01(C)(1), *General Overlay District Standards*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC), concrete tilt-up walls are not a permitted material. The applicant is proposing the use of tilt-up wall construction for the building, and the amount of exposed tilt-up wall is 24.90% (*on the west building elevation*) and 58.60% (*on the north building elevation*). This will require a *variance* from the Planning and Zoning Commission.
 - (e) Roof Pitch. According to Subsection 04.01(A)(1), *General Commercial District Standards*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC), “(a)ll structures shall have the option of being constructed with either a pitched (*minimum of a 6:12 roof pitch*), parapet, or mansard roof system as long as the roof system is enclosed on all sides.” In this case, the applicant is doing a pitched roof system where the canopies have a 4:12 pitch. This will require an *exception* from the Planning and Zoning Commission.
- (2) Landscape Buffer. According to Subsection 05.01, *Landscape Buffers*, of Article 08, *Landscape and Fence Standards*, of the Unified Development Code (UDC), a landscape buffer shall have a “...minimum of one (1) canopy tree and one (1) accent tree...per 50-linear feet...” Given this, the applicant is required to have eight (8) canopy and eight (8) accent trees. That being said, the applicant is requesting not to plant the canopy trees and have 16 accent trees due to overhead power lines. This will require an *exception* from the Planning and Zoning Commission.
 - (3) Driveway Spacing. According to *Figure 2.4: Minimum Driveway Spacing and Corner Clearance*, of Chapter 2, *Streets*, of the Engineering Department’s *Standards of Design and Construction Manual*, driveways must be 100-feet apart. In this case, the applicant is adding an additional drive along E. Yellow Jacket Lane that is less than 100-feet to another existing drive. This will require a *variance* from the Planning and Zoning Commission.

According to Subsection 09, *Exceptions and Variances*, of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC), “...an applicant may request the Planning and Zoning Commission grant variances and exceptions to the provisions contained in the Unified Development Code (UDC), where unique or extraordinary conditions exist or where strict adherence to the technical requirements of the Unified Development Code (UDC) would create an undue hardship.” In addition, the code requires that the applicant provide compensatory measures that directly offset the requested variances and exceptions. The applicant has indicated the following as compensatory measures: [1] providing a 15-foot landscape buffer in lieu of a ten (10) foot, and [2] providing 31.40% landscaping in lieu of the required 20.00%. Requests for exceptions and variances to the Unified Development Code (UDC) are discretionary decisions for the Planning and Zoning Commission. Staff should note that a supermajority vote (*e.g. six [6] out of the seven [7] commissioners*) -- *with a minimum of four (4) votes in the affirmative* -- is required for the approval of a variance or exception.

CONFORMANCE WITH OURHOMETOWN VISION 2040 COMPREHENSIVE PLAN

According to the Future Land Use Plan contained in the OURHometown Vision 2040 Comprehensive Plan, the subject property is situated within the Central District and is designated for Public land uses. According to the *District Strategies* this land use designation should “... support the existing and proposed residential developments and should be compatible in scale with the adjacent residential structures.” That being said, the subject property is located within a cluster of Public and

Quasi-Public land uses. Given this, the proposed request is in conformance with the Future Land Use Map contained in the OURHometown Vision 2040 Comprehensive Plan.

ARCHITECTURAL REVIEW BOARD (ARB) RECOMMENDATION

On November 1, 2023 the Architecture Review Board (ARB) reviewed the building elevations provided by the applicant. The ARB requested the applicant provide a material sample board and provide material variation on the north and west facades. The applicant has made the requested changes on the north façade, which will be reviewed by the ARB prior to the November 14, 2023 meeting.

CONDITIONS OF APPROVAL

If the Planning and Zoning Commission chooses to approve the applicant's Site Plan for the construction of a *Government Facility* on the *subject property*, then staff would propose the following conditions of approval:

- (1) All staff comments provided by the Planning, Engineering and Fire Department must be addressed prior to the submittal of engineering plans.
- (2) Any construction resulting from the approval of this Site Plan shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. _____

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹
- REPLAT (\$300.00 + \$20.00 ACRE) ¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) ¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ^{1&2}
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) ²

NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.

²: A **\$1,000.00** FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS 1111 E Yellow Jacket Ln, Rockwall, TX 75037

SUBDIVISION Rockwall County Courthouse Addition

LOT 1

BLOCK A

GENERAL LOCATION Grass area 300 ft NW of County Clerk Building

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING Commercial

CURRENT USE Commercial

PROPOSED ZONING Commercial

PROPOSED USE Commercial

ACREAGE 1.9 acres (Total Disturbed area) LOTS [CURRENT] 1

LOTS [PROPOSED] 1

- SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER Rockwall County

APPLICANT Parkhill

CONTACT PERSON Frank New

CONTACT PERSON Trenton Jones, Ben Sanchez

ADDRESS 101 East Rusk St

ADDRESS 3000 Internet Blvd
Suite 550

CITY, STATE & ZIP Rockwall, TX 75087

CITY, STATE & ZIP Frisco, TX 75034

PHONE 972-204-6000

PHONE 972-987-1670

E-MAIL fnew@rockwallcountytexas.com

E-MAIL tjones@parkhill.com, bsanchez@parkhill.com

NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED _____ [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ _____, TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE _____ DAY OF _____, 20____. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE _____ DAY OF _____, 20____.

OWNER'S SIGNATURE

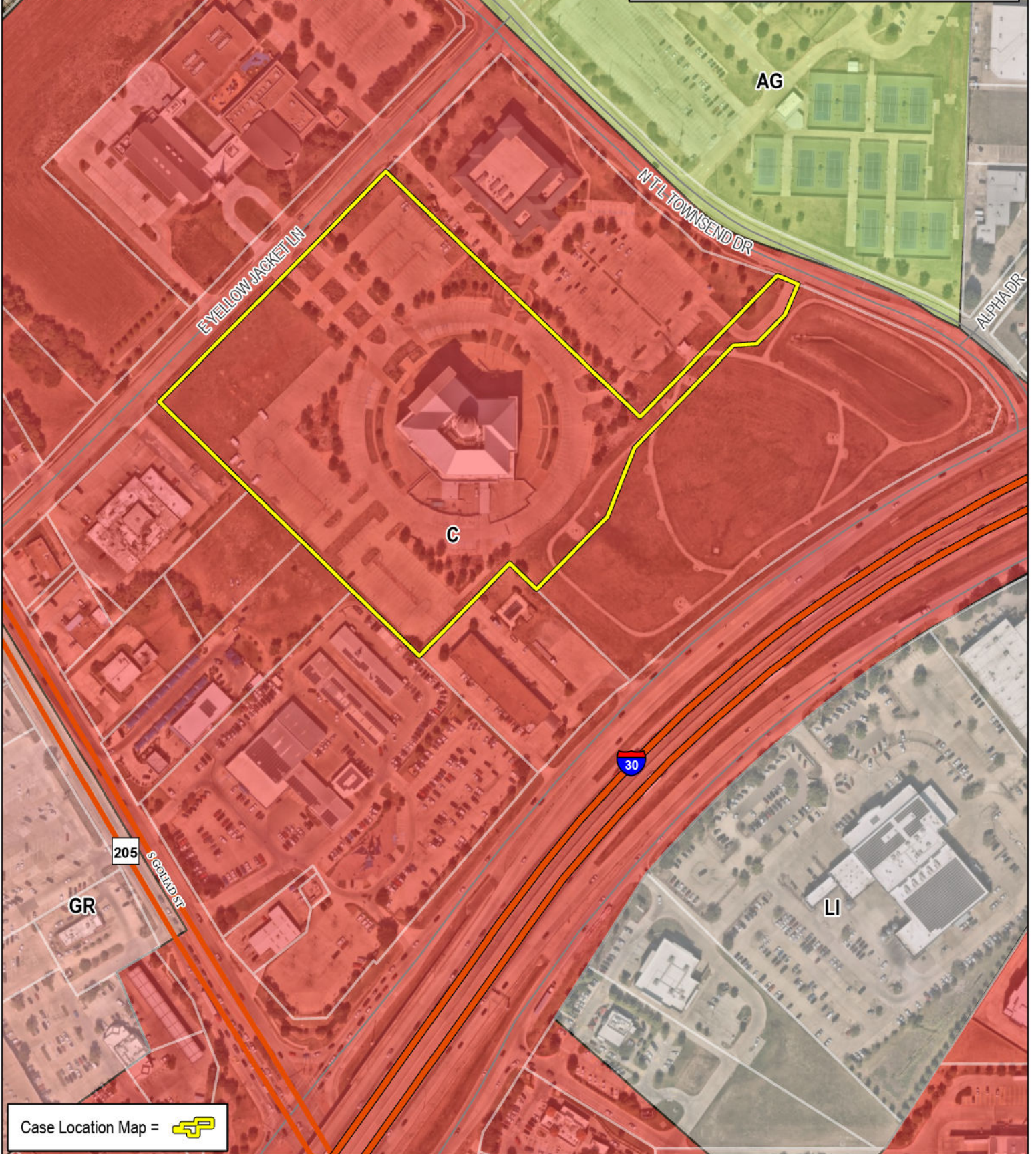


NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

MY COMMISSION EXPIRES



SP22023-034: Site Plan for Rockwall County Annex



Case Location Map = 



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



November 7, 2023

City of Rockwall
Planning Department
385 S. Goliad Street
Rockwall, Texas 75069

RE: Letter of Intent - Design Exceptions Request

Dear Mr. Lee:

Parkhill, as the representative for Rockwall County, previously submitted an application for site plan approval for the Rockwall County Courthouse Annex. The property is located at 1101 E. Yellow Jacket Lane Rockwall Texas, 75087. The application has been identified as case number SP2023-034.

The project consists of adding a Courthouse Annex Building, parking, utilities, and connection to the existing Rockwall County complex. As discussed previously with the city of Rockwall Planning Department, Parkhill was aware that multiple design exceptions would be necessary as part of this Site Plan Submission. Per our previous discussions with the city of Rockwall Planning Department, we would like to submit the following design exception requests:

- Articulation Standards (Subsection 04.01. C. of Article 05, UDC)
 - Building footprint is nearly at maximum building size allowed. There is no primary building entrance along East Yellow Jacket, our main façade faces in toward the existing parking.
- Exterior Walls consist of 90% Masonry (Subsection 06.02. C. of Article 05, UDC)
 - Total of 60% Masonry provided. Design intent is to closely relate to the adjacent County courthouse and library
- At least 20% Natural quarried stone on each façade (Subsection 06.02. C. of Article 05, UDC)
 - Providing 18.8%, 33%, 41.5%, and 6.4% to the façades, and a total percentage of 25.4%
- The minimum roof pitch for this zoning district is 6:12. (Subsection 04.01, of Article 05, UDC)
 - Mansard roof pitch to be 6:12, front overhangs to be 4:12.
- Landscape Exception requested to substitute 8 Accent Trees for the 8 Canopy Trees required along East Yellow Jacket Lane due to the existing overhead power line in right of way (Subsection 05.01.B of Article 8, UDC). The two proposed compensatory measures include:
 - 15-foot wide landscape buffer provided along East Yellow Jacket Lane instead of the ordinance required 10-foot wide buffer.
 - 31.4% (24,711 SF) of landscape area provided instead of the ordinance required 20% (15,729 SF).
- Driveway Spacing (Section 02.06, Standards of Design and Construction)
 - Seeking an exception from the driveway spacing requirement of 200 feet along Yellow Jacket Lane, to a spacing of 85 ft.
- 20ft minimum depth for all parking
 - Seeking an exception to the 20ft depth requirement for the parking lot area south of the proposed building, to 18 feet. The existing parking spaces in this area are 18ft x 9ft.

Please feel free to contact me if you have any questions regarding the applications for the Site Plan of the Rockwall County Courthouse Annex.

Sincerely,

PARKHILL

By *Ben Sanchez, P.E.*

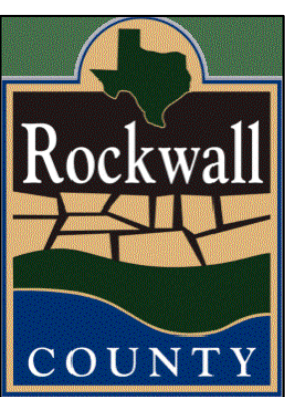
Ben Sanchez, PE

Civil Engineer

Authorized Representative/Applicant for Rockwall County

Enclosures

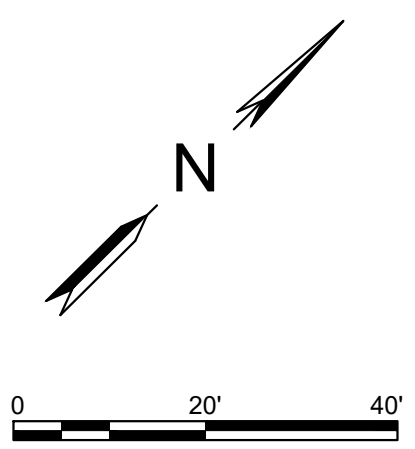
Cc: Files



CLIENT
Rockwall County
1111 E Yellowjacket Lane
Rockwall, TX 75037

PROJECT NO.
11987.22

KEY PLAN



#	DATE	DESCRIPTION
2	11/07/2023	Site Plan Re-Submittal #1
1	10/20/2023	Site Plan Submittal

Site Plan CS101A

PARKING LOT COUNT		
	REQUIRED	PROVIDED
EXISTING REGULAR SPACES	N/A	29
PROPOSED REGULAR SPACES	15	40
ACCESSIBLE SPACES	3	4
TOTAL SPACES	72	73

KEY NOTES

- AS INDICATED BY: (C)
- DRIVEWAY - SEE DETAIL B2/CS502
 - PARALLEL CURB RAMP - SEE DETAIL B4/CS501
 - STRAIGHT HANDICAP RAMP AT RADIUS - SEE DETAIL B1/CS501
 - PARKING BLOCK - SEE DETAIL B3/CS501
 - HANDICAP SIGN WITH "VAN ACCESSIBLE" PLACARD - SEE DETAIL A4/CS502
 - HANDICAP MARKING - SEE DETAIL A3/CS502
 - ACCESS AISLE MARKING - SEE DETAIL A2/CS502
 - HANDICAP SIGN - SEE DETAIL A1/CS502
 - RELOCATED LIGHT POLE - SEE DEMOLITION PLANS. COORDINATE WITH ELECTRICAL.

SITE PLAN NOTES

- FIRE LANE MARKING SHALL BE 6" WIDE RED BACKGROUND STRIPE WITH 4" WHITE LETTERS USING 3/4" STROKE STATING "NO PARKING FIRE LANE". PAINT EVERY 25' ON CENTER ALONG THE FIRE LANE. PLACE FIRE LANE MARKING ON THE VERTICAL SURFACE OF THE CURB WHEN PRESENT OR ON THE PARKING SURFACE WHEN NOT.
- FIRE LANE MARKING SHOWN IS REPRESENTATIONAL. FIRE LANE MARKING SHALL BE A MINIMUM OF 20' APART OR 26' APART WHEN ADJACENT TO BUILDINGS OVER 30' HIGH. FIRE LANE MARKING SHALL BE PAINTED ON A CURB FACE WHERE THE REPRESENTATIONAL MARKING IS SHOWN NEXT TO A CURB. COORDINATE FIRE LANE MARKINGS WITH CITY OF ROCKWALL FIRE MARSHAL PRIOR TO INSTALLATION.
- INSTALL FIRE APPARATUS ACCESS ROADS AND MAKE SERVICEABLE PRIOR TO THE START OF BUILDING FRAMING.
- STRIPING WIDTH = 4". STRIPE COLOR = WHITE, HANDICAP AND MEDIAN ISLAND STRIPES (YELLOW), PLACE DIAGONAL STRIPES (45°) AT 24" ON CENTER.
- CALL THE ONE CALL SYSTEM (811) PRIOR TO CONSTRUCTION.
- LOCATE AND PROTECT EXISTING UTILITIES AND STRUCTURES DURING CONSTRUCTION, AND REPAIR ANY DAMAGES TO EXISTING FEATURES AT CONTRACTOR'S EXPENSE.
- ALL CONSTRUCTION SHALL BE ACCORDANCE WITH THE LATEST CITY OF ROCKWALL DESIGN STANDARDS, REQUIREMENTS AND SPECIFICATIONS, UNLESS OTHERWISE NOTED ON THE PLANS.
- FOLLOW BEST MANAGEMENT PRACTICES (BMP'S) AND COMPLY WITH EPA & TCEQ STORM WATER POLLUTION PREVENTION PLAN (SWPPP) REQUIREMENTS.
- EARTHWORK AND BACKFILL WITHIN THE LIMITS OF EXISTING AND PROPOSED PAVEMENT SHALL BE COMPACTED IN MAXIMUM 8" LIFTS TO 95% MODIFIED PROCTOR (ASTM D-1557), WITHIN 2% OF OPTIMUM MOISTURE CONTENT, PRIOR TO PLACEMENT OF IMPROVEMENTS.
- DOWEL SIDEWALKS INTO PAVEMENT AT TIE-INS TO EXISTING SLABS, AND TO DRIVEWAY PAVEMENTS. INSTALL EXPANSION JOINT MATERIAL WHERE PAVEMENT ABUTS EXISTING STRUCTURES FOR ISOLATION PURPOSES.
- ALL DIMENSIONS ARE BACK OF CURB TO BACK OF CURB, FACE OF BUILDING, OR PROPERTY LINE, UNLESS OTHERWISE NOTED.
- CONTRACTOR IS TO SCHEDULE A PRE-PAVING MEETING WITH THE ENGINEER AT LEAST 7 DAYS PRIOR TO ANY PAVING.

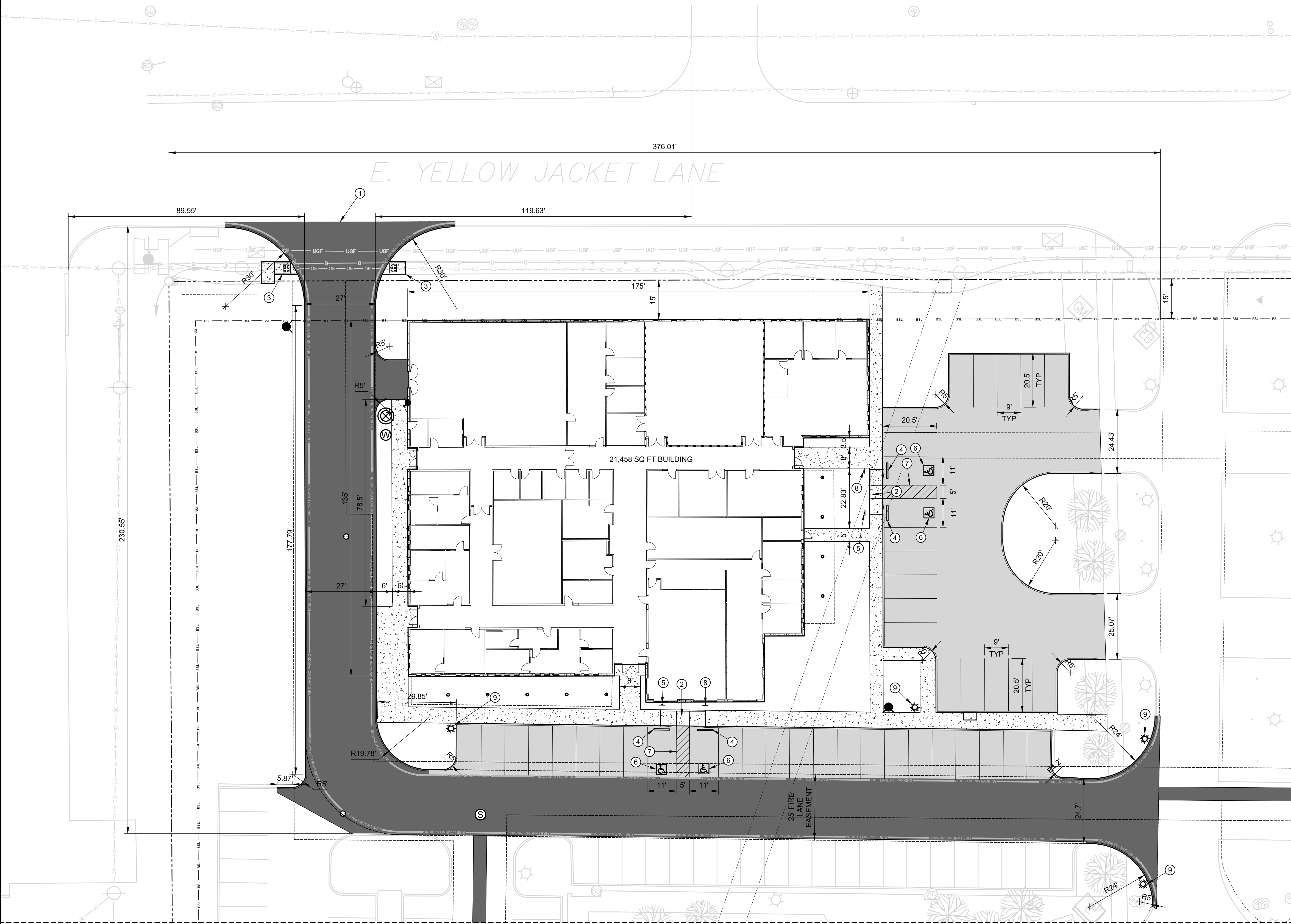
LEGEND

- PROPERTY LINE
- BUILDING SETBACK LINE
- FIRE LANE MARKING - SEE DETAIL A5/CS501 & NOTE THIS SHEET
- EXISTING EASEMENT
- SIDEWALK - SEE DETAIL CS503
- 6" HEAVY DUTY CONCRETE PAVEMENT - SEE DETAIL A3/CS501
- 5" STANDARD DUTY CONCRETE PAVEMENT - SEE DETAIL A1/CS501

SIGNATURE BLOCK

APPROVED:
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the ___ day of _____.
WITNESS OUR HANDS, this ___ day of _____.

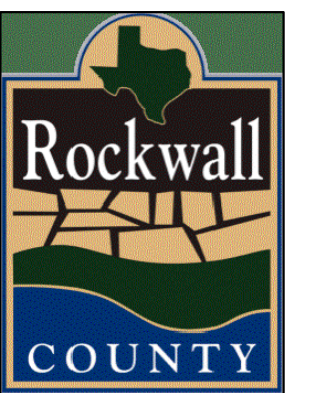
Planning & Zoning Commission, Chairman Director of Planning and Zoning



A1 SITE PLAN

1" = 20'

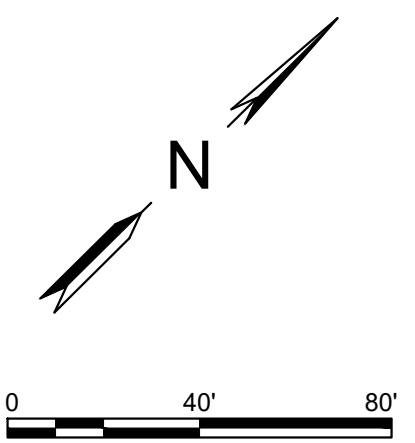
A:\2023\11887.22\03_DSGND1_DWG\050_CIVIL\00_SHEETS\CS101-11887.DWG, 11/7/2023 12:46 PM, tjones



CLIENT
Rockwall County
 1111 E Yellowjacket Lane
 Rockwall, TX 75037

PROJECT NO.
 11987.22

KEY PLAN



#	DATE	DESCRIPTION
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Site Plan CS101B

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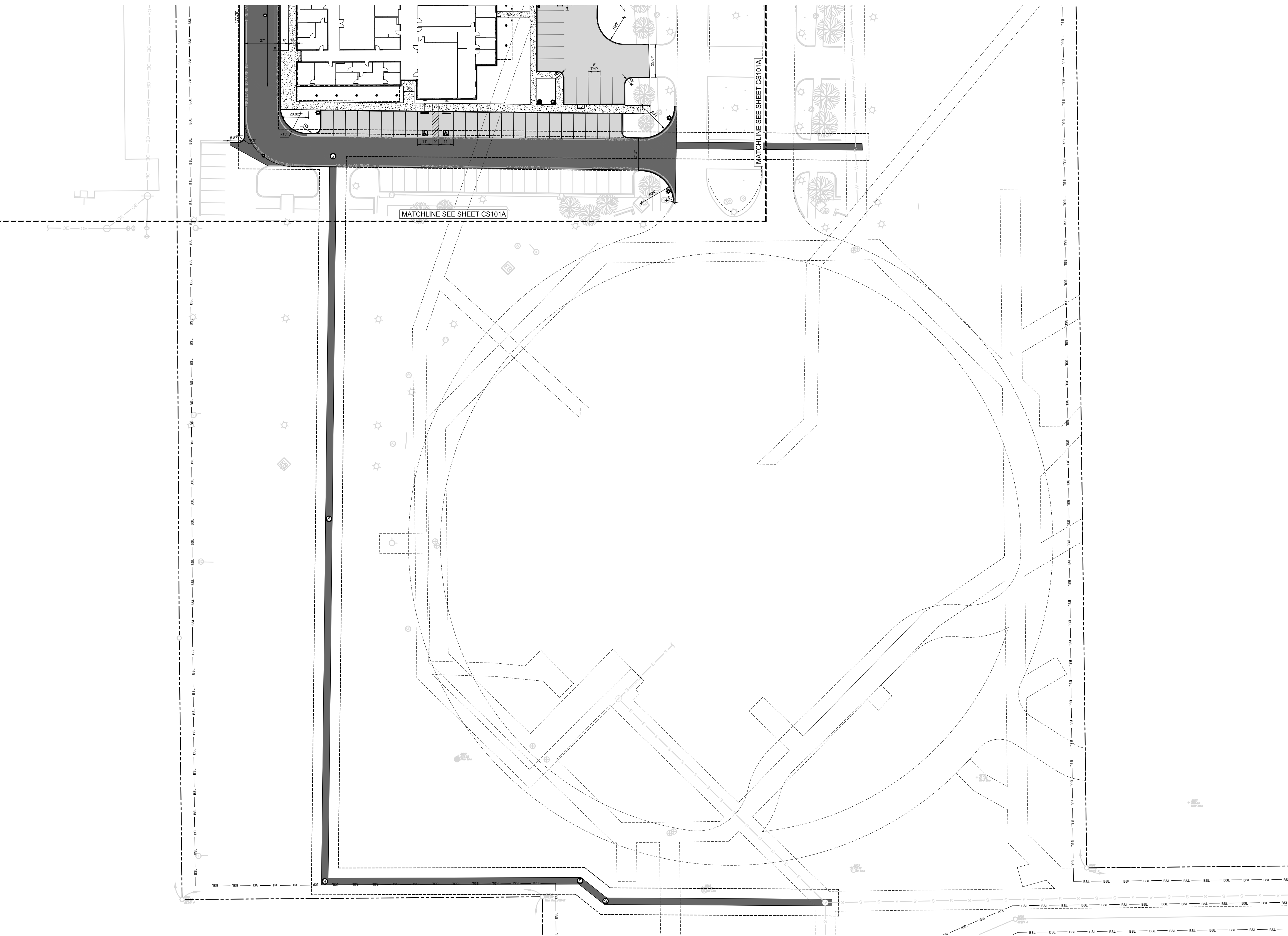
LEGEND

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SIGNATURE BLOCK

APPROVED:
 I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the ___ day of _____.
 WITNESS OUR HANDS, this ___ day of _____.

 Planning & Zoning Commission, Chairman Director of Planning and Zoning



A1 SITE PLAN 1" = 40'

THIS DOCUMENT IS RELEASED FOR THE PURPOSE OF INTERIM REVIEW UNDER THE AUTHORITY OF SALVADOR T. SANCHEZ, R.A., TEXAS LICENSE #29255. IT IS NOT TO BE USED FOR REGULATORY APPROVAL, CONSTRUCTION, BIDDING OR PERMIT PURPOSES.

PARKHILL

10/20/2023

Parkhill.com

Rockwall County Annex



CLIENT
Rockwall County
 1111, E Yellow Jacket Ln
 Rockwall, TX 75037

PROJECT NO.
 11987.22

GENERAL NOTES

- A. ALL ROOF MOUNTED EQUIPMENT TO BE MOUNTED ON "ROOF HIGH" LEVEL BEHIND STANDING SEAM ROOF PARAPET
- B. ROOF PARAPET TO BE COMPLETELY ENCLOSED, AT UPPER/LOWER ROOFS. INTERIOR FACE OF ROOF HIGH PARAPET TO MATCH STUCCO ON EXTERIOR FACE.

KEY NOTES

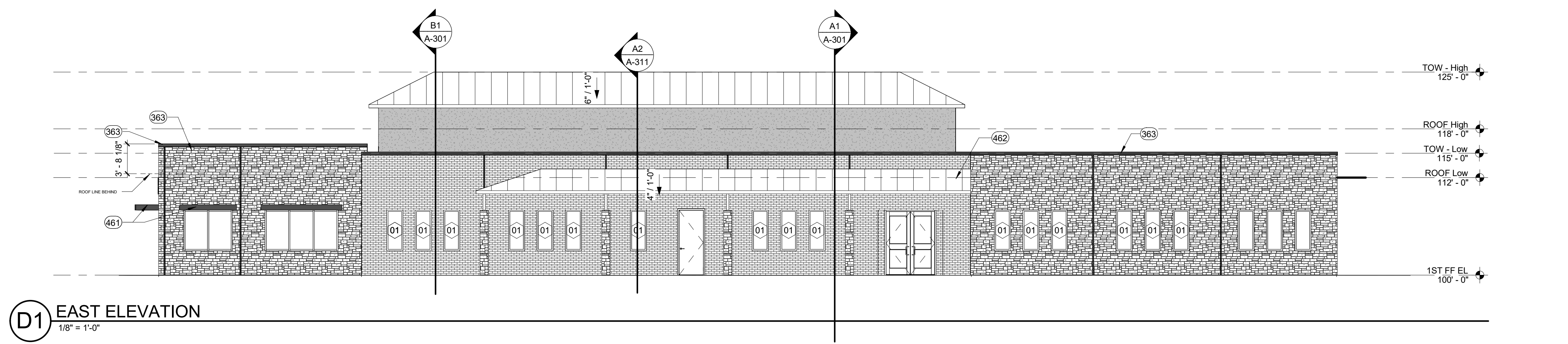
- AS INDICATED BY: (#) →
- 363 PREFIN MTL COPING
 - 461 ALUMINUM CANOPY
 - 462 STANDING SEAM METAL CANOPY
 - 463 ROOF LINE BEHIND PARAPET/PARAPET HEIGHT
 - 836 ROOFTOP MECH EQUIP. SCREENED BEHIND ROOF

LEGEND

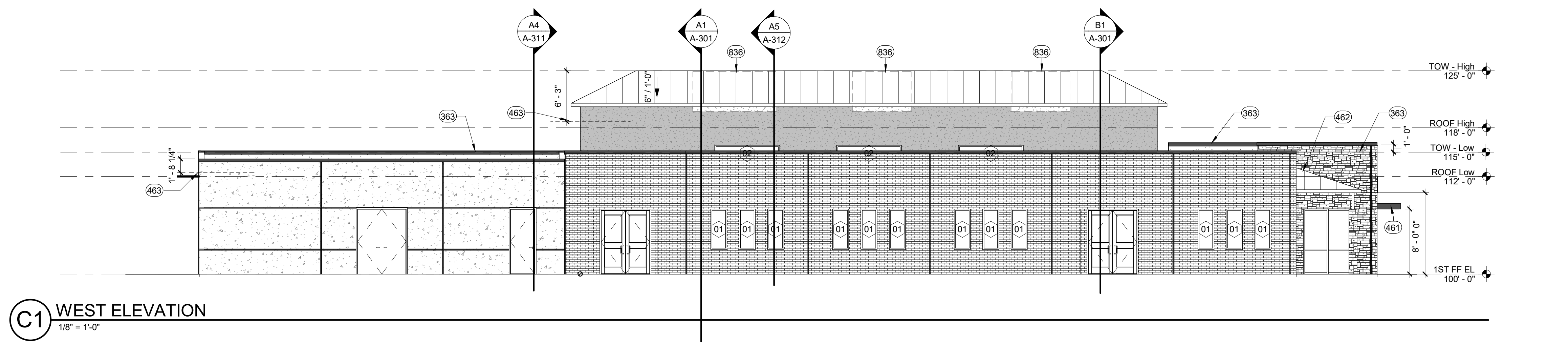
- ADHERED VENEER BRICK OVER CONCRETE TILT PANEL.
- Acme Pacific Clay - Calico or comparable color
- ADHERED VENEER STONE OVER CONCRETE TILT PANEL.
- Natural Stone Veneers - Ashlar pattern - Heritage Manor or comparable color
- CONCRETE TILT PANEL w/ELASTOMERIC COATING.
- TremGard HB - Oyster Shell or comparable color
- STUCCO
- Dryvit - 522 Lite Gray or comparable color
- STANDING SEAM METAL ROOF
- Awntech - Black k or comparable color
- GLAZING

FACADE SURFACE AREA

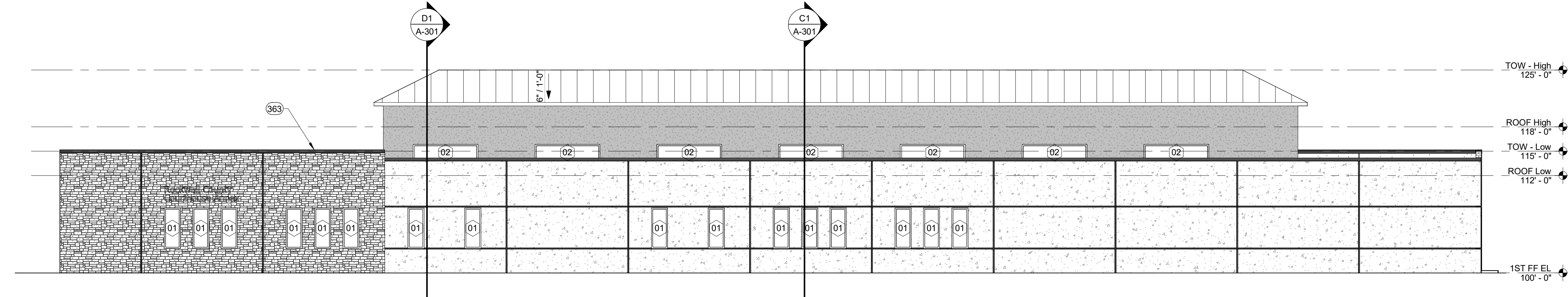
Direction	Material	Area (sf)	Percentage (%)
EAST:	Concrete Tilt	= 0 sf	
	Thin Brick	= 1,109 sf	(43.4%)
	Thin Stone	= 1,061 sf	(41.5%)
	Stucco	= 385 sf	(15.1%)
	Total	= 2,555 sf	(100%)
WEST:	Concrete Tilt	= 620 sf	(24.9%)
	Thin Brick	= 1,321 sf	(53.2%)
	Thin Stone	= 160 sf	(6.4%)
	Stucco	= 385 sf	(15.5%)
	Total	= 2,486 sf	(100%)
NORTH:	Concrete Tilt	= 1,855 sf	(58.6%)
	Thin Brick	= 0 sf	
	Thin Stone	= 594 sf	(18.8%)
	Stucco	= 720 sf	(22.6%)
	Total	= 3,169 sf	(100%)
SOUTH:	Concrete Tilt	= 0 sf	
	Thin Brick	= 1630 sf	(46.5%)
	Thin Stone	= 1155 sf	(33%)
	Stucco	= 720 sf	(20.5%)
	Total	= 3,505sf	(100%)



D1 EAST ELEVATION
 1/8" = 1'-0"



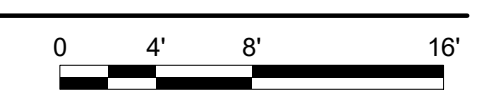
C1 WEST ELEVATION
 1/8" = 1'-0"



B1 NORTH ELEVATION
 1/8" = 1'-0"



A1 SOUTH ELEVATION
 1/8" = 1'-0"



SIGNATURE BLOCK

APPROVED: _____
 I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the ___ day of ____.

WITNESS OUR HANDS, this ___ day of ____.

 Planning & Zoning Commission, Chairman Director of Planning and Zoning

Exterior Elevations
A-201

P. 024 11/7/2023 11:51:24 AM

ROCKWALL COUNTY ANNEX

#	DATE	DESCRIPTION
-	10/20/2023	Site Plan

CASE NUMBER: SP-2023-034

SIGNATURE BLOCK

APPROVED: I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the ____ day of _____.
 WITNESS OUR HANDS, this ____ day of _____.

 Planning & Zoning Commission, Chairman

 Director of Planning and Zoning

Parkhill

THIS DOCUMENT IS RELEASED ON NOVEMBER 7, 2023 FOR THE PURPOSE OF INTERIM REVIEW UNDER THE AUTHORITY OF LANDON G. BELL, R.L.A., TEXAS LICENSE #3245. IT IS NOT TO BE USED FOR REGULATORY APPROVAL, CONSTRUCTION, BIDDING OR PERMIT PURPOSES. PARKHILL, SMITH & COOPER, INC.

Parkhill.com

Rockwall County Annex



CLIENT
Rockwall County
 1111 E Yellowjacket Lane
 Rockwall, TX 75037

PROJECT NO.
 11987.22

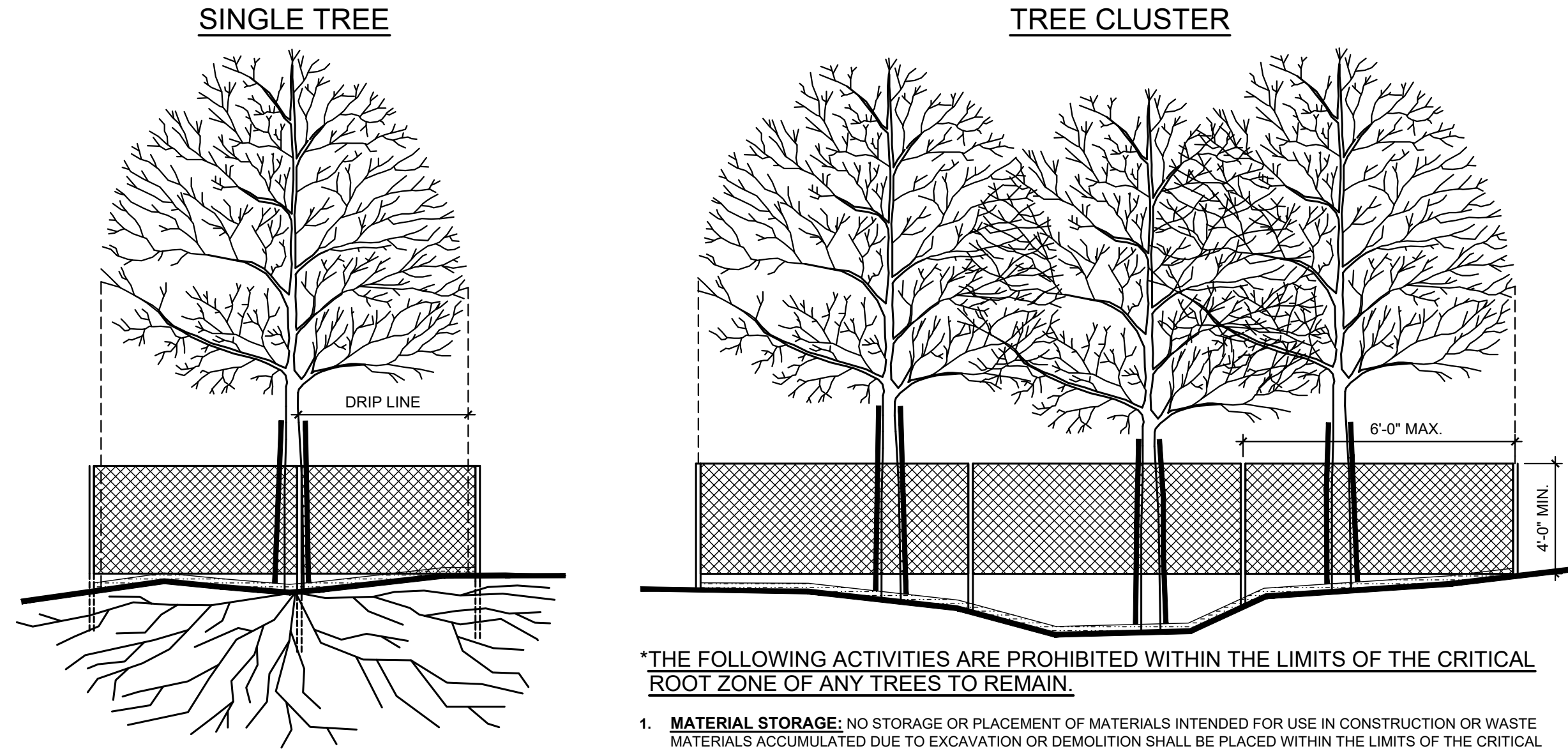
KEY PLAN
 Lot 1, Block A, 12.79 Ac. Rockwall County Courthouse Addition
 Plat Cabinet "H" Slide 131
 Case Number: SP2023-034
 Proposed Land Use: Commercial

Designer Information:
 Name: Parkhill
 Address: 3000 Internet Blvd Suite 550, Frisco, Texas 75034
 Phone Number: 972-987-1670

Owner Contact Information
 Name: Rockwall County
 Address: 101 East Rusk Street, Rockwall, Texas, 75087
 Phone Number: 972-204-6000

#	DATE	DESCRIPTION
2	11/07/2023	Site Plan Re-Submittal #1
1	10/20/2023	Site Plan Submittal

Landscape Details
LD502



***CRITICAL ROOT ZONE:**
 THE AREA OF UNDISTURBED NATURAL SOIL AROUND A TREE DEFINED BY A CONCENTRIC CIRCLE WITH A RADIUS TO THE DISTANCE FROM THE TREE TRUNK TO THE OUTERMOST PORTION OF THE DRIP LINE.

DRIP LINE:
 A VERTICAL LINE RUN THROUGH THE OUTERMOST PORTION OF THE CANOPY OF A TREE AND EXTENDING TO THE GROUND.

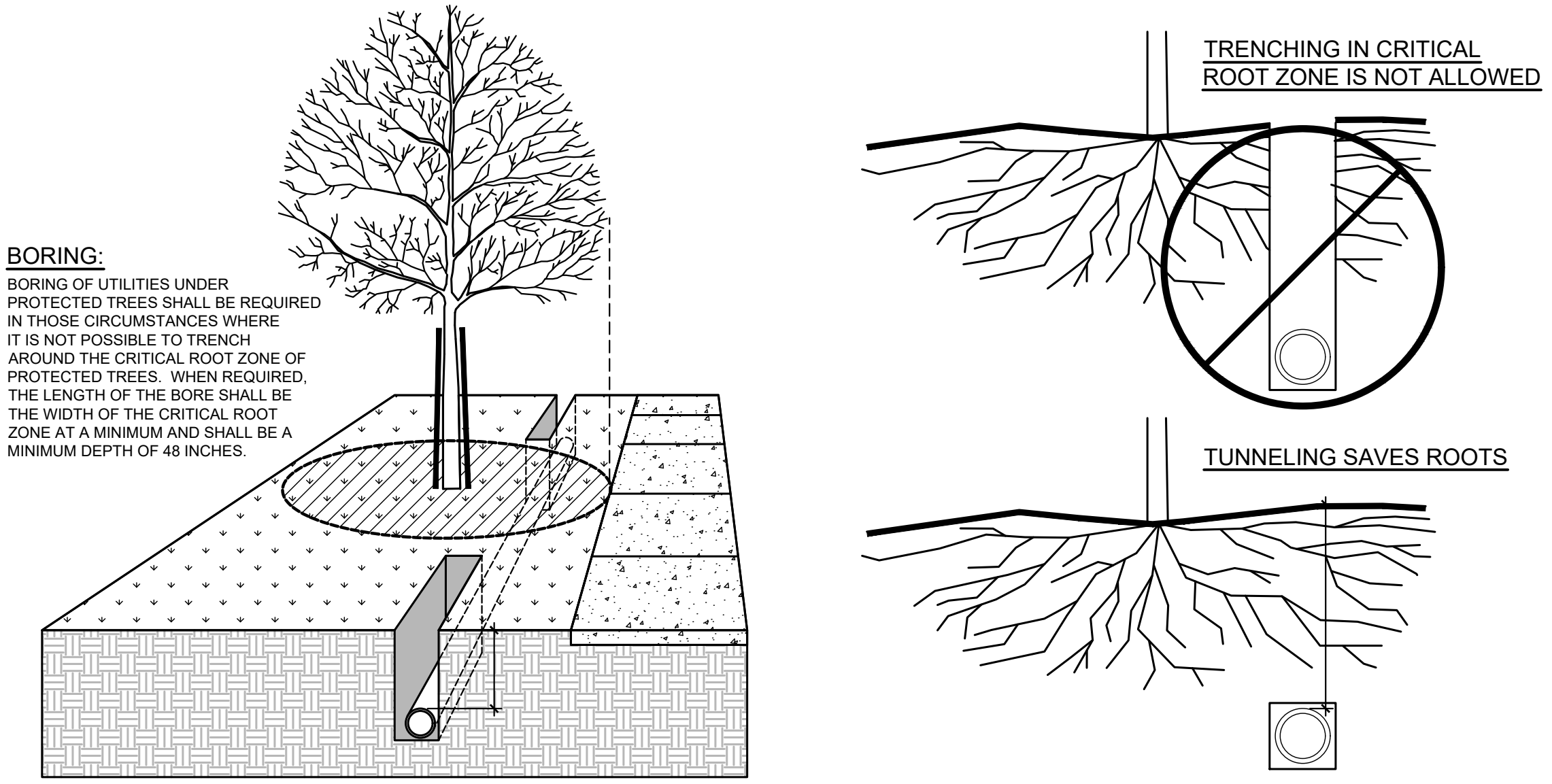
PROTECTIVE FENCING:
 ORANGE VINYL CONSTRUCTION FENCING, CHAIN LINK FENCING, SNOW FENCING, OR OTHER SIMILAR FENCING AS SPECIFIED AT LEAST FOUR FEET (4') HIGH AND SUPPORTED AT A MAXIMUM OF SIX FOOT (6') INTERVALS BY APPROVED METHOD SUFFICIENT ENOUGH TO KEEP THE FENCE UPRIGHT AND IN PLACE. THIS FENCING SHALL BE OF A HIGHLY VISIBLE MATERIAL.

- *THE FOLLOWING ACTIVITIES ARE PROHIBITED WITHIN THE LIMITS OF THE CRITICAL ROOT ZONE OF ANY TREES TO REMAIN.**
- MATERIAL STORAGE:** NO STORAGE OR PLACEMENT OF MATERIALS INTENDED FOR USE IN CONSTRUCTION OR WASTE MATERIALS ACCUMULATED DUE TO EXCAVATION OR DEMOLITION SHALL BE PLACED WITHIN THE LIMITS OF THE CRITICAL ROOT ZONE OF ANY PROTECTED TREE. EQUIPMENT CLEANING/LIQUID DISPOSAL: NO EQUIPMENT SHALL BE CLEANED OR OTHER LIQUIDS, INCLUDING, WITHOUT LIMITATION, PAINT, OIL, SOLVENTS, ASPHALT, CONCRETE, MORTAR OR SIMILAR MATERIALS DEPOSITED OR ALLOWED TO FLOW INTO THE CRITICAL ROOT ZONE OF A PROTECTED TREE.
 - TREE ATTACHMENTS:** NO SIGNS, WIRES OR OTHER ATTACHMENTS, OTHER THAN THOSE OF A PROTECTIVE NATURE, SHALL BE ATTACHED TO ANY PROTECTED TREE.
 - VEHICULAR TRAFFIC:** NO VEHICULAR AND/OR CONSTRUCTION EQUIPMENT TRAFFIC OR PARKING SHALL TAKE PLACE WITHIN THE CRITICAL ROOT ZONE OF ANY PROTECTED TREE OTHER THAN ON EXISTING STREET PAVEMENT. THIS RESTRICTION DOES NOT APPLY TO SINGLE INCIDENT ACCESS WITHIN THE CRITICAL ROOT ZONE FOR PURPOSES OF ESTABLISHING THE BUILDING PAD AND ASSOCIATED LOT GRADING, VEHICULAR TRAFFIC NECESSARY FOR ROUTINE UTILITY MAINTENANCE, EMERGENCY RESTORATION OF UTILITY SERVICE, OR ROUTINE MOWING OPERATIONS.
 - GRADE CHANGES:** PAVING WITHIN THE DRIP LINE SHALL BE APPROVED PRIOR TO CONSTRUCTION BY THE OWNER'S REPRESENTATIVE.
 - IMPERVIOUS PAVING:** NO PAVING WITH ASPHALT, CONCRETE OR OTHER IMPERVIOUS MATERIAL SHALL BE PLACED WITHIN THE LIMITS OF THE CRITICAL ROOT ZONE.
 - ROOT PRUNING:** ALL ROOTS ONE INCHES OR LARGER IN DIAMETER WHICH ARE EXPOSED AS A RESULT OF TRENCHING OR OTHER EXCAVATION SHALL BE CUT OFF SQUARE WITH A SHARP MEDIUM TOOTH SAW AND COVERED WITH PRUNING COMPOUND WITHIN TWO HOURS OF INITIAL EXPOSURE.

TREE PROTECTION NOTES

- THE CONTRACTOR SHALL PROTECT THE TREE AND PLANT PROTECTION ZONE AT ALL TIMES FROM COMPACTION OF THE SOIL; DAMAGE OF ANY KIND TO TRUNKS, BARK, BRANCHES, LEAVES AND ROOTS OF ALL PLANTS; AND CONTAMINATION OF THE SOIL, BARK OR LEAVES WITH CONSTRUCTION MATERIALS, DEBRIS, SILT, FUELS, OILS, AND ANY CHEMICALS SUBSTANCE. NOTIFY THE OWNER'S REPRESENTATIVE OF ANY SPILLS, COMPACTION OR DAMAGE AND TAKE CORRECTIVE ACTION IMMEDIATELY USING METHODS APPROVED BY THE OWNER'S REPRESENTATIVE.
- TREE BRANCHES THAT INTERFERE WITH THE CONSTRUCTION MAY BE TIED BACK OR PRUNED TO CLEAR ONLY TO THE POINT NECESSARY TO COMPLETE THE WORK. OTHER BRANCHES SHALL ONLY BE REMOVED WHEN SPECIFICALLY INDICATED BY THE OWNER'S REPRESENTATIVE. TYING BACK OR TRIMMING OF ALL BRANCHES AND THE CUTTING OF ROOTS SHALL BE IN ACCORDANCE WITH ACCEPTED ARBORICULTURAL PRACTICES (ANSI A300, PART 8) AND BE PERFORMED UNDER SUPERVISION OF AN ARBORIST.
- TRUNK PROTECTION ONLY WHERE FENCE IS NOT CONSTRUCTIBLE: PROTECT THE TRUNK OF EACH TREE TO REMAIN BY COVERING IT WITH A RING OF 8 FOOT LONG 2 INCH X 6 - INCH PLANKS LOOSELY BANDED ONTO THE TREE WITH 3 STEEL BANDS. STAPLE THE BANDS TO THE PLANKS AS NECESSARY TO HOLD THEM SECURELY IN PLACE THROUGHOUT THE CONSTRUCTION PERIOD. REMOVE TRUNK PROTECTION UPON SUBSTANTIAL COMPLETION.

TREE TRENCHING AND TUNNELING



TREE TRENCHING AND TUNNELING NOTES

- IN THE EVENT THAT CONSTRUCTION ACTIVITY IS UNAVOIDABLE WITHIN THE TREE AND PLANT PROTECTION AREA, NOTIFY THE OWNER'S REPRESENTATIVE AND SUBMIT A DETAILED WRITTEN PLAN OF ACTION FOR APPROVAL. THE PLAN SHALL INCLUDE: A STATEMENT DETAILING THE REASON FOR THE ACTIVITY INCLUDING WHY OTHER AREAS ARE NOT SUITED; A DESCRIPTION OF THE PROPOSED ACTIVITY; THE TIME PERIOD FOR THE ACTIVITY; AND A LIST OF REMEDIAL ACTIONS THAT WILL REDUCE THE IMPACT ON THE TREE AND PLANT PROTECTION AREA FROM THE ACTIVITY. REMEDIAL ACTIONS SHALL INCLUDE BUT SHALL NOT BE LIMITED TO THE FOLLOWING: IN GENERAL, DEMOLITION AND EXCAVATION WITHIN THE DRIP LINE OF TREES AND SHRUBS SHALL PROCEED WITH EXTREME CARE EITHER BY THE USE OF HAND TOOLS, DIRECTIONAL BORING AND OR AIR KNIFE EXCAVATION WHERE INDICATED OR WITH OTHER LOW IMPACT EQUIPMENT THAT WILL NOT CAUSE DAMAGE TO THE TREE, ROOTS OR SOIL.
- WHEN ENCOUNTERED, EXPOSED ROOTS, 1 INCHES AND LARGER IN DIAMETER SHALL BE WORKED AROUND IN A MANNER THAT DOES NOT BREAK THE OUTER LAYER OF THE ROOT SURFACE (BARK). THESE ROOTS SHALL BE COVERED IN WOOD CHIPS AND SHALL BE MAINTAINED ABOVE PERMANENT WILT POINT AT ALL TIMES. ROOTS ONE INCH AND LARGER IN DIAMETER SHALL NOT BE CUT WITH OUT THE APPROVAL OF THE OWNER'S REPRESENTATIVE. EXCAVATION SHALL BE TUNNELED UNDER THESE ROOTS WITHOUT CUTTING THEM. IN THE AREAS WHERE ROOTS ARE ENCOUNTERED, WORK SHALL BE PERFORMED AND SCHEDULED TO CLOSE EXCAVATIONS AS QUICKLY AS POSSIBLE OVER EXPOSED ROOTS.

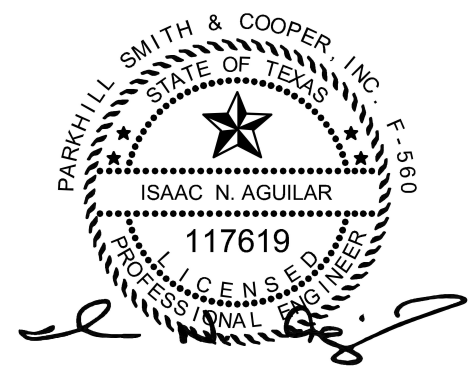
A1 TYPICAL TREE PROTECTION
 1/2" - 1'-0"

PLANT DET 6_REV

A:\2023\1187-22\03_DSGN01_DWG\060_LAND\03_SHEETS\LD502-1187.DWG, 11/6/2023 5:23 PM, ghufaker

GENERAL NOTES

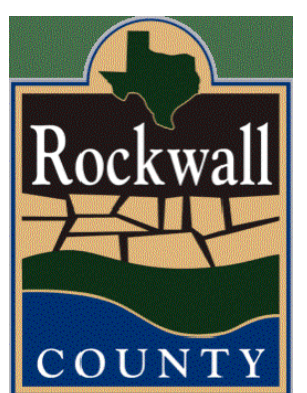
A. REFER TO CIVIL SITE PLAN FOR INFORMATION REQUIRED FOR SECTION 2.1 (PROVIDE SITE DATA TABLE)



10/20/2022

Parkhill.com

Rockwall County Annex



CLIENT
Rockwall County
1111 E Yellowjacket Lane
Rockwall, TX 75037

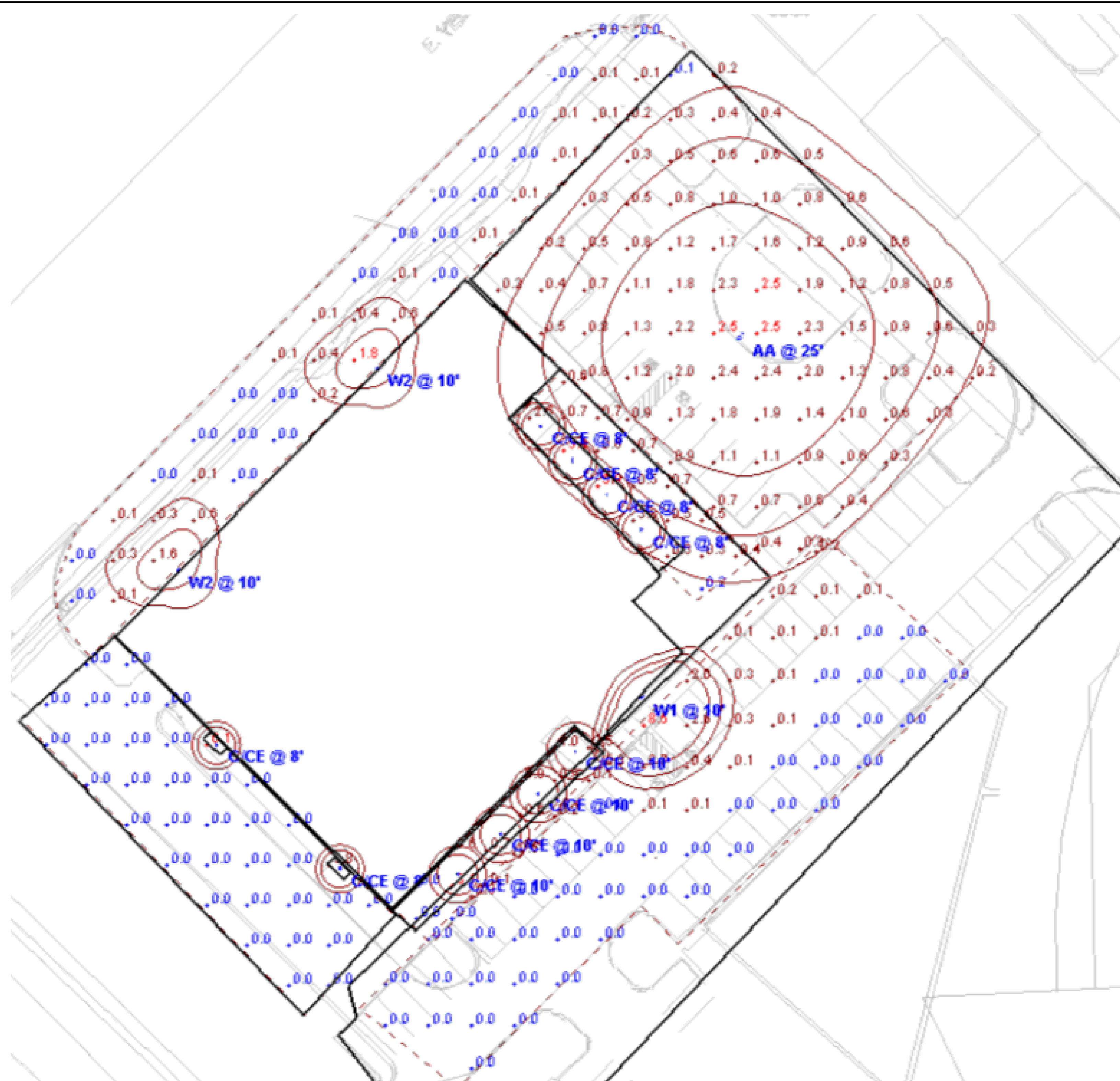
PROJECT NO.
11987.22

KEY PLAN
Lot 1, Block A, 12.79 Ac. Rockwall County Courthouse Addition
Plat Cabinet "H" Slide 131
Case Number: N/A
Proposed Land Use: Commercial

Designer Information:
Name: Parkhill
Address: 3000 Internet Blvd Suite 550, Frisco, Texas 75034
Phone Number: 972-987-1670

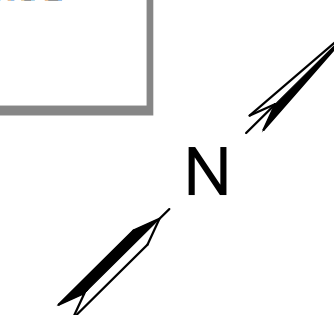
Owner Contact Information
Name: Rockwall County
Address: 101 East Rusk Street, Rockwall, Texas, 75087
Phone Number: 972-204-6000

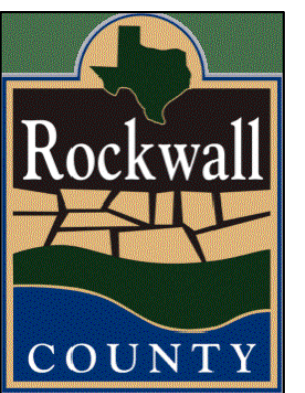
#	DATE	DESCRIPTION
1	10/20/2023	Site Plan Submittal



Statistics					
Description	Avg	Max	Min	Max/Min	Avg/Min
Existing Parking Lot	0.3 fc	8.5 fc	0.0 fc	N/A	N/A
New Parking Lot	1.0 fc	2.5 fc	0.1 fc	25.0:1	10.0:1
Existing Parking Lot Canopy	0.7 fc	3.1 fc	0.0 fc	N/A	N/A
FIRELANE ROAD	0.3 fc	6.1 fc	0.0 fc	N/A	N/A
Front Canopy	1.2 fc	3.9 fc	0.2 fc	19.5:1	6.0:1
Yellow Jacket Lane Sidewalk	0.2 fc	1.8 fc	0.0 fc	N/A	N/A

Wattage							
Symbol	Label	Catalog Number	Description	Lumens Per Lamp	Light Loss Factor	Manufacturer	Wattage
	W1	WST LED P3 40K VF MVOLT	WST LED, Performance package 3, 4000 K, visual comfort forward throw, MVOLT	6609	0.8	Lithonia Lighting	50
	AA	ESX1 LED P4 40K R5	ESX LED Area Luminaire Size 1 P4 Lumen Package 4000K CCT Type R5 Distribution	26273	0.8	Lithonia Lighting	189.98
	W2	WST LED P1 40K Mvlt	WPX1 LED wallpack 1500lm 4000K color temperature 120-277 Volts	1568	0.8	Lithonia Lighting	11.47
	C/CE	LDN6 40/07 LO6AR LD	6IN LDN, 4000K, 750LM, CLEAR, MATTE DIFFUSE REFLECTOR, CR180	679	0.8	Lithonia Lighting	8.91

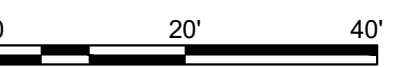
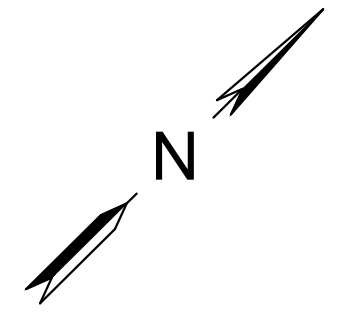




CLIENT
Rockwall County
 1111 E Yellowjacket Lane
 Rockwall, TX 75037

PROJECT NO.
 11987.22

KEY PLAN



#	DATE	DESCRIPTION
2	11/07/2023	Site Plan Re-Submittal #1
1	10/20/2023	Site Plan Submittal

Utility Plan CU101A

KEY NOTES

- AS INDICATED BY: (⊙)
- 16"x6" TAPPING SLEEVE AND VALVE
 - 8" X 6" TAPPING SLEEVE AND VALVE
 - 6" C-900 PVC WATER LINE
 - 6"x6" 90° BEND
 - 6"x6" TEE
 - 6" X 2 1/2" TEE
 - WATER METER
 - 6" GATE VALVE
 - 6" C-900 DR-14 PVC FIRE PROTECTION LINE
 - FIRE HYDRANT
 - 6" SDR-26 SANITARY SEWER LINE
 - 6" 45° BEND
 - CLEANOUT
 - 5' SANITARY SEWER MANHOLE
 - 12" HDPE STORM
 - X"X" JUNCTION BOX
 - 5' CURB INLET
 - POST INDICATOR VALVE - SEE DETAIL XXICU50X
 - WALL MOUNTED FIRE DEPARTMENT CONNECTION
 - 24" RCP STORM

UTILITY NOTES

- THE EXISTING UTILITIES, ABOVE GROUND AND UNDER GROUND, INDICATED ON THESE PLANS HAVE BEEN LOCATED FROM REFERENCE INFORMATION SUPPLIED BY OTHERS. VERIFY, BOTH HORIZONTALLY AND VERTICALLY, THE LOCATIONS OF ALL EXISTING UTILITIES, APPURTENANCES, OR OTHER FEATURES, PRIOR TO CONSTRUCTION. TAKE ALL NECESSARY PRECAUTIONS TO PROTECT ALL EXISTING UTILITIES, APPURTENANCES, AND ANY OTHER FEATURES ENCOUNTERED, AND NOTIFY THE ENGINEER PROMPTLY OF ANY CONFLICTS WITH THE WORK.
- REPAIR DAMAGE TO UTILITIES CAUSED BY CONTRACTOR, AT CONTRACTOR'S EXPENSE.
- PRIVATE FIRE HYDRANTS MUST BE COATED RED BY THE MANUFACTURER. PRESSURE INDICATOR RINGS ARE TO BE INSTALLED. THE DEVELOPER OR CONTRACTOR IS REQUIRED TO PAY FOR THE FLOW TEST TO DETERMINE THE PRESSURE.
- WATER LINE IS TO BE PVC C-900 DR-14 AFTER THE GATE VALVE HEADING TO THE FIRE HYDRANT OR FDC.
- COORDINATE FIRE LINE INSPECTIONS WITH THE FIRE MARSHAL'S OFFICE XXX-XXX-XXXX.
- FIELD VERIFY ALL DIMENSIONS AND GRADES TO CONFIRM POSITIVE FLOW OF ALL NEW AND EXISTING SANITARY SEWER LINES PRIOR TO CONSTRUCTION. NOTIFY THE ENGINEER OF ANY DISCREPANCIES WITH EXISTING OR NEW CONDITIONS.
- ALL WORK WITHIN THE PUBLIC RIGHT OF WAY SHALL CONFORM TO CITY OF ROCKWALL STANDARDS AND ALL APPLICABLE CODES.
- DRY UTILITY ONE LINES SHOWN IN RESPECTIVE DISCIPLINE DRAWINGS.

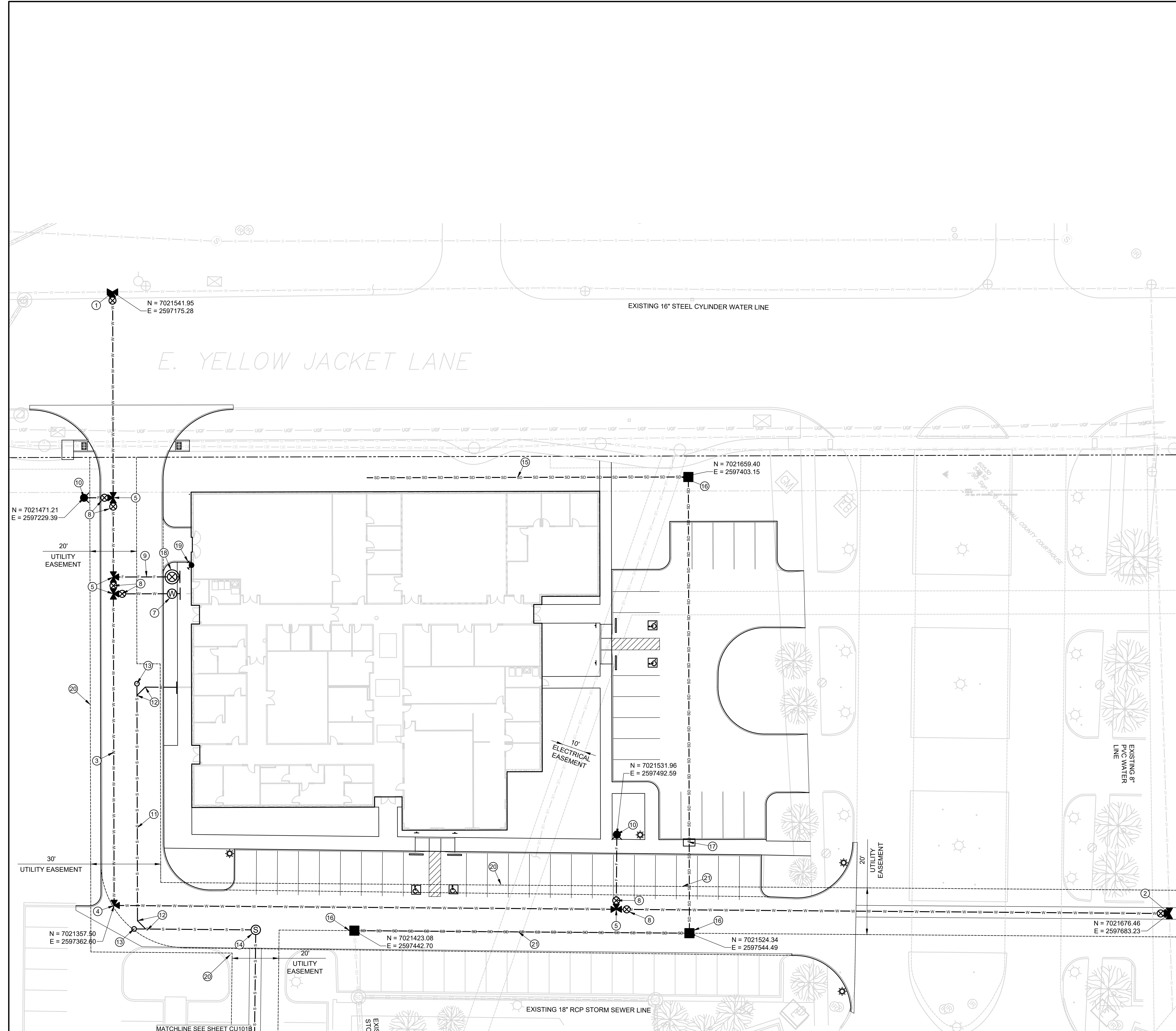
LEGEND

- PROPERTY LINE
- S-SO- EXISTING SANITARY SEWER LINE WITH MANHOLE
- W-W- EXISTING WATER LINE WITH VALVE
- ⊙ EXISTING FIRE HYDRANT
- SD-SO- EXISTING STORM SEWER LINE
- SD-SO- NEW STORM SEWER LINE
- G-G- NEW GAS LINE WITH METER
- T-T- NEW TELECOMMUNICATIONS LINE
- E-E- NEW ELECTRIC LINE
- W-W- NEW DOMESTIC WATER LINE WITH VALVE
- F-F- NEW PVC C900 DR-14 FIRE PROTECTION WATER LINE
- ⊙ NEW FIRE HYDRANT
- S-S- NEW SANITARY SEWER SERVICE LINE
- NEW UTILITY EASEMENT

SIGNATURE BLOCK

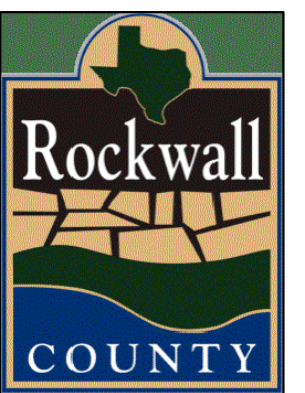
APPROVED:
 I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the ___ day of _____, 2023.
 WITNESS OUR HANDS, this ___ day of _____, 2023.

 Planning & Zoning Commission, Chairman Director of Planning and Zoning



A1 UTILITY PLAN 1" = 20'

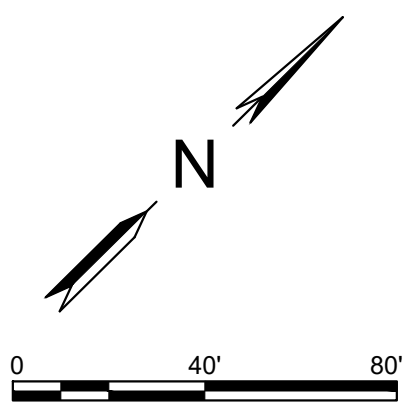
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CLIENT
Rockwall County
 1111 E Yellowjacket Lane
 Rockwall, TX 75037

PROJECT NO.
 11987.22

KEY PLAN



#	DATE	DESCRIPTION
2	11/07/2023	Site Plan Re-Submittal #1
1	10/20/2023	Site Plan Submittal

Utility Plan CU101B

KEY NOTES

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 - 6"x6" 90° BEND
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 - 6" 45° BEND
 - CLEANOUT
 - 5' SANITARY SEWER MANHOLE
 - X" HDPE STORM
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 - 10' CURB INLET

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- DRY UTILITY ONE LINES SHOWN IN RESPECTIVE DISCIPLINE DRAWINGS.

LEGEND

- PROPERTY LINE
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- w-w- EXISTING WATER LINE WITH VALVE
- ⊗ EXISTING FIRE HYDRANT
- sd-sd- EXISTING STORM SEWER LINE
- sd-sd- NEW STORM SEWER LINE
- g-g- NEW GAS LINE WITH METER
- t-t- NEW TELECOMMUNICATIONS LINE
- e-e- NEW ELECTRIC LINE
- w-w- NEW DOMESTIC WATER LINE WITH VALVE
- f-f- NEW PVC C900 DR-14 FIRE PROTECTION WATER LINE
- ⊗ NEW FIRE HYDRANT
- s-s- NEW SANITARY SEWER SERVICE LINE
- NEW UTILITY EASEMENT

EXISTING MANHOLE:
 RIM = 571.52
 FL W = 565.52
 FL SE = 563.87
 FL NE = 563.72

N = 7021262.13
 E = 2598069.43

SIGNATURE BLOCK

APPROVED:
 I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the ___ day of _____, 2023.
 WITNESS OUR HANDS, this ___ day of _____, 2023.

 Planning & Zoning Commission, Chairman

 Director of Planning and Zoning

A1 UTILITY PLAN

1" = 40'



CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION CASE MEMO

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Planning and Zoning Commission
DATE: November 14, 2023
APPLICANT: Leslie Ford; *Ofi Chito*
CASE NUMBER: SP2023-035; *Site Plan for McDonald's*

SUMMARY

Discuss and consider a request by Leslie Ford of Ofi Chito on behalf of Michael Hampton of Creekside Commons Crossing, LP for the approval of a Site Plan for a *Restaurant, Greater than 2,000 SF, with Drive-Through or Drive-In (i.e. McDonald's)* on a 1.251- acre tract of land identified as a portion of Lot 3 and all of Lot 2, Block A, Creekside Commons Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the SH-205 Overlay (SH-205 OV) District, generally located north of the northeast corner of the intersection of S. Goliad Street [SH-205] and FM-549, and take any action necessary.

BACKGROUND

On May 19, 1986, the subject property was annexed into the City of Rockwall by *Ordinance No. 86-37 [Case No A1986-005]*. On March 4, 2013, the City Council approved a zoning change from an Agricultural (AG) District to a Commercial (C) District [Case No. Z2013-002; *Ordinance No. 13-03*] for a 45.5601-acre tract of land. On June 7, 2021, the City Council approved a preliminary plat [Case No. P2021-027] for a 14-lot commercial development (*i.e. Lots 1-14, Block A, Creekside Commons Addition*), which includes the subject property. On November 7, 2022, the City Council approved a final plat that establish the subject property as a portion of Lot 3 and all of Lot 2, Block A, Creekside Commons Addition. The subject property has remained vacant since its annexation.

PURPOSE

On October 20, 2023, the applicant -- *Leslie Ford of Ofi Chito* -- submitted an application requesting the approval of a Site Plan for the purpose of constructing a *Restaurant, Greater than 2,000 SF, with Drive-Through or Drive-In* on the subject property.

ADJACENT LAND USES AND ACCESS

The subject property is generally located southeast of the intersection of S. Goliad Street [SH-205] and S. FM-549. The land uses adjacent to the subject property are as follows:

North: Directly north of the subject property is the remainder of the Creekside Commons Addition, which is zoned for Commercial (C) District land uses and is vacant. Beyond this is S. FM-549, which is identified as a *Minor Collector* on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Following this is Somerset Park Subdivision, which is a 309-lot single-family residential master planned community that is zoned Planned Development District 63 (PD-63) for Single-Family 10 (SF-10) land uses.

South: Directly south of the subject property a 1.50-acre parcel of land (*i.e. Lot 1, Block A, Creekside Commons Addition*), developed with a convenience store with gasoline sales (*i.e. 7-11*) that is zoned Commercial (C) District. Beyond this is S. Goliad Street [SH-205], which is identified as a P6D (*i.e. principal arterial, six [6] lane, divided roadway*) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Following this is a vacant 6.9998-acre tract of land (*i.e. Tract 10-1 of the W. W. Ford Survey, Abstract No. 80*) that is zoned General Retail (GR) District. Beyond this is S. FM-549, which is classified

as a A4D (i.e. major arterial, four [4] lane, divided roadway) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan.

East: Directly east of the subject property is remainder of the Creekside Commons Addition, which is zoned for Commercial (C) District land uses and is vacant. Adjacent to the property line of the Creekside Commons Addition is the corporate limits of the City of Rockwall, followed by an unincorporated area with single-family homes.

West: Directly west of the subject property is S. Goliad Street [SH-205], which is identified as a P6D (i.e. principal arterial, six [6] lane, divided roadway) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this is a 6.9998-acre vacant tract of land (i.e. Tract 10-01 of the W. W. Ford Survey, Abstract No. 80) that is zoned General Retail (GR) District. Beyond this is the Oaks of Buffalo Way Subdivision, which consists of 58 single-family residential lots on 109.57-acres that is zoned Single-Family Estate 1.5 (SFE-1.5) District.

DENSITY AND DIMENSIONAL REQUIREMENTS

According to Section 01, *Land Use Schedule*, of Article 04, *Permissible Uses*, of the Unified Development Code (UDC), a *Restaurant, Greater than 2,000 SF, with Drive-Through or Drive-In* is permitted *by-right* in a Commercial (C) District. The submitted site plan, landscape plan, photometric plan, and building elevations generally conform to the technical requirements contained within the Unified Development Code (UDC) for a property located within a Commercial (C) District with the exception of the item(s) noted in the *VariANCES and Exceptions Requested by the Applicant* section of this case memo. A summary of the density and dimensional requirements for the subject property are as follows:

<i>Ordinance Provisions</i>	<i>Zoning District Standards</i>	<i>Conformance to the Standards</i>
<i>Minimum Lot Area</i>	10,000 SF	X=1.251-acres; In Conformance
<i>Minimum Lot Frontage</i>	60-Feet	X= 202.06-feet; In Conformance
<i>Minimum Lot Depth</i>	100-Feet	X=269.59-feet; In Conformance
<i>Minimum Front Yard Setback</i>	15-Feet	X>15-feet; In Conformance
<i>Minimum Rear Yard Setback</i>	10-Feet	X>10-feet; In Conformance
<i>Minimum Side Yard Setback</i>	10-Feet	X>10-feet; In Conformance
<i>Maximum Building Height</i>	60-Feet	X=20.3-feet; In Conformance
<i>Max Building/Lot Coverage</i>	60%	X=8.01%; In Conformance
<i>Minimum Number of Parking Spaces</i>	1 Parking Space/100 SF (Restaurant) 44 Required Parking Spaces	X=45; In Conformance
<i>Minimum Landscaping Percentage</i>	20%	X=21.3%; In Conformance
<i>Maximum Impervious Coverage</i>	85-90%	X=78.7%; In Conformance

CONFORMANCE WITH THE CITY'S CODES

The applicant is requesting to construct a *Restaurant, Greater than 2,000 SF, with Drive-Through or Drive-In* on the subject property. According to Subsection 02.02(F)(29), *Restaurant with Drive Through or Drive-In*, of Article 13, *Definitions*, of the Unified Development Code (UDC), a *Restaurant with Drive Through or Drive-In* is defined as “(a) place of business whose primary source of revenue is derived from the sale of prepared food to the general public for consumption on-premise or off-premises and/or in a personal vehicle or where facilities are provided on the premises that encourages the serving and consumption of food in a personal vehicle on or near the restaurant premises.” In this case, the applicant’s proposed use falls under this classification, which is permitted *by-right* within a Commercial (C) District. When reviewing the proposed site plan against these standards, it appears to generally conform with the exception of the variance(s) and exception(s) being requested as outlined in the *VariANCES and Exceptions Requested by the Applicant* section of this case memo.

VARIANCES AND EXCEPTIONS BY THE APPLICANT

As stated above, the applicant’s request conforms to the majority of the City’s codes; however, staff has identified the following variance(s) and exception(s):

- (1) Architectural Standards.

- (a) Four-Sided Architecture. According to Subsection 06.02(C)(5), of Article 05, of the *General Overlay District Development Standards* of the Unified Development Code (UDC), “(a)ll buildings shall be architecturally finished on all four (4) sides utilizing the same materials, detailing, articulation and features. In this case, the proposed building does not meet the primary articulation standards. This will require a *variance* from the Planning and Zoning Commission.
- (b) Roof Design. According to Subsection 06.02(C)(1), *General Overlay District Standards*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC), “(a)ll structures that have a building footprint of less than 6,000 SF shall be constructed with a pitched roof.” In this case, the proposed building is less than 6,000 SF and utilizing a parapet system. This will require a *variance* from the Planning and Zoning Commission.

According to Subsection 09, *Exceptions and Variances*, of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC), “...an applicant may request the Planning and Zoning Commission grant variances and exceptions to the provisions contained in the Unified Development Code (UDC), where unique or extraordinary conditions exist or where strict adherence to the technical requirements of the Unified Development Code (UDC) would create an undue hardship.” In addition, the code requires that the applicant provide compensatory measures that directly offset the requested variances and exceptions. The applicant has indicated the following as compensatory measures: [1] increased masonry and stone percentages (*i.e. stone percentages that are 14.44% - 21.48% over the required 20.00% and masonry percentages that are up to ten [10.00%] percent over the required 90.00%*), [2] increased architectural elements (*i.e. spandrel glass, awnings, and cornice*) -- *staff should note that this is not a compensatory measure because it is required by the General Overlay District Standards* --, [3] increased landscape percentage (*i.e. 1.30% more than is required*), and [4] a bench and planters. Requests for exceptions and variances to the Unified Development Code (UDC) are discretionary decisions for the Planning and Zoning Commission. Staff should note that a supermajority vote (*e.g. six [6] out of the seven [7] commissioners*) -- *with a minimum of four (4) votes in the affirmative* -- is required for the approval of a variance or exception.

CONFORMANCE WITH OURHOMETOWN VISION 2040 COMPREHENSIVE PLAN

According to the Future Land Use Plan contained in the OURHometown Vision 2040 Comprehensive Plan, the subject property is situated within the South Central Residential District and is designated for Commercial land uses. According to the *District Strategies* this land use designation should “... support the existing and proposed residential developments and should be compatible in scale with the adjacent residential structures.” In this case, the applicant is proposing a *Restaurant, Greater than 2,000 SF, with Drive-Through or Drive-In*. Based on this, the applicant’s land use appears to conform with the Comprehensive Plan; however, Chapter 09, *Non-Residential*, of the OURHometown Vision 2040 Comprehensive Plan states as one (1) of the architectural policies the community should “... encourage high quality and inspiring architecture throughout the City...” More specifically the OURHometown Vision 2040 Comprehensive Plan states that “(l)ong, blank wall facades on all nonresidential buildings should be subdivided with vertical breaks -- or “*articulated*” in architectural terms --, and architectural elements should be incorporated to reflect a scale and rhythm that is more traditional of a small-town.” In this case, the applicant is requesting exceptions to the building articulation requirements. These exceptions appear to conflict with the goals for non-residential buildings contained in the Comprehensive Plan. Based on this the applicant’s proposal does not appear to meet the vision of the Comprehensive Plan.

ARCHITECTURAL REVIEW BOARD (ARB) RECOMMENDATION

On November 1, 2023 the Architecture Review Board (ARB) reviewed the building elevations provided by the applicant. The ARB requested the applicant provide a material sample board, to match the materials of the adjacent building, and increase the building articulation. The applicant has provided the material sample board and generally matched the materials of the adjacent building; however, the building articulation does not meet the requirements of the *General Commercial District Standards* and the *General Overlay District Standards*. This will be reviewed by the ARB prior to the November 14, 2023 meeting.

CONDITIONS OF APPROVAL

If the Planning and Zoning Commission chooses to approve the applicant's Site Plan for the construction of a *Restaurant, Greater than 2,000 SF, with Drive-Through or Drive-In* on the *subject property*, then staff would propose the following conditions of approval:

- (1) All staff comments provided by the Planning, Engineering and Fire Department must be addressed prior to the submittal of engineering plans.

- (2) Any construction resulting from the approval of this Site Plan shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. _____

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹
- REPLAT (\$300.00 + \$20.00 ACRE) ¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) ¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ^{1&2}
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) ²

NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.
²: A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS	To Be Assigned			
SUBDIVISION	Creekside Commons	LOT	BLOCK	A
GENERAL LOCATION	NWC of State Hwy 205 FM 549			

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING	C - Commercial District in SH205 Overlay District	CURRENT USE	Vacant		
PROPOSED ZONING	No change to base zoning designation requested.	PROPOSED USE	McDonald's Restaurant with Drive-Through		
ACREAGE		LOTS [CURRENT]	1	LOTS [PROPOSED]	1

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

<input checked="" type="checkbox"/> OWNER	Creekside Commons Crossing, LP	<input type="checkbox"/> APPLICANT	Ofi Chito
CONTACT PERSON	Michael Hampton, Vice President	CONTACT PERSON	Leslie Ford
ADDRESS	10755 Sandhill Road	ADDRESS	3224 Collinsworth Street
CITY, STATE & ZIP	Dallas, Texas 75238	CITY, STATE & ZIP	Fort Worth, TX 76107
PHONE	214-271-4630	PHONE	325-370-9965
E-MAIL	mhampton@prudentdevelopment.com	E-MAIL	leslie@ofchito.com

NOTARY VERIFICATION [REQUIRED]

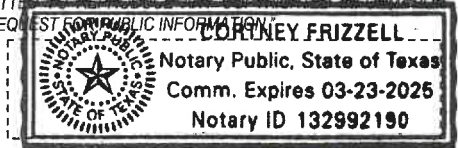
BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Michael Hampton [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$270.00 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 10th DAY OF October, 2023 BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 10th DAY OF October, 2023

OWNER'S SIGNATURE: [Signature]

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS: [Signature]



MY COMMISSION EXPIRES 03-23-2025



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. _____

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹
- REPLAT (\$300.00 + \$20.00 ACRE) ¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) ¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ^{1&2}
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OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) ²

NOTES:

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PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS	To Be Assigned			
SUBDIVISION	Creekside Commons	LOT	BLOCK	A
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OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

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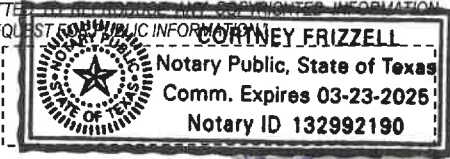
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OWNER'S SIGNATURE: [Signature]

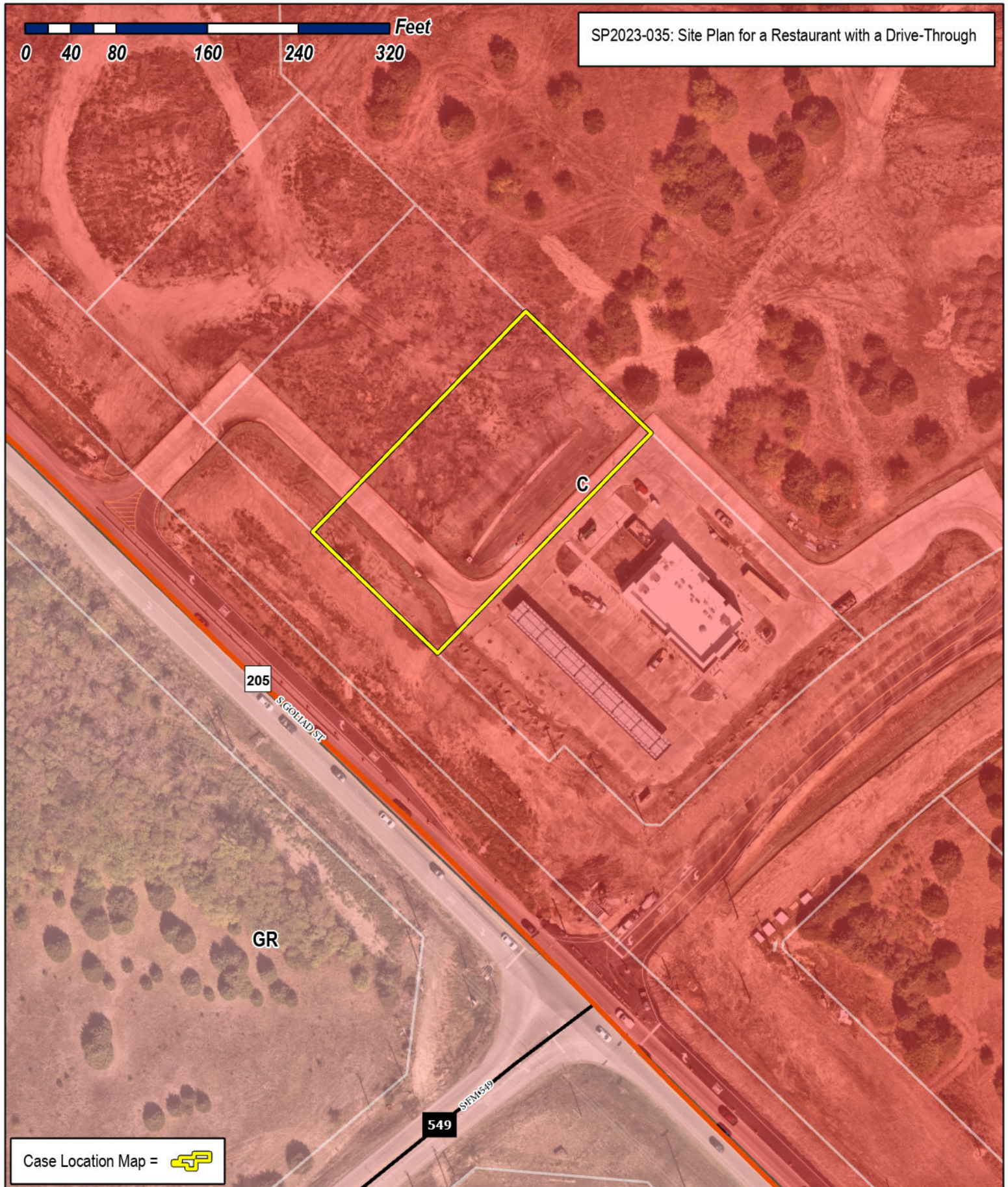
NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS: [Signature]




MY COMMISSION EXPIRES 03-23-2025

0 40 80 160 240 320 Feet

SP2023-035: Site Plan for a Restaurant with a Drive-Through



Case Location Map = 



City of Rockwall

Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75087
 (P): (972) 771-7745
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





November 9, 2023

City of Rockwall
Planning and Zoning
385 S Goliad Street
Rockwall, TX 75087

RE: McDonald's Variance – 550 FM 549, Rockwall, TX 75032

McDonald's is requesting a variance to the building articulation requirements as outlined in Subsection 04.01 of Article 05 of the City of Rockwall UDC. The ordinance requires that a five foot wall projection be added to the east and west sides of the building and this creates a hardship for this project due to the site size. To keep the aisle widths and turning radii required by the City of Rockwall Engineering Department, the building cannot project out any further than currently shown.

Attempts have been made to meet the intent of the ordinance by raising portions of the exterior walls three feet and bringing them out six additional inches from the adjacent wall portions. The building materials have been chosen to complement the nearby 7-11 and create a sense of cohesion and elevated finish design for the retail area. We have also added the following compensatory measures to our building and site to meet the requirements of the variance request:

1. Increased masonry percentages: the building will be over 93% masonry through a mix of brick and natural limestone.
2. The building exterior will be comprised of 39.49% natural limestone, significantly in excess of the 20% requirement.
3. Many architectural elements have been added to the building, including awnings over many windows and doors, a large section of spandrel glass between the drive-thru windows, and a cornice line around the top of the entire building.
4. The site has increased landscaping percentages above and beyond the requirements set forth in each portion of Section 5.03 of the Rockwall development code. We have also added an outdoor bench and planters to create additional interest in the area immediately surrounding the building.

Please feel free to contact me with any questions or concerns.

Thank you for reviewing our request,

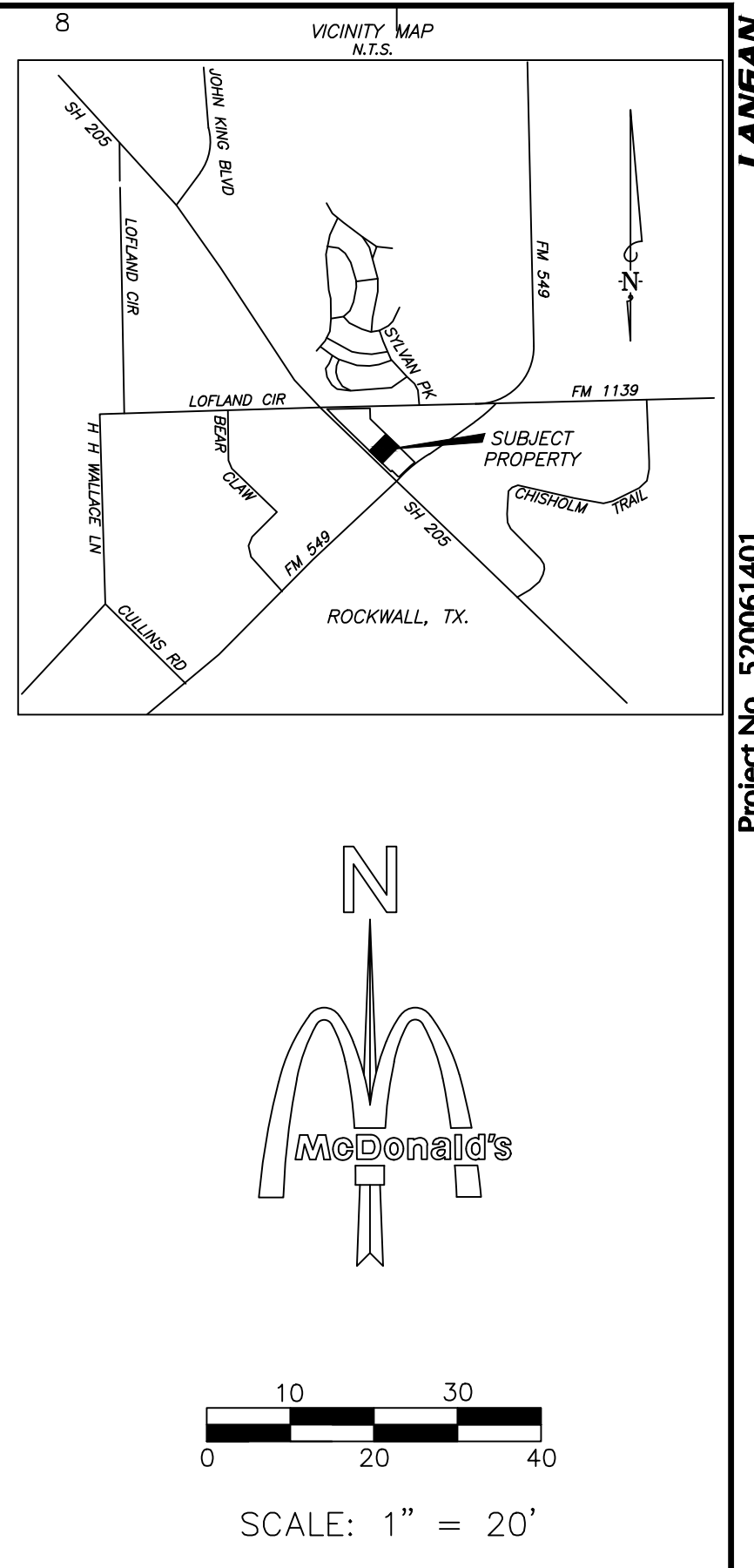
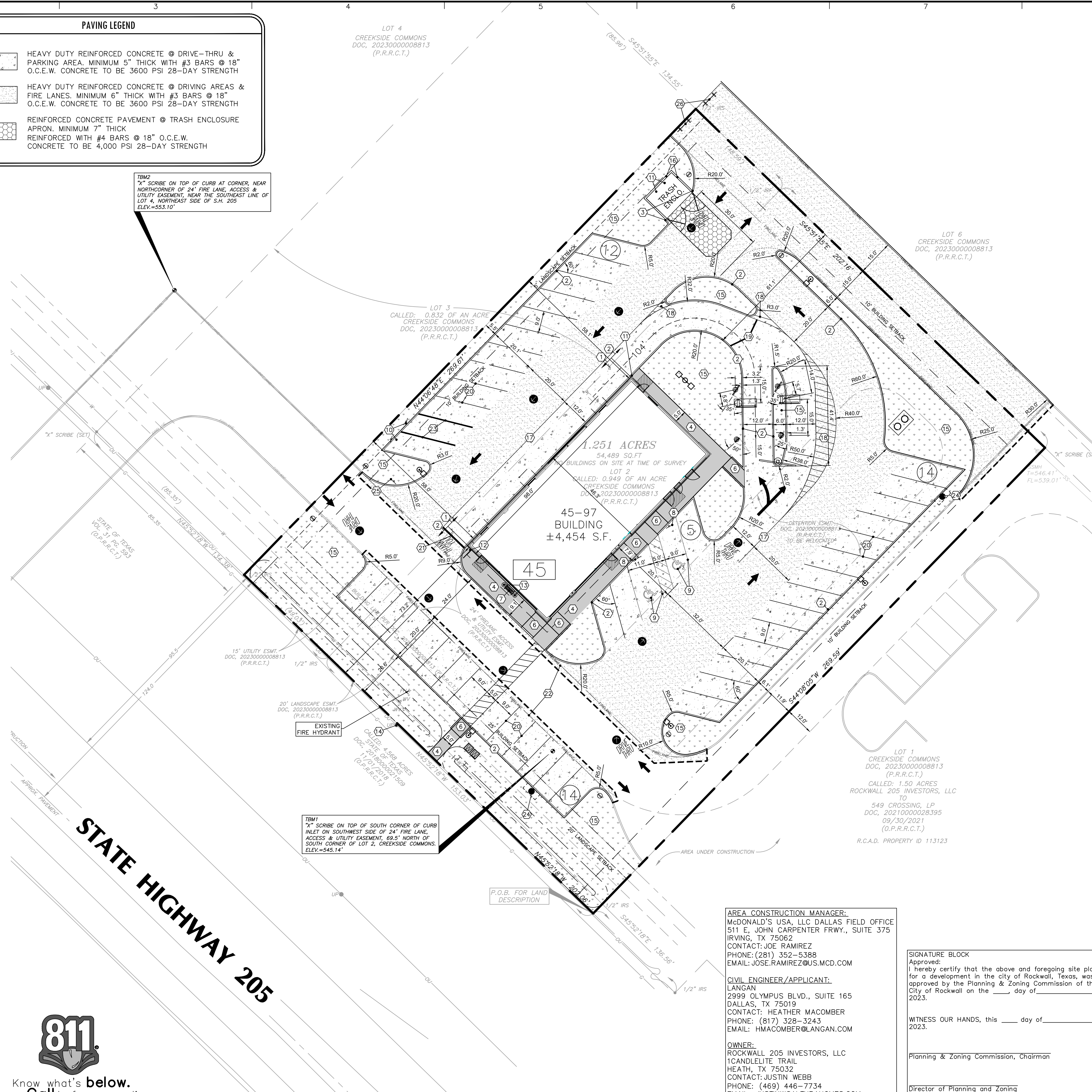
Leslie Ford
Entitlements Consultant
Ofi Chito, LLC
325-370-9965
leslie@ofichito.com

LEGEND	
LIGHT STANDARD (15' CLEAR FROM ALL OVERHEAD UTILITY LINES) (24" CLEAR FROM BACK OF CURB)	
MCDONALD'S DIGITAL MENU BOARD	
MCDONALD'S ORDER HERE CANOPY	
MCDONALD'S DIGITAL PRE-BROWSE BOARD	
MCDONALD'S DOUBLE GATEWAY	
MCDONALD'S DIRECTIONAL SIGN	
DETECTOR LOOP (LOCATION TO BE APPROVED BY MCDONALD'S) (RE: C10.0 STANDARD DETAILS)	
"DRIVE-THRU" WITH "CIRCLE / ARROW" - COLOR: YELLOW	
PAINTED "STOP" AND 12" STOP BAR WITH "STOP" SIGN - COLOR: YELLOW *	
"THANK YOU" AT END OF PATH - COLOR: YELLOW	
"CIRCLE / ARROW" - COLOR: YELLOW	
ARROW PATH DIRECTION - COLOR: WHITE	
STRAIGHT DRIVE-THRU "ARROW MARKING" - COLOR: YELLOW	

PAVING LEGEND	
	HEAVY DUTY REINFORCED CONCRETE @ DRIVE-THRU & PARKING AREA. MINIMUM 5" THICK WITH #3 BARS @ 18" O.C.E.W. CONCRETE TO BE 3600 PSI 28-DAY STRENGTH
	HEAVY DUTY REINFORCED CONCRETE @ DRIVING AREAS & FIRE LANES. MINIMUM 6" THICK WITH #3 BARS @ 18" O.C.E.W. CONCRETE TO BE 3600 PSI 28-DAY STRENGTH
	REINFORCED CONCRETE PAVEMENT @ TRASH ENCLOSURE APRON. MINIMUM 7" THICK REINFORCED WITH #4 BARS @ 18" O.C.E.W. CONCRETE TO BE 4,000 PSI 28-DAY STRENGTH

KEY NOTE LEGEND	
MARK	MARK DESCRIPTION
①	CONCRETE VERTICAL CURB @ DRIVE-THRU (RE: C10.2 STANDARD DETAILS)
②	CURB AND GUTTER @ NON DRIVE-THRU AREAS (RE: C10.2 STANDARD DETAILS)
③	TURN DOWN CURB (RE: C10.3 STANDARD DETAILS)
④	REINFORCED CONCRETE SIDEWALK (RE: C10.3 STANDARD DETAILS)
⑤	NOT USED
⑥	H.C. ACCESS RAMP @ 1:12 MAX SLOPE (RE: C10.1 STANDARD DETAILS)
⑦	BENCH (G.C. TO COORDINATE WITH O/O & ACM)
⑧	HANDICAP ACCESSIBLE SIGN (POLE MOUNTED) (RE: C10.1 STANDARD DETAILS)
⑨	HANDICAP ACCESSIBLE SPACES / SYMBOLS / CROSSWALK - COLOR: (RE: C10.1 STANDARD DETAILS)
⑩	MCDONALD'S OOSP, MOBILE & ROLL FORWARD SIGNS (RE: C10.4 STANDARD DETAILS)
⑪	BOLLARD (RE: C10.0 STANDARD DETAILS)
⑫	5' GUARDRAIL @ INGRESS/EGRESS DOOR (RE: C10.1 STANDARD DETAILS)
⑬	PLANTERS (G.C. TO COORDINATE WITH O/O & ACM)
⑭	POLE MOUNTED TRANSFORMER (RE: C9.0 UTILITY PLAN)
⑮	LANDSCAPE FINISH GRADE 1" BELOW TOP OF CURB IN ALL LAWN AREAS AND 2" BELOW TOP OF CURB IN ALL BED AREAS
⑯	8' TALL MASONRY SCREENING WALL (RE: ARCHITECTURAL PLANS)
⑰	6" DRIVE-THRU STRIPING - COLOR: YELLOW
⑱	4" DIAGONAL PAINTED ISLANDS AT DRIVE-THRU - COLOR: YELLOW
⑲	6" MERGE POINT - COLOR: YELLOW
⑳	4" PARKING STALL STRIPING - COLOR: WHITE (TYP)
㉑	8" OOSP STRIPING - COLOR: YELLOW
㉒	FIRE LANE STRIPING PER CITY OF ROCKWALL FIRE CODE STANDARDS
㉓	4" OOSP & MOBILE PICK-UP STRIPING - COLOR: YELLOW
㉔	DRAINAGE STRUCTURE (RE: C8.1 POST DEVELOPED DRAINAGE PLAN)
㉕	DO NOT ENTER SIGN
㉖	TYPE III BARRICADE (PER MUTCD STANDARDS)

SITE INFORMATION	
LAND AREA:	54,489 SF (1.251 AC)
CURRENT ZONING:	C-COMMERCIAL DISTRICT (SH205 OVERLAY DISTRICT)
EXISTING USE:	VACANT LOT
PROPOSED USE:	MCDONALD'S RESTAURANT W/DRIVE-THRU
BUILDING AREA (APPROXIMATE):	4,454 GFA
BUILDING LOT COVERAGE:	4,454 SF/54,489 SF = 8.17%
PARKING CALCULATIONS:	1 SPACE PER 100 SF
PARKING SPACES REQUIRED:	44
PARKING SPACES PROVIDED:	45
HANDICAP PARKING REQUIRED:	2
HANDICAP PARKING PROVIDED:	2
LANDSCAPE SETBACK:	20' FRONT; 5' REAR & SIDE
BUILDING SETBACK:	25' FRONT; 10' SIDES & REAR
EXISTING IMPERVIOUS AREAS:	13.9% (7,592 SF)
PROPOSED IMPERVIOUS AREAS:	64.0% (34,835 SF)
PROPOSED LANDSCAPE PERCENTAGE:	22.1% (12,062 SF)



Date	Description	No.
Revisions		
<p>These drawings and specifications are the confidential and proprietary property of McDonald's USA, LLC and shall not be copied or reproduced without written authorization. The contract documents were prepared for use on this specific site in conjunction with its issue date and are not suitable for use on a different site or at a later time. Use of these drawings for reference or example on another project requires the services of properly licensed architects and engineers. Reproduction of the contract documents for reuse on another project is not authorized.</p>		
<p>LANGAN Langan Engineering and Environmental Services, Inc. 2999 Olympus Blvd, Suite 165 Dallas, TX 75019 T: 817.328.3200 www.langan.com TXBPE FIRM REG. #F-17079</p>		

Project
McDonald's Restaurant
L/C #042-3426 (NSN 41096)
NWC S.H. 205 & FM 549
PROPOSED LOT 2R, BLOCK A,
CREEKSIDE COMMONS
ROCKWALL

ROCKWALL COUNTY TEXAS
Drawing Title

SITE PLAN

Project No. 520061401	Drawing No. C4.0
Date 11/09/2023	
Drawn By MNK	
Checked By HJM	

Sheet 6 of 21

AREA CONSTRUCTION MANAGER:
MCDONALD'S USA, LLC DALLAS FIELD OFFICE
511 E. JOHN CARPENTER FRWY., SUITE 375
IRVING, TX 75062
CONTACT: JOE RAMIREZ
PHONE: (281) 352-5388
EMAIL: JOSE.RAMIREZ@US.MCD.COM

CIVIL ENGINEER/APPLICANT:
LANGAN
2999 OLYMPUS BLVD., SUITE 165
DALLAS, TX 75019
CONTACT: HEATHER MACOMBER
PHONE: (817) 328-3243
EMAIL: HMACOMBER@LANGAN.COM

OWNER:
ROCKWALL 205 INVESTORS, LLC
1CANDLELITE TRAIL
HEATH, TX 75032
CONTACT: JUSTIN WEBB
PHONE: (469) 446-7734
EMAIL: JUSTINW@ALTURAHOMES.COM

SIGNATURE BLOCK
Approved:
I hereby certify that the above and foregoing site plan for a development in the city of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the ____ day of ____ 2023.

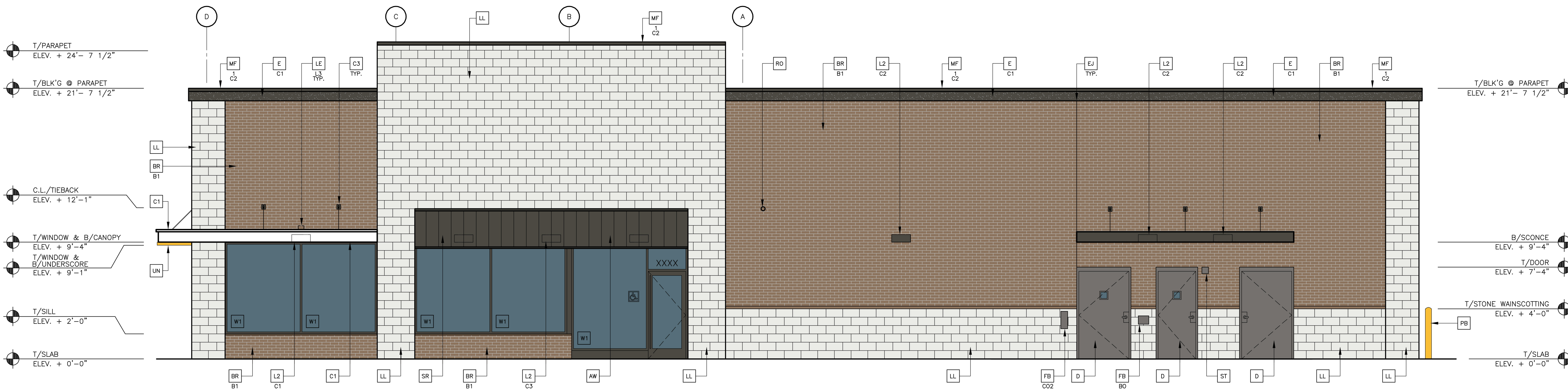
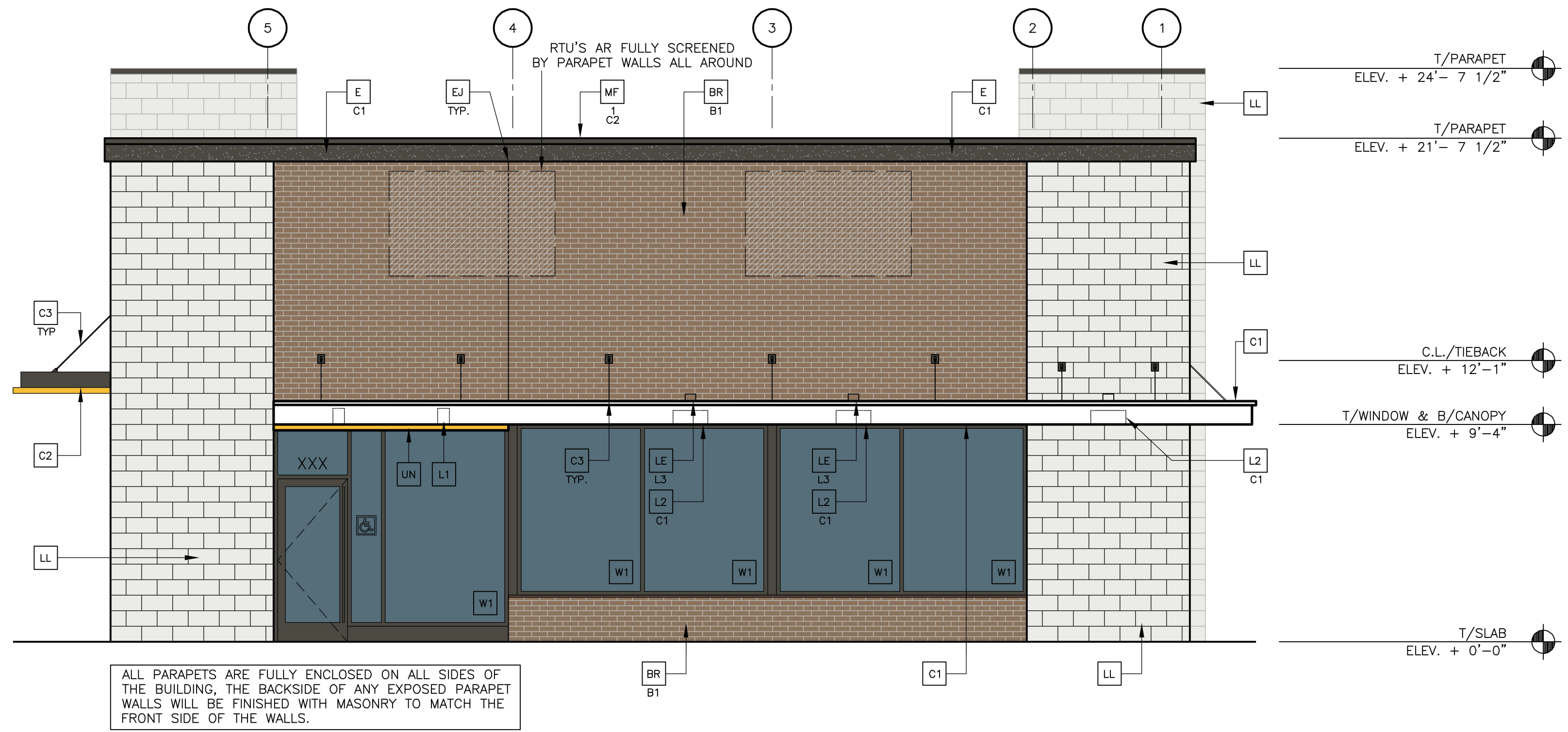
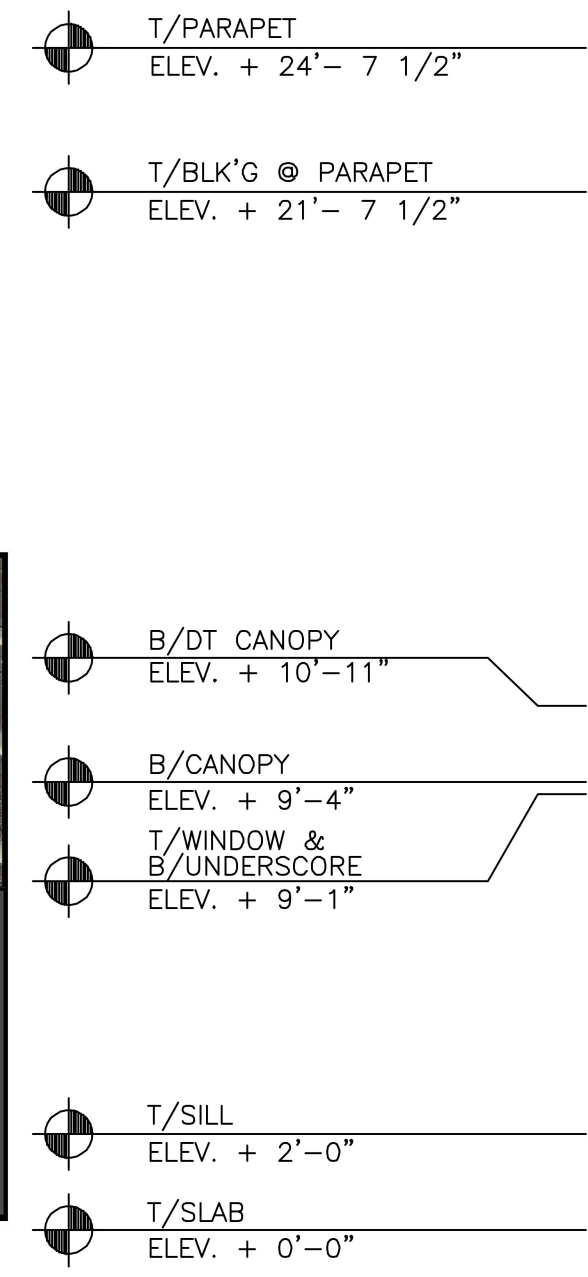
Witness Our Hands, this ____ day of ____ 2023.

Planning & Zoning Commission, Chairman

Director of Planning and Zoning



Materials	South Elevation		East Elevation		West Elevation		North Elevation		Totals	
	SF	%	SF	%	SF	%	SF	%	SF	%
Brick	410	55.03%	1,022	54.77%	924	48.71%	588	60.81%	2,944	53.77%
Limestone	289	38.79%	774	41.48%	766	40.38%	333	34.44%	2,162	39.49%
Stucco	46	6.17%	70	3.75%	70	3.69%	46	4.76%	232	4.24%
Metal Paneling	0	0.00%	0	0.00%	137	7.22%	0	0.00%	137	2.50%
Totals (Excluding Glazing)	745	100%	1,866	100%	1,897	100%	967	100%	5,475	100%



KEY NOTES:

- AP APOLIC METAL PANEL (COLOR: RAL 7022)
- BR MODULAR FACE BRICK COLOR: B1 = "MUSHROOM BROWN" BY ACME BRICK COMPANY (MORTAR TO BE LIGHT BUFF TO MATCH LIMESTONE) B2 = "EBONY" SMOOTH BY ACME BRICK COMPANY (MORTAR TO MATCH BRICK COLOR AS MUCH AS POSSIBLE)
- C1 ALUMINUM CANOPY SYSTEM W/FASCIA COLOR: WHITE
- C2 ALUMINUM CANOPY SYSTEM COLOR: RAL 7022
- AW METAL AWNINGS WITH ALUMINUM SUPPORT BRACKETS, BY CANOPY VENDOR (COLOR DARK BRONZE)
- SR 12" STANDING SEAM METAL SLOPED ROOF OVER METAL AWNING FRAME (COLOR DARK BRONZE)
- C3 ALUMINUM CANOPY TIEBACK COLOR: RAL 7022 GC TO PROVIDE CONTINUOUS BLOCKING ON WALL BEHIND TIEBACKS, WHEN TIEBACKS ARE INSTALLED ON METAL PANELING. SEE DETAIL 3/A5.0
- EJ EXPANSION JOINT, SEE DETAIL 7/A4.1
- FB CO2 = BULK CO2 FILL BOX (EQPM SCHEDULE ITEM 49.00) BO = BULK OIL FILL BOX (EQPM SCHEDULE ITEM 700.18)
- D HOLLOW METAL DOOR PAINT: "GAUNTLET GREY" SW7019 BY SHERWIN WILLIAMS
- DE DECAL BY GRAPHICS SUPPLIER SURFACE APPLIED, FIELD INSTALLED, PRE CUT, PRE SPACED. SUPPLIERS: VOMELA (865) 330-7337, ann.bowen@vomela.com GEX INTERNATIONAL (847) 543-4600, mcdonaldsdecor@gfxi.com
- LL LIMESTONE BY SALADO LIMESTONE (ARCHITECTURAL CUT) COLOR: LINEN (RUNNING BOND) SIZE: 8"X16"X4" FINISH: SMOOTH
- OR GUARD RAIL -SEE SITE PLAN FOR EXACT LOCATION AND LENGTH USE STAINLESS STEEL OR GALVANIZED STEEL
- L1 RECESSED DOWN LIGHT FIXTURE - SEE ELECTRICAL COLOR: GOLD
- W1 EXTERIOR WINDOW ASSEMBLY - TEMPERED GLASS COLOR: EXTRA DARK BRONZE
- W2 DRIVE-THRU WINDOW BY READY ACCESS MODEL: 600 SERIES, 36" SERVICE HEIGHT WITH TRANSOM, MANUAL OPEN; ELECTRONIC RELEASE COLOR: DEEP BRONZE
- XX SLIDE DIRECTION: RL = RIGHT TO LEFT LR = LEFT TO RIGHT
- L2 RADIAL SCENCE LIGHT FIXTURE - SEE ELECTRICAL C1-COLOR: C1 = WHITE C2 = PLATINUM SILVER C3 = DARK BRONZE
- LE ACCENT LIGHTING - SEE ELECTRICAL L1-LED LIGHT: L1 = SLIM LED (DOWN ONLY) L2 = INTEGRAL CANOPY FIXTURE L3 = UP ONLY FLOOD FIXTURE
- MF METAL FASCIA C1-TYPE: 1 = PRE-FAB ANCHOR-TITE FASCIA 2 = BOTTOM TRIM AT METAL REVEAL PANEL 3 = VERTICAL TRIM AT METAL REVEAL PANEL CORNERS, CLOSURES COLOR: C1 = WEATHERED ZINC C2 = RAL 7022
- PB PIPE BOLLARD - PAINTED YELLOW
- PT (RMHC) COIN COLLECTOR MODEL: #WPT STD. CALL 1-888-743-7435 TO ORDER
- RO ROOF DRAIN OVERFLOW PIPE PAINT TO MATCH SURROUNDING MATERIAL
- S MCDONALD'S SIGNAGE BY OTHERS - UNDER SEPARATE PERMIT. C1-COLOR: C1 = WEATHERED ZINC RACEWAY C2 = RAL 7022 RACEWAY
- ST CO2 STROBE/ALARM, SEE MECHANICAL DRAWINGS FOR SPECIFICATION.
- UN METAL UNDERSCORE COLOR: GOLD
- E 7/8" 3-COAT STUCCO SYSTEM, REF WALL ASSEMBLY NOTES C1-"IRON ORE" SW 7069 BY SHERWIN WILLIAMS

REQUIRED ARCHITECTURAL ELEMENTS:

- CANOPIES, AWNINGS OR PORTICOS (AWNINGS & CANOPIES PROVIDED)
 - ARTICULATED GROUND FLOOR LEVELS OR BASES (STONE BASE PROVIDED)
 - ARTICULATED CORNICE LINE (PROVIDED)
 - DISPLAY WINDOWS (PROVIDED)
- GENERAL OVERLAY DISTRICT STANDARDS:**
- INCREASED LANDSCAPING (PROVIDED REF CIVIL PACKAGE)
 - MASONRY BUILDING PERCENTAGES (97.50% PROVIDED)
 - INCLUSION OF NATURAL/CULTURED STONE (39.49% PROVIDED)
 - VERTICAL ARTICULATION PROVIDED ON EAST/WEST ELEVATIONS

PREPARED BY: **JAW** SHERWIN WILLIAMS ARCHITECT

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McDonald's USA, LLC

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DRAWN BY: JAW
STD ISSUE DATE: 2023
REVIEWED BY: JAW
DATE ISSUED: 10/06/2023
SITE ADDRESS: 042-3426 NMC OF STATE HWY 205 & FM 549, ROCKWALL TEXAS

TITLE: 2023 CUSTOM BUILDING DESIGN 4597-WOOD/WOOD
DESCRIPTION: WOOD BEARING WALLS W/4" BRICK VENEER WOOD ROOF TRUSS FRAMING STONE/BATTEN/BRICK EXTERIOR FINISH

SHEET NO: **A2.0**
ELEVATIONS

CASE #SP2023-035

JAW 23-0038

PLANNING DEPARTMENT COMMENTS

11/09/2023

REV. DATE DESCRIPTION



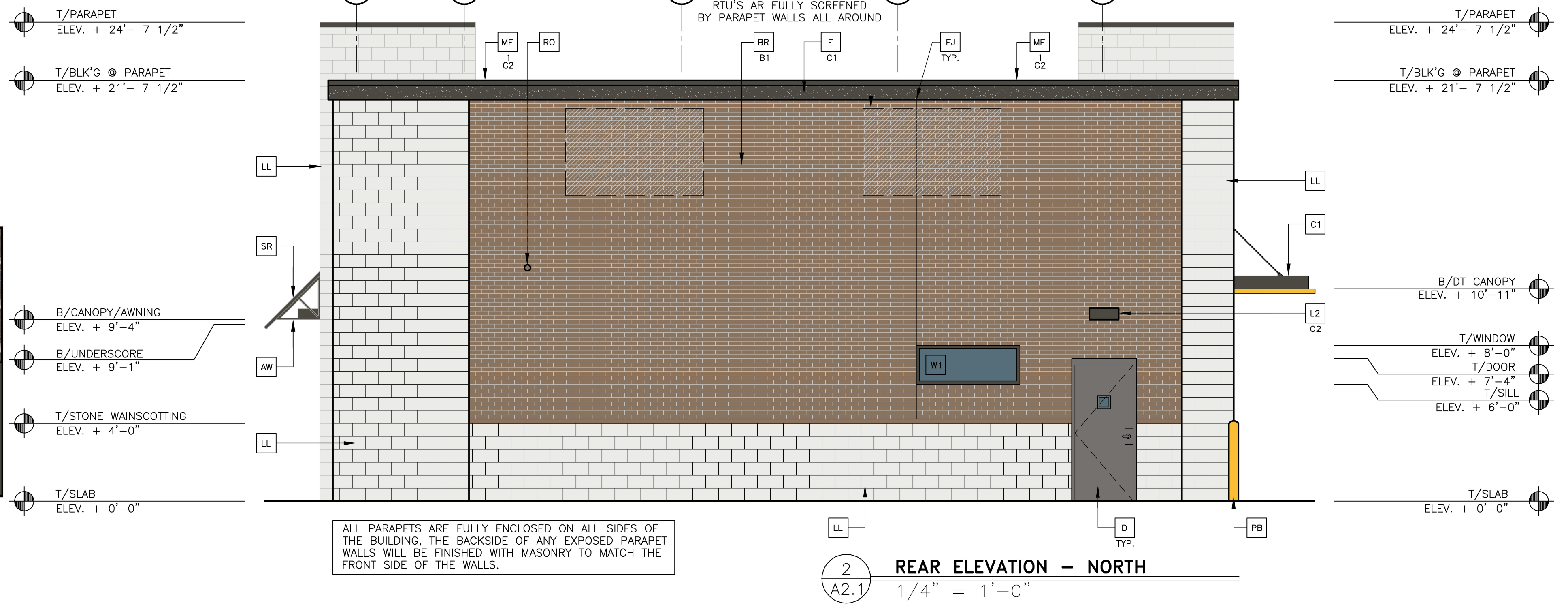
1 DRIVE THRU ELEVATION - WEST
1/4" = 1'-0"

Materials	South Elevation		East Elevation		West Elevation		North Elevation		Totals	
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Stucco	46	6.17%	70	3.75%	70	3.69%	46	4.76%	232	4.24%
Metal Paneling	0	0.00%	0	0.00%	137	7.22%	0	0.00%	137	2.50%
Totals (Excluding Glazing)	745	100%	1,866	100%	1,897	100%	967	100%	5,475	100%

B1 - BRICK "MUSHROOM BROWN" **LL - LIMESTONE "LINEN"** **B2 - BRICK "EBONY"**

CN - ALUM CANOPY WHITE **E - STUCCO "IRON SPOT"** **AP - APOLIC METAL PANELS**

UN - UNDERScore YELLOW



2 REAR ELEVATION - NORTH
1/4" = 1'-0"

ALL PARAPETS ARE FULLY ENCLOSED ON ALL SIDES OF THE BUILDING. THE BACKSIDE OF ANY EXPOSED PARAPET WALLS WILL BE FINISHED WITH MASONRY TO MATCH THE FRONT SIDE OF THE WALLS.

KEY NOTES:

- AP ALPOLIC METAL PANEL (COLOR: RAL 7022)
- BR MODULAR FACE BRICK COLOR: B1 = "MUSHROOM BROWN" BY ACME BRICK COMPANY (MORTAR TO BE LIGHT BUFF TO MATCH LIMESTONE) B2 = "EBONY" SMOOTH BY ACME BRICK COMPANY (MORTAR TO MATCH BRICK COLOR AS MUCH AS POSSIBLE)
- C1 ALUMINUM CANOPY SYSTEM W/FASCIA COLOR: WHITE
- C2 ALUMINUM CANOPY SYSTEM COLOR: RAL 7022
- AW METAL AWNINGS WITH ALUMINUM SUPPORT BRACKETS, BY CANOPY VENDOR (COLOR DARK BRONZE)
- SR 12" STANDING SEAM METAL SLOPED ROOF OVER METAL AWNING FRAME (COLOR DARK BRONZE)
- C3 ALUMINUM CANOPY TIEBACK COLOR: RAL 7022 GC TO PROVIDE CONTINUOUS BLOCKING ON WALL BEHIND TIEBACKS, WHEN TIEBACKS ARE INSTALLED ON METAL PANELING. SEE DETAIL 3/A5.0
- EJ EXPANSION JOINT, SEE DETAIL 7/A4.1
- FB CO2 = BULK CO2 FILL BOX (EQPM SCHEDULE ITEM 49.00) BO = BULK OIL FILL BOX (EQPM SCHEDULE ITEM 700.18)
- D HOLLOW METAL DOOR SURFACE: "GAUNTLET GREY" SW7019 BY SHERWIN WILLIAMS PAINT: "GAUNTLET GREY" SW7019 BY SHERWIN WILLIAMS
- DE DECAL BY GRAPHICS SUPPLIER SURFACE APPLIED, FIELD INSTALLED, PRE CUT, PRE SPACED. SUPPLIERS: VOMELA (865) 330-7337, ann.bowen@vomela.com GEX INTERNATIONAL (847) 543-4600, mcdonaldsdecor@gfxi.com
- LL LIMESTONE BY SALADO LIMESTONE (ARCHITECTURAL CUT) COLOR: LINEN (RUNNING BOND) SIZE: 8"X16"X4" FINISH: SMOOTH
- LIMESTONE TO HAVE 1/4" RAKED MORTAR JOINTS (MORTAR COLORS TO BE LIGHT BUFF) SUBMIT TO ARCHITECT FOR APPROVAL
- GR GUARD RAIL -SEE SITE PLAN FOR EXACT LOCATION AND LENGTH USE STAINLESS STEEL OR GALVANIZED STEEL
- L1 RECESSED DOWN LIGHT FIXTURE - SEE ELECTRICAL
- W1 EXTERIOR WINDOW ASSEMBLY - TEMPERED GLASS COLOR: EXTRA DARK BRONZE
- W2 DRIVE-THRU WINDOW BY READY ACCESS MODEL: 600 SERIES, 36" SERVICE HEIGHT WITH TRANSOM, MANUAL OPEN; ELECTRONIC RELEASE COLOR: DEEP BRONZE
- XX SLIDE DIRECTION: RL = RIGHT TO LEFT LR = LEFT TO RIGHT
- L2 RADIAL SCENCE LIGHT FIXTURE - SEE ELECTRICAL
- C1-COLOR: C1= WHITE C2= PLATINUM SILVER C3= DARK BRONZE
- LE ACCENT LIGHTING - SEE ELECTRICAL
- L1-LED LIGHT: L1 = SLIM LED (DOWN ONLY) L2 = INTEGRAL CANOPY FIXTURE L3 = UP ONLY FLOOD FIXTURE
- MF METAL FASCIA
- C1-TYPE: 1 = PRE-FAB ANCHOR-TITE FASCIA 2 = BOTTOM TRIM AT METAL REVEAL PANEL 3 = VERTICAL TRIM AT METAL REVEAL PANEL CORNERS, CLOSURES
- COLOR: C1= WEATHERED ZINC C2= RAL 7022
- PB PIPE BOLLARD - PAINTED YELLOW
- PT (RMHC) COIN COLLECTOR MODEL: JMWFT STD CALL 1-888-743-7435 TO ORDER
- RO ROOF DRAIN OVERFLOW PIPE PAINT TO MATCH SURROUNDING MATERIAL
- S McDONALD'S SIGNAGE BY OTHERS - UNDER SEPARATE PERMIT.
- C1-COLOR: C1= WEATHERED ZINC RACEWAY C2= RAL 7022 RACEWAY
- ST CO2 STROBE/ALARM. SEE MECHANICAL DRAWINGS FOR SPECIFICATION.
- UN METAL UNDERScore COLOR: GOLD
- E 7/8" 3-COAT STUCCO SYSTEM, REF WALL ASSEMBLY NOTES C1-"IRON OR" SW 7069 BY SHERWIN WILLIAMS

REQUIRED ARCHITECTURAL ELEMENTS:

1. CANOPIES, AWNINGS OR PORTICOS (AWNINGS & CANOPIES PROVIDED)
 2. ARTICULATED GROUND FLOOR LEVELS OR BASES (STONE BASE PROVIDED)
 3. ARTICULATED CORNICE LINE (PROVIDED)
 4. DISPLAY WINDOWS (PROVIDED)
- GENERAL OVERLAY DISTRICT STANDARDS:**
1. INCREASED LANDSCAPING (PROVIDED REF CIVIL PACKAGE)
 2. MASONRY BUILDING PERCENTAGES (97.50% PROVIDED)
 3. INCLUSION OF NATURAL/CULTURED STONE (39.49% PROVIDED)
 4. VERTICAL ARTICULATION PROVIDED ON EAST/WEST ELEVATIONS

11/09/2023 PLANNING DEPARTMENT COMMENTS

1 11/09/2023

REV DATE DESCRIPTION

REGISTERED ARCHITECT
SHERWIN WILLIAMS
STATE OF TEXAS
1918
JAW
JAW ARCHITECTS, P.C.
1100 W. WILSON ST.
DALLAS, TX 75201
PH: 214.750.2328
WWW.JAWARCHITECTS.COM

PREPARED BY: JAW

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McDonald's USA, LLC

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DRAWN BY: JAW

STD ISSUE DATE: 2023

REVIEWED BY: JAW

DATE ISSUED: 10/06/2023

SITE ID: 042-3426

SITE ADDRESS: NMC OF STATE HWY 205 & FM 549, ROCKWALL TEXAS

TITLE: 2023 CUSTOM BUILDING DESIGN 4597-WOOD/WOOD

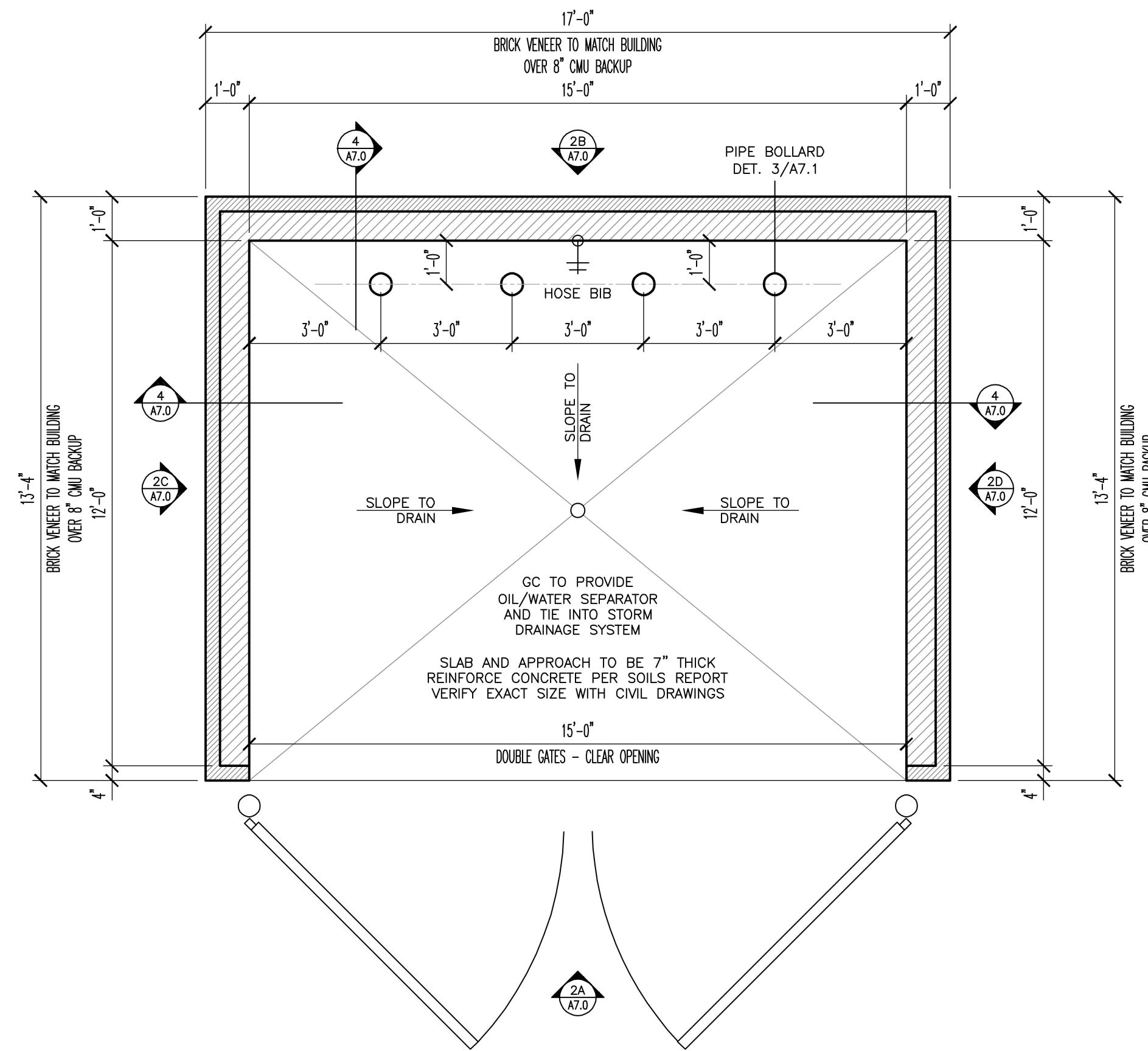
DESCRIPTION: WOOD BEARING WALLS W/4" BRICK VENEER WOOD ROOF TRUSS FRAMING STONE/BATTEN/BRICK EXTERIOR FINISH

JAWA 23-0038

A2.1

ELEVATIONS

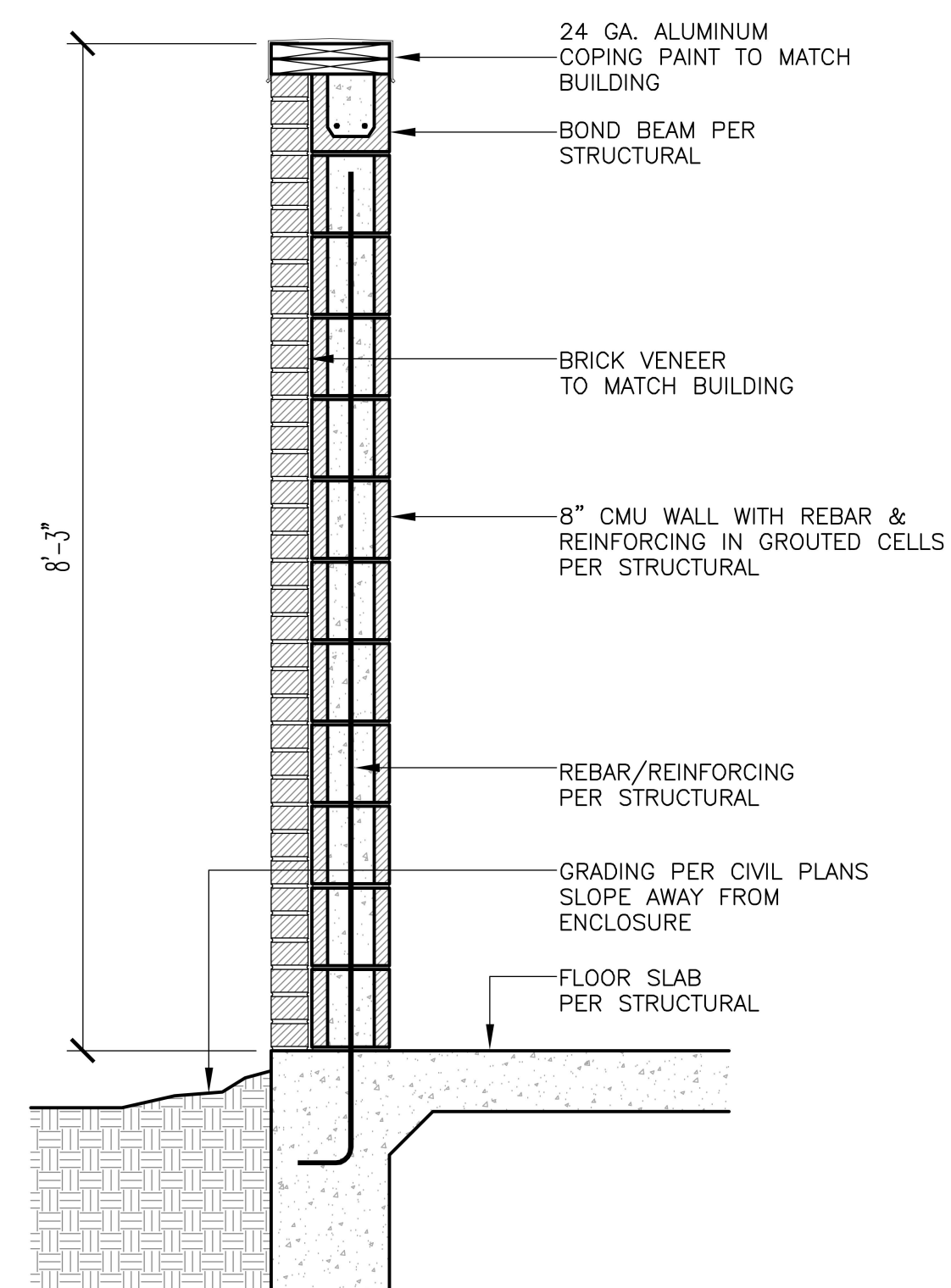
CASE #SP2023-035



1 DUMPSTER ENCLOSURE PLAN SCALE 3/8"=1'-0"



2 DUMPSTER ELEVATIONS SCALE 1/4"=1'-0"



4 WALL SECTION DETAIL SCALE 3/4"=1'-0"

KEY NOTES:

- BR MODULAR FACE BRICK
- B1 - COLOR: B1 = "MUSHROOM BROWN" BY AMCE BRICK COMPANY
- MC 24 GAUGE ALUMINUM COPING OVER CMU ENCLOSURE WALLS COLOR TO MATCH "MF-C2" RAL 7022
- SP STEEL CONCRETE FILLED POST PAINT TO MATCH BUILDING TRIM COLOR RAL 7022
- MG METAL DUMPSTER ENCLOSURE ENTRY GATES, REF METALS AND NOTES, COLOR RAL 7022
- EX GC TO PAINT EXPOSED CMU BLOCK (INSIDE ENCLOSURE) TO MATCH RAL 7022

ALL DUMPSTER ENCLOSURE GATES ARE TO BE SELF-LATCHING

GENERAL NOTES:

- GENERAL CONTRACTOR TO PROVIDE 6 INCHES OF EXPOSED GRADE BREASTS AROUND THE STORAGE BUILDING WITH THE EXCEPTION OF THE DOOR LOCATION, COORDINATE WITH THE CIVIL GRADING PLANS.
- 5/8" PUDDLE WELD B/N DECK & ALL ANGLE TYPICAL IN EACH DECK FLUTE, PROVIDE #12 SCREWS @ 6" O.C. AT ALL DECK SIDE LAPS.
- GENERAL CONTRACTOR TO SUPPLY AND INSTALL CORRUGATED METAL GATES (16 GAUGE) F-DECKING, ALL METAL TO BE PRIMED AND PAINTED TO MATCH THE BUILDING TRIM COLOR, VERIFY WITH ACM.
- PROVIDE A 12"x12" LOUVER VENT IN HOLLOW METAL DOOR, SEE ELEVATIONS.

ELECTRICAL NOTES:

- OCCUPANCY SENSOR: GC TO PROVIDE A WALL MOUNTED OCCUPANCY SENSOR, REF ELECTRICAL PLANS FOR MORE INFORMATION.
- GC TO INSTALL NEW STRIP LIGHT FIXTURE, PER MANF.'S RECOMMENDATIONS. F25 - 42W LED BY COLUMBIA LIGHTING #LCL4-40ML-EDU.
- GC TO PROVIDE A 20A, 120V, RECEPTACLE WITHIN 25 FEET OF THE HVAC EQUIPMENT, PER CODE.
- ALL LIGHTING/POWER SHALL BE CONNECTED TO AN APPROPRIATE CIRCUIT IN THE MAIN BUILDING PANELS, VERIFY CIRCUITING PRIOR TO ROUGH-IN.

PREPARED BY: JAW

REGISTERED ARCHITECT
STATE OF TEXAS
1926
JAW ARCHITECTS, P.C.
11770333
Dallas, Texas 75242

REV	DATE	DESCRIPTION
1	11/06/23	PLANNING DEPARTMENT COMMENTS

PREPARED FOR: McDonald's USA, LLC

DRAWN BY: JAW
STD ISSUE DATE: 2023
REVIEWED BY: JAW
DATE ISSUED: 10/06/2023

TITLE: 2023 CUSTOM BUILDING DESIGN
4597-WOOD/WOOD

DESCRIPTION: WOOD BEARING WALLS W/4" BRICK VENEER
WOOD ROOF TRUSS FRAMING
STONE/BATTEN/BRICK EXTERIOR FINISH

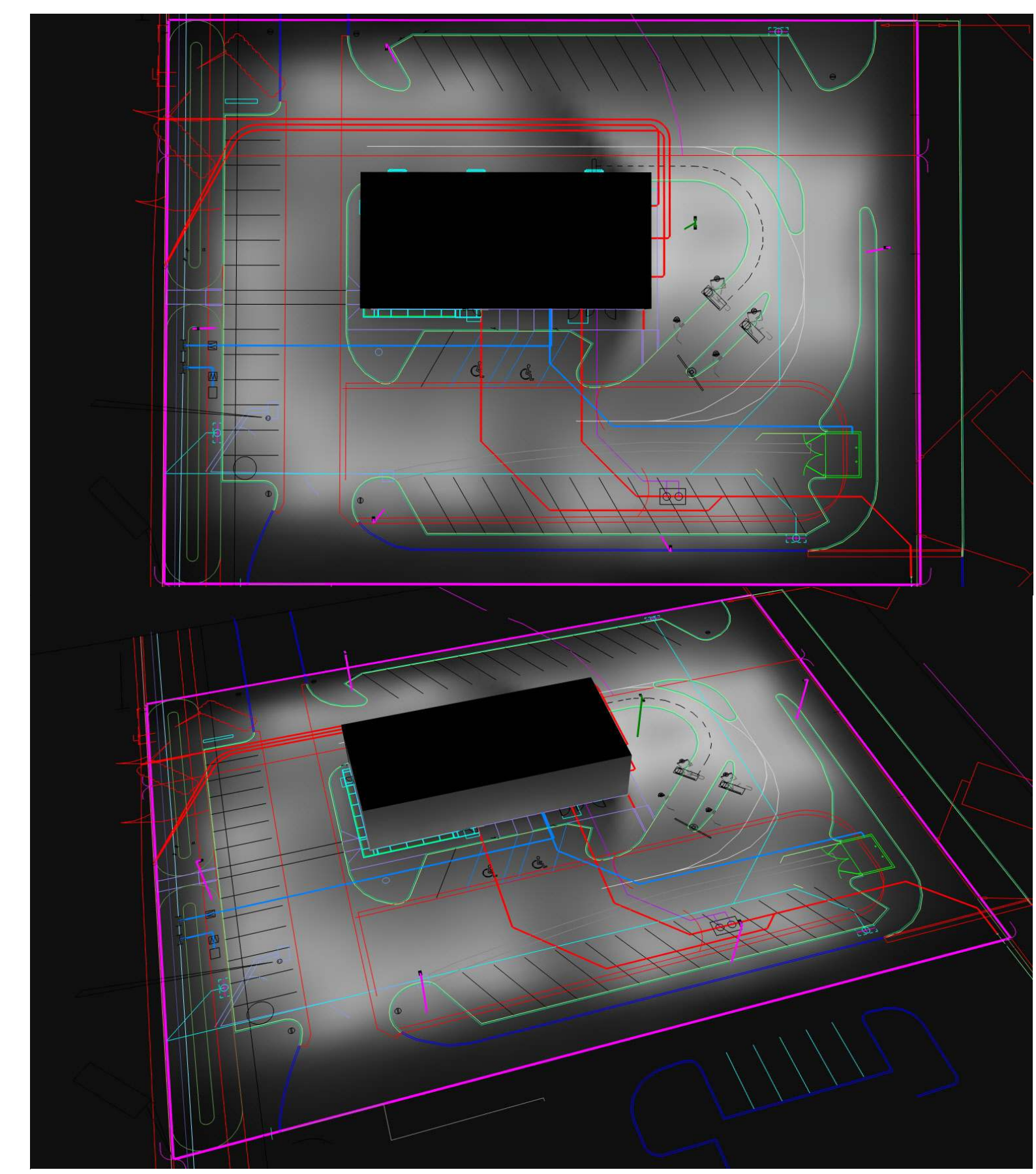
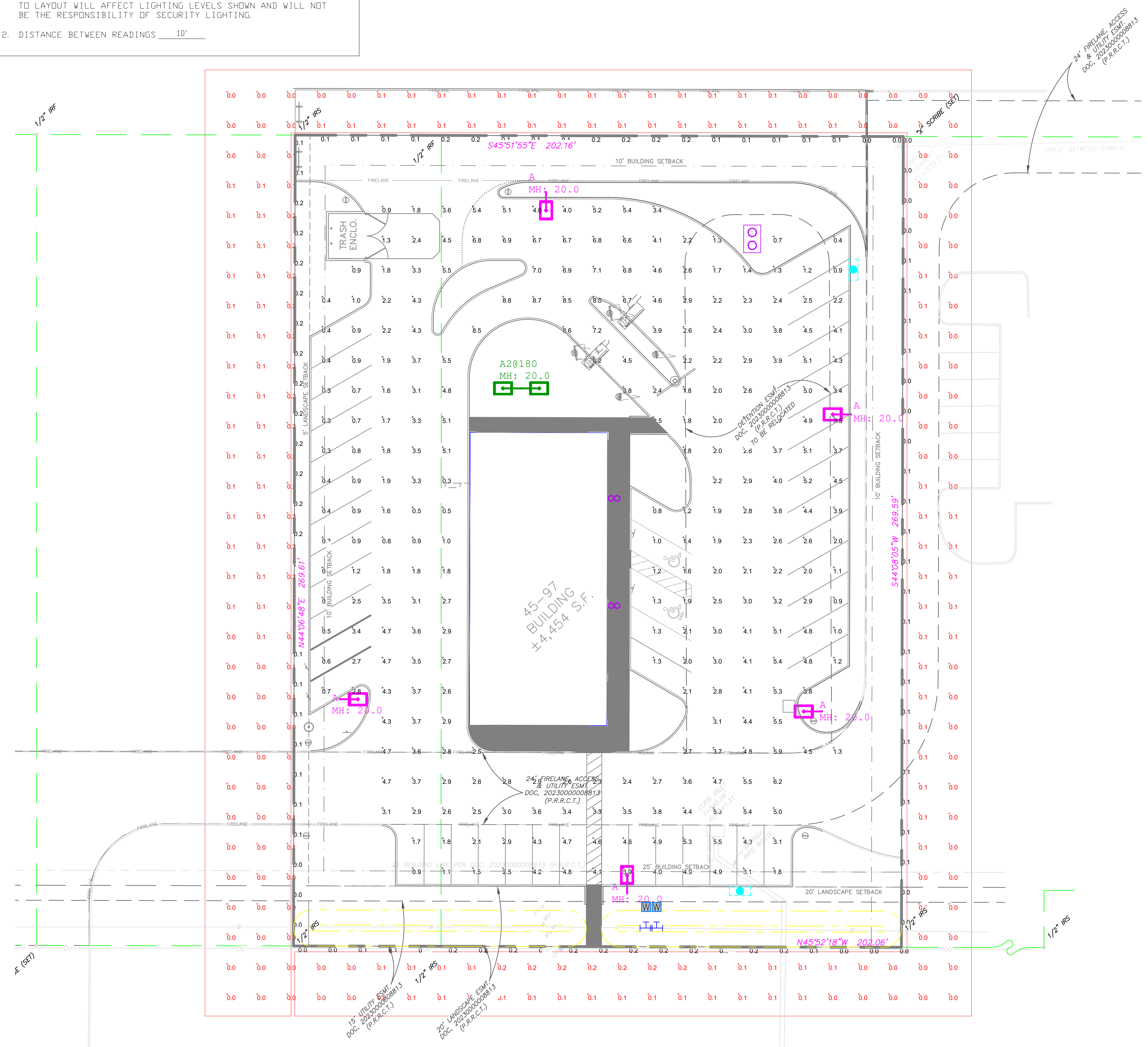
SITE ID: 042-3428
SITE ADDRESS: NMC OF STATE HWY 205 & FM 549, ROCKWALL TEXAS

SHEET NO. A7.0

CASE #SP2023-035

JAWA 23-0038

NOTES:
 1. THE FOOTCANDLE LEVELS AS SHOWN ARE BASED ON THE FOLLOWING CRITERIA. ANY SUBSTITUTIONS IN SPECIFIED FIXTURES OR CHANGES TO LAYOUT WILL AFFECT LIGHTING LEVELS SHOWN AND WILL NOT BE THE RESPONSIBILITY OF SECURITY LIGHTING.
 2. DISTANCE BETWEEN READINGS _____ 10'



Pole Fixtures Are Full Cutoff
 Tilt=0
 Calculation Grids Are At Grade
 Pole Light Mounting Height=20ft
 (17' Pole + 3' Base)

SITE INFORMATION	
LAND AREA:	54,489 SF (1.251 AC)
CURRENT ZONING:	C-COMMERCIAL DISTRICT (SH205 OVERLAY DISTRICT)
EXISTING USE:	VACANT LOT
PROPOSED USE:	MCDONALD'S RESTAURANT W/DRIVE-THRU
BUILDING AREA (APPROXIMATE):	4,365 GFA
BUILDING LOT COVERAGE:	4,365 SF/54,489 SF = 8.01%
PARKING CALCULATIONS:	1 SPACE PER 100 SF
PARKING SPACES REQUIRED:	44
PARKING SPACES PROVIDED:	45
HANDICAP PARKING REQUIRED:	2
HANDICAP PARKING PROVIDED:	2
LANDSCAPE SETBACK:	20' FRONT; 5' REAR & SIDE
BUILDING SETBACK:	25' FRONT; 10' SIDES & REAR
EXISTING IMPERVIOUS AREAS:	13.9% (7,592 SF)
PROPOSED IMPERVIOUS AREAS:	64.4% (35,072 SF)
PROPOSED LANDSCAPE PERCENTAGE:	21.7% (11,825 SF)

SIGNATURE BLOCK
 Approved:
 I hereby certify that the above and foregoing site plan for a development in the city of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the _____ day of _____, 2023.
 WITNESS OUR HANDS, this _____ day of _____, 2023.

 Planning & Zoning Commission, Chairman
 Director of Planning and Zoning
 CASE NUMBER: SP2023-035

Calculation Summary							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
ADJACENT PROPERTY READINGS	Illuminance	Fc	0.07	0.2	0.0	N.A.	N.A.
PAVED SURFACE READINGS	Illuminance	Fc	3.16	8.8	0.3	10.53	29.33
PROPERTY LINE READINGS	Illuminance	Fc	0.11	0.2	0.0	N.A.	N.A.

Luminaire Schedule										
Symbol	Qty	Label	Arrangement	LLF	Description	Lum. Watts	EPA	Mtg Height	Pole Type	
	5	A	Single	1.000	VP-2-320L-145-5K7-4W-DBS-HSS-90-B	145.6	0.607	20	SES-17-40-1-TA-GL-DB (4")	
	1	A2@180	Back-Back	1.000	VP-2-320L-145-5K7-4W-DBS	150	0.607	20	SES-17-40-1-TA-GL-DB (4")	

THIS DRAWING MEETS OR EXCEEDS MCDONALD'S CURRENT ILLUMINATION SPECIFICATIONS OF A 3-4 FOOTCANDLE AVERAGE, UNLESS SUPERSEDED BY OTHER REQUIREMENTS.

Regional Drawing
 # 423426

PROJECT WIND LOAD CRITERIA BASED ON:
 ASCE 7-10 WIND SPEEDS (3-SEC PEAK GUST MPH)
 50 YEAR MEAN RECURRENCE INTERVAL
 ALLOWED EPA XX-X @ WIND LOAD XX MPH

SECURITY LIGHTING™
 2100 Gulf Road, Suite 400, Rolling Meadows, IL 60008
 1-800-544-6446
 UNLESS OTHERWISE SPECIFIED, ALL DIMENSIONS ARE IN INCHES
 SCALE 1"=20' 0"
 DRAWN BY: CLB LEED AP BD+C
 POINT-BY-POINT FOOTCANDLE PLOT FOR
 MCDONALD'S
 550 FARM TO MARKET RD 549
 ROCKWALL, TX 75082
 NATIONAL STORE NUMBER
 41096
 DATE: 9/15/2023
 DRAWING NUMBER: A231820A.AGI

VIPER Area/Site

VIPER LUMINAIRE

FEATURES

- Low profile LED area/site luminaire with a variety of IES distributions for lighting applications such as auto dealership, retail, commercial, and campus parking lots
- Featuring two different optical technologies, Strike and Micro Strike Optics, which provide the best distribution patterns for retrofit or new construction
- Rated for high vibration applications including bridges and overpasses. All sizes are rated for 1.5G
- Control options including photo control, occupancy sensing, NX Lighting Controls™, LightGRID+ and 7-Pin with networked controls
- New customizable lumen output feature allows for the wattage and lumen output to be customized in the factory to meet whatever specification requirements may entail
- Field interchangeable mounting provides additional flexibility after the fixture has shipped



CONTROL TECHNOLOGY



SERVICE PROGRAMS



SPECIFICATIONS

CONSTRUCTION

- Die-cast housing with hidden vertical heat fins are optimal for heat dissipation while keeping a clean smooth outer surface
- Corrosion resistant, die-cast aluminum housing with 1000 hour powder coat paint finish
- External hardware is corrosion resistant

OPTICS

- Micro Strike Optics (160, 320, 480, or 720 LED counts) maximize uniformity in applications and come standard with mid-power LEDs which evenly illuminate the entire luminous surface area to provide a low glare appearance. Catalog logic found on page 2
- Strike Optics (36, 72, 108, or 162 LED counts) provide best in class distributions and maximum pole spacing in new applications with high powered LEDs. Strike optics are held in place with a polycarbonate bezel to mimic the appearance of the Micro Strike Optics so both solutions can be combined on the same application. Catalog logic found on page 3
- Both optics maximize target zone illumination with minimal losses at the house-side, reducing light trespass issues. Additional backlight control shields and house side shields can be added for further reduction of illumination behind the pole
- One-piece silicone gasket ensures a weatherproof seal
- Zero up-light at 0 degrees of tilt
- Field rotatable optics

INSTALLATION

- Mounting patterns for each arm can be found on page 11
- Optional universal mounting block for ease of installation during retrofit applications. Available as an option (ASQU) or accessory for square and round poles
- All mounting hardware included
- Knuckle arm fitter option available for 2-3/8" OD tenon
- For products with EPA less than 1 mounted to a pole greater than 20ft, a vibration damper is recommended

ELECTRICAL

- Universal 120-277 VAC or 347-480 VAC input voltage, 50/60 Hz
- Ambient operating temperature -40°C to 40°C
- Drivers have greater than 90% power factor and less than 20% THD
- LED drivers have output power over-voltage, over-current protection and short circuit protection with auto recovery
- Field replaceable surge protection device provides 20kA protection meeting ANSI/ IEEE C62.41.2 Category C High and Surge Location Category C3; Automatically takes fixture off-line for protection when device is compromised
- Dual Driver option provides 2 drivers within luminaire but only one set of leads exiting the luminaire, where Dual Power Feed provides two drivers which can be wired independently as two sets of leads are extended from the luminaire. Both options cannot be combined

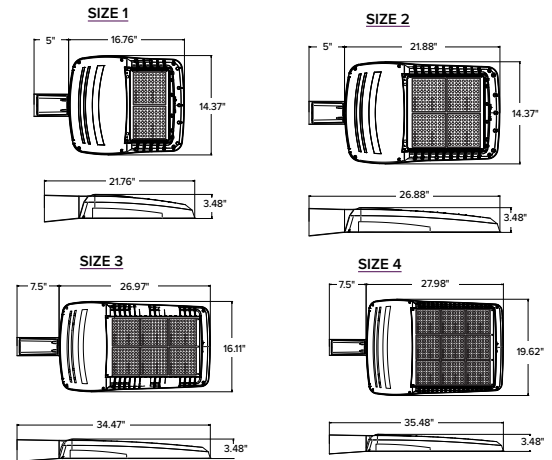
CONTROLS

- Photo control, occupancy sensor programmable controls, and Zigbee wireless controls available for complete on/off and dimming control
- Please consult brand or sales representative when combining control and electrical options as some combinations may not operate as anticipated depending on your application
- 7-pin ANSI C136.41-2013 photocontrol receptacle option available for twist lock photocontrols or wireless control modules (control accessories sold separately)

CONTROLS (CONTINUED)

- 0-10V Dimming Drivers are standard and dimming leads are extended out of the luminaire unless control options require connection to the dimming leads. Must specify if wiring leads are to be greater than the 6" standard
- NX Lighting Controls™ available with in fixture wireless control module, features dimming and occupancy sensor
- LightGRID+ available with in fixture wireless control module, features dimming and occupancy sensor. Also available in 7-pin configuration

MICRO STRIKE | STRIKE OPTICS



	EPA				Config
	VP1 (Size 1)	VP2 (Size 2)	VP3 (Size 3)	VP4 (Size 4)	
Single Fixture	0.454	0.555	0.655	0.698	
Two at 180	0.908	1.110	1.310	1.396	
Two at 90	0.583	0.711	0.857	0.948	
Three at 90	1.037	1.266	1.512	1.646	
Three at 120	0.943	1.155	1.392	1.680	
Four at 90	1.166	1.422	1.714	1.896	

CERTIFICATIONS

- DLC® (DesignLights Consortium Qualified), with some Premium Qualified configurations. Not all product variations listed in this document are DLC® qualified. Refer to <http://www.designlights.org> for the most up-to-date list.
- Listed to UL1598 and CSA C22.2#250.0-24 for wet locations and 40°C ambient temperatures
- 1.5 G rated for ANSI C136.31 high vibration applications
- Fixture is IP65 rated
- Meets IDA recommendations using 3K CCT configuration at 0 degrees of tilt
- This product meets federal procurement law requirements under the Buy American Act (FAR 52.225-9) and Trade Agreements Act (FAR 52.225-11). See Buy America(n) Solutions (link to <https://www.currentlighting.com/resources/america-solutions>)

WARRANTY

- 5 year warranty

VIPER Area/Site

VIPER LUMINAIRE

MICROSTRIKE OPTICS – ORDERING GUIDE

Gray Shading = Service Program Limit of 15 luminaires

QS10
Example: VP-2-320L-145-3K7-2-R-UNV-A3-BLT

CATALOG # _____

VP Series	Optic Platform	Size	Light Engine	CCT/CRI	Distribution	Optic Rotation	Voltage
VP Viper	Micro Strike	1 Size 1	160L-35 ⁶ 5500 lumens 160L-50 ⁶ 7500 lumens 160L-75 10000 lumens 160L-100 12500 lumens 160L-115 15000 lumens 160L-135 18000 lumens 160L-160 21000 lumens	AP AP-Amber Phosphor Converted 27K8 2700K, 80 CRI 3K7 3000K, 70 CRI 3K8 3000K, 80 CRI 35K8 3500K, 80 CRI 3K9 3000K, 90 CRI 4K7 4000K, 70 CRI 4K8 4000K, 80 CRI 4K9 4000K, 90 CRI 5K7 5000K, 70 CRI 5K8 5000K, 80 CRI	2 Type 2 3 Type 3 4F Type 4 Forward 4W Type 4 Wide 5QW Type 5 Square Wide	BLANK No Rotation L Optic rotation left R Optic rotation right	UNV 120-277V 120 120V 208 208V 240 240V 277 277V 347 347V 480 480V
		2 Size 2	320L-145 21000 lumens 320L-170 24000 lumens 320L-185 27000 lumens 320L-210 30000 lumens 320L-235 33000 lumens 320L-255 36000 lumens 320L-315 ⁶ 40000 lumens				
		3 Size 3	480L-285 40000 lumens 480L-320 44000 lumens 480L-340 48000 lumens 480L-390 52000 lumens 480L-425 55000 lumens 480L-470 60000 lumens				
		4 Size 4	720L-435 60000 lumens 720L-475 65000 lumens 720L-515 70000 lumens 720L-565 ⁶ 75000 lumens 720L-600 ⁶ 80000 lumens				
			CLO Custom Lumen Output ¹				

Mounting	
A	Arm mount for square pole/flat surface (B3 Drill Pattern) (Does not include round pole adapter)
A_	Arm mount for round pole ²
ASQU	Universal arm mount for square pole. Can be used with B3 or S2 Drill Pattern
A_U	Universal arm mount for round pole ²
AAU	Adjustable arm for pole mounting (universal drill pattern)
AA_U	Adjustable arm mount for round pole ²
ADU	Decorative upswept Arm (universal drill pattern)
AD_U	Decorative upswept arm mount for round pole ²
MAF	Mast arm fitter for 2-3/8" OD horizontal arm
K	Knuckle
T	Trunnion
WB	Wall Bracket, horizontal tenon with MAF
WM	Wall mount bracket with decorative upswept arm
WA	Wall mount bracket with adjustable arm

Color	
BLT	Black Matte Textured
BLS	Black Gloss Smooth
DBT	Dark Bronze Matte Textured
DBS	Dark Bronze Gloss Smooth
GTT	Graphite Matte Textured
LGS	Light Grey Gloss Smooth
LGT	Light Grey Gloss Textured
PSS	Platinum Silver Smooth
WHT	White Matte Textured
WHS	White Gloss Smooth
VGT	Verde Green Textured
Color Option	
CC	Custom Color

Options	
F	Fusing
2PF	Dual Power Feed
2DR	Dual Driver
TE	Toolless Entry
BC	Backlight Control ⁸
TB	Terminal Block

Network Control Options	
NXWS16F	NX Networked Wireless Enabled Integral NX SMP2-LMO PIR Occupancy Sensor with Automatic Dimming Photocell and Bluetooth Programming ^{1,3,4}
NXWS40F	NX Networked Wireless Enabled Integral NX SMP2-HMO PIR Occupancy Sensor with Automatic Dimming Photocell and Bluetooth Programming ^{1,3,4}
NXW	NX Networked Wireless Radio Module NXRM2 and Bluetooth Programming, without Sensor ^{3,4}
WIR	LightGRID+ In-Fixture Module ^{3,4}
WIRSC	LightGRID+ Module and Occupancy Sensor ^{3,4}
Stand Alone Sensors	
BTS-14F	Bluetooth® Programmable, BTSMP-LMO PIR Occupancy Sensor with Automatic Dimming Photocell and 360° Lens
BTS-40F	Bluetooth® Programmable, BTSMP-HMO PIR Occupancy Sensor with Automatic Dimming Photocell and 360° Lens
BTSO-12F	Bluetooth® Programmable, BTSMP-OMNI-O PIR Occupancy Sensor with Automatic Dimming Photocell and 360° Lens
7PR	7-Pin Receptacle ⁴
7PR-SC	7-Pin Receptacle with shorting cap ⁴
3PR	3-Pin twist lock ⁴
3PR-SC	3-Pin receptacle with shorting cap ⁴
3PR-TL	3-Pin PCR with photocontrol ⁴
Programmed Controls	
SCP-_F	Sensor Control Programmable, 8F or 40F ⁹
ADD	AutoDim Timer Based Dimming ⁴
ADT	AutoDim Time of Day Dimming ⁴
Photocontrols	
PC	Button Photocontrol ^{4,7}

1 – Items with a grey background can be done as a custom order. Contact brand representative for more information

2 – Replace “_” with “2” for 2.5”-3.4” OD pole, “3” for 3.5”-4.13” OD pole, “4” for 4.18”-5.25” OD pole, “5” for 5.5”-6.5” OD pole

3 – Networked Controls cannot be combined with other control options

4 – Not available with 2PF option

5 – Not available with Dual Driver option

6 – Some voltage restrictions may apply when combined with controls

7 – Not available with 480V

8 – BC not available on 4F and type 5 distributions

9 – At least one SCPREMOTe required to program SCP motion sensor. Must select 8ft or 40ft.

VIPER Area/Site

VIPER LUMINAIRE

ORDERING GUIDE (CONT'D)

CATALOG #

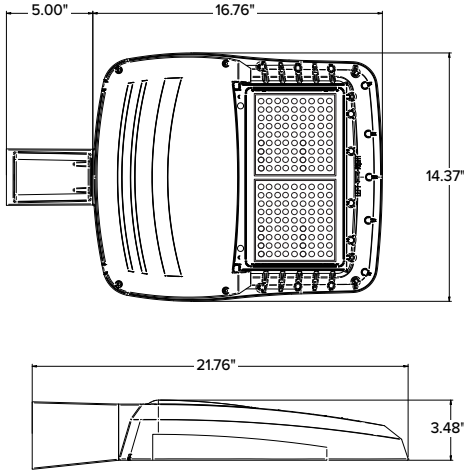
Accessory Type	Size	Option	Color	Current Control Solutions — Accessories (Sold Separately)		
SHD Shield	1 Size 1	HSS-90-B House Side Shield 90° Back	BLS Black Gloss Smooth BLT Black Matte Textured DBS Dark Bronze Gloss Smooth DBT Dark Bronze Matte Textured GTT Graphite Matte Textured LGS Light Gray Gloss Smooth PSS Platinum Silver Smooth WHS White Gloss Smooth WHT White Matte Textured VGT Green Landscape Decorative LEG Legacy Colors Color Option CC Custom Color	<u>NX Lighting Controls</u>		
	2 Size 2	HSS-90-F House Side Shield 90° Front		<input type="checkbox"/> NXOFM-1R1D-UNV On-fixture Module (7-pin), On / Off / Dim, Daylight Sensor with NX Radio and Bluetooth® Radio, 120-480VAC		
	3 Size 3	HSS-90-S House Side Shield 90° Side		<u>LightGRID+ Lighting Control</u>		
	4 Size 4	HSS-270-BSS House Side Shield 270° Back/Side/Side HSS-270-FSS House Side Shield 270° Front/Side/Side HSS-270-FSB House Side Shield 270° Front/Side/Back HSS-360 House Side Shield 360°		<input type="checkbox"/> WIR-RME-L On-fixture Module (7-pin or 5-pin), On / Off / Dim, Daylight Sensor with LightGRID+ Radio, 110-480VAC		
MTG Mounting	BC Back Light Control	A Arm Mount for square pole/flat surface	<input type="checkbox"/> SCP-REMOTE Remote Control for SCP/_F option. Order at least one per project to program and control the occupancy sensor For additional information related to these accessories please visit currentlighting.com/beacon . Options provided for use with integrated sensor, please view specification sheet ordering information table for details.			
	ASQU Universal Arm Mount for square pole	T Trunnion				
	AAU Adjustable Arm for pole mounting	WB Wall Bracket (compatible with universal arm mounts)				
	ADU Decorative upswept Arm					
	RPA Round Pole Adapter					
	MAF Mast Arm Fitter for 2-3/8" OD horizontal arm					
	K Knuckle					
	T Trunnion					
	WB Wall Bracket (compatible with universal arm mounts)					
	Option					
	BIRD SPK Bird Spike					

VIPER Area/Site

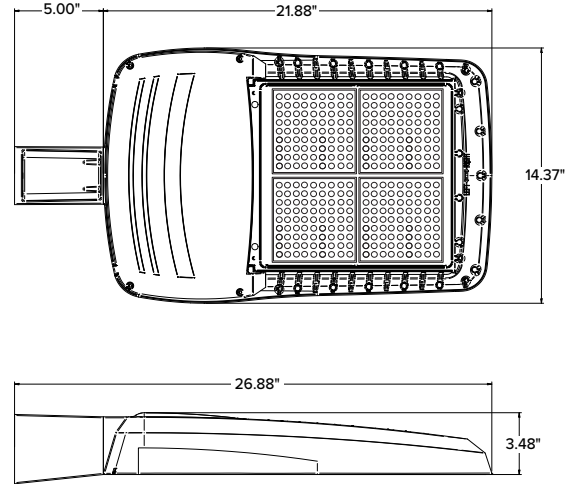
VIPER LUMINAIRE

DIMENSIONS

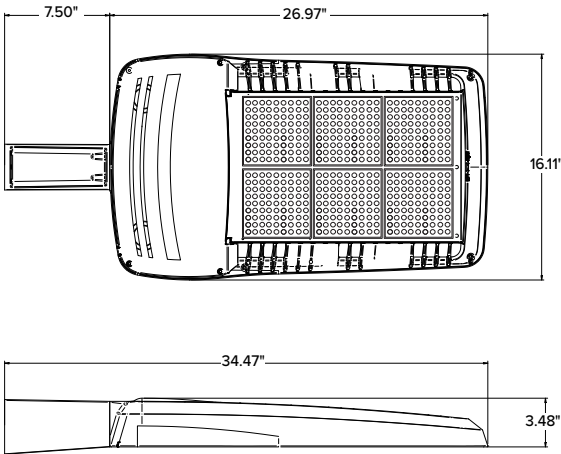
SIZE 1



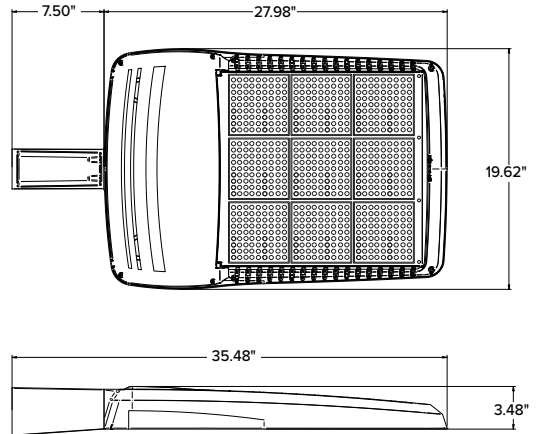
SIZE 2









SIZE 3



SIZE 4



	EPA				Config.
	VP1 (Size 1)	VP2 (Size 2)	VP3 (Size 3)	VP4 (Size 4)	
Single Fixture	0.454	0.555	0.655	0.698	
Two at 180	0.908	1.110	1.310	1.396	
Two at 90	0.583	0.711	0.857	0.948	
Three at 90	1.037	1.266	1.512	1.646	
Three at 120	0.943	1.155	1.392	1.680	
Four at 90	1.166	1.422	1.714	1.896	

	Weight	
	lbs	kgs
VP1 (Size 1)	13.7	6.2
VP2 (Size 2)	16.0	7.26
VP3 (Size 3)	25.9	11.7
VP4 (Size 4)	30.8	13.9

VIPER Area/Site

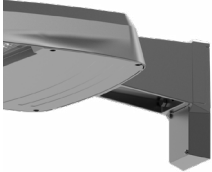
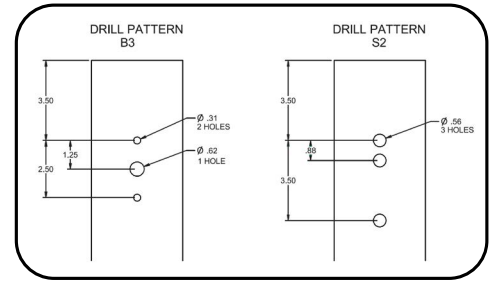
VIPER LUMINAIRE

MOUNTING



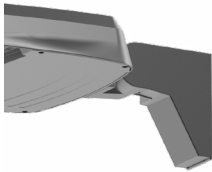
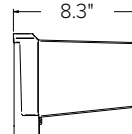
A-STRAIGHT ARM MOUNT

Fixture ships with integral arm for ease of installation. Compatible with Current Outdoor B3 drill pattern for ease of installation on square poles. For round poles add applicable suffix (2/3/4/5)



ASQU-UNIVERSAL ARM MOUNT

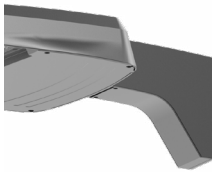
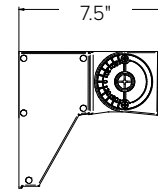
Universal mounting block for ease of installation. Compatible with drill patterns from 2.5" to 4.5" and Current drill pattern S2. For round poles add applicable suffix (2/3/4/5)



AAU-ADJUSTABLE ARM FOR POLE MOUNTING

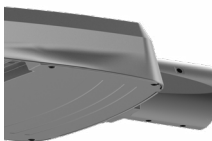
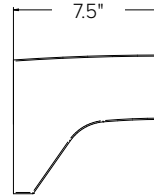
Rotatable arm mounts directly to pole. Compatible with drill patterns from 2.5" to 4.5" and Current drill pattern S2 and B3. For round poles add applicable suffix (2/3/4/5). Rotatable in 15° aiming angle increments. Micro Strike configurations have a 45° aiming limitation.

Strike configurations have a 30° aiming limitation.



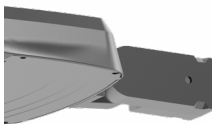
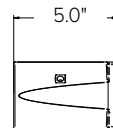
ADU-DECORATIVE UPSWEPT ARM

Upswept Arm compatible with drill patterns from 2.5" to 4.5" and Current drill pattern S2. For round poles add applicable suffix (2/3/4/5).



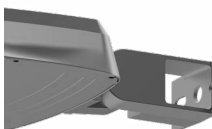
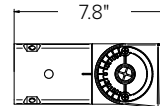
MAF-MAST ARM FITTER

Fits 2-3/8" OD horizontal tenons.



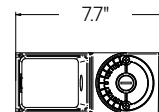
K-KNUCKLE

Knuckle mount 15° aiming angle increments for precise aiming and control, fits 2-3/8" tenons or pipes. Micro Strike configurations have a 45° aiming limitation. Strike configurations have a 30° aiming limitation.



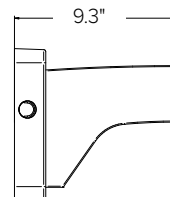
T-TRUNNION

Trunnion for surface and crossarm mounting using (1) 3/4" or (2) 1/2" size through bolts. Micro Strike configurations have a 45° aiming limitation. Strike configurations have a 30° aiming limitation.



WM-WALL MOUNT

Compatible with universal arm mount, adjustable arm mount, and decorative arm mount. The WA option uses the same wall bracket but replaces the decorative arm with an adjustable arm.



VIPER Area/Site

VIPER LUMINAIRE

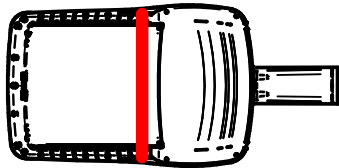
ADDITIONAL INFORMATION (CONTINUED)

HOUSE SIDE SHIELD FIELD INSTALL ACCESSORIES

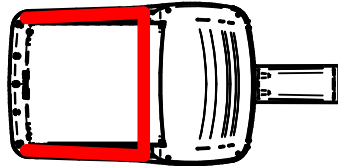
HSS has a depth of 5" for all Viper sizes

Not to be used with Occupancy Sensors as the shield may block the light to the sensor.

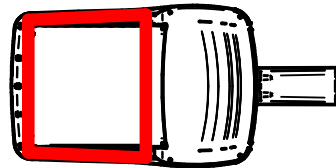
VPR2x HSS-90-B-xx



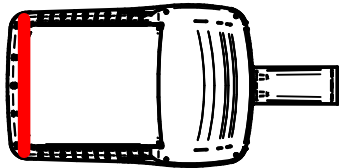
VPR2x HSS-270-BSS-xx



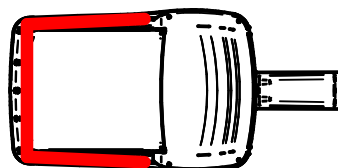
VPR2x HSS-360-xx



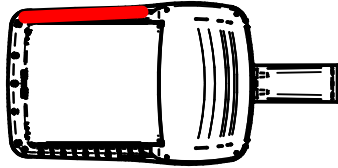
VPR2x HSS-90-F-xx



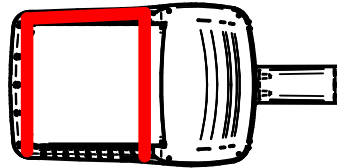
VPR2x HSS-270-FSS-xx



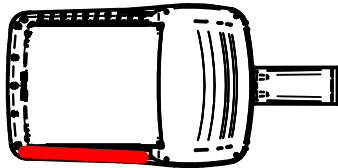
VPR2x HSS-90-S-xx



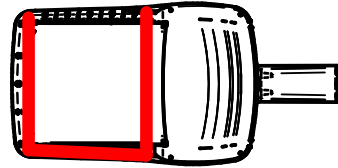
VPR2x HSS-270-FSB-xx



VPR2x HSS-90-S-xx



VPR2x HSS-270-FSB-xx





RWSC

LED RADIUS WALL SCONCE

The RWSC LED radius wall sconce series offers a combination of light distributions that wash the building facade while the radial soft form housing accentuates building architectural design elements in all commercial and residential applications.

The RWSC LED provides excellent illumination with a high efficiency LED light source of 72 or 36 mid power LEDs that deliver up to 2,400 lumens and up to 109 lumens per watt.

The RWSC LED fixture has become a building standard and is stocked as a quick ship item in many colors and distributions.

Features

- Durable cast aluminum housing
- Integrated design eliminates high angle brightness
- Completely sealed, flat tempered glass lenses, UL listed for use in wet locations
- DLC, Downlight only, full cut-off

Operating Temperature

- -30°C to 40°C

Electrical:

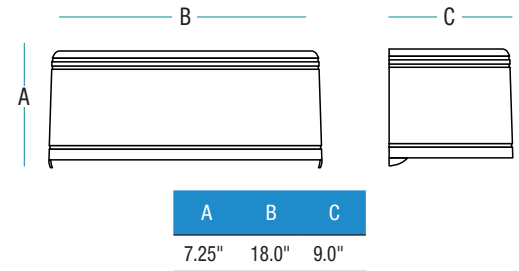
- Dimming is an option (consult factory)

Mounting

RWSC features Intelligent Mounting Bracket which helps save time and money by allowing only one person to easily install. The small mounting bracket is very user friendly and features an integrated level bubble on the bracket ensuring fixture installation will always be perfect.



Dimensions



Certifications/Listings



Ordering Information

Ordering Example: RWSC - XXL - XK - XX - U - XX - XX

RWSC

Series		# of LED's		CCT		Distribution		Voltage		Finish		Options	
RWSC	Radius Wall Sconce	36L ¹	36 Mid-Power LED's	3K	3000K	DO	Down only	U	Universal 120/277V	DB	Dark Bronze	PC	Photocontrol ^{6,7}
		72L ²	72 Mid-Power LED's	5K	5000K	UD	Up/Down			WH	White		
										BK	Black		
										PS	Platinum Silver		
										RA	RAL Color ⁴		
										CC	Custom Color ⁵		

Quick Ship:

- RWSC36LU5KD0BK
- RWSC36LU5KD0WH
- RWSC36LU5KD0DB
- RWSC36LU5KD0PS
- RWSC72L5KUDUWH
- RWSC72LU5KUDBK
- RWSC72LU5KUDDB
- RWSC72LU5KUDPS

Accessories

- LG125T** Remote Emergency Inverter (grid mount only)³
- LG125S** Remote Emergency Inverter (surface mount only)³

¹ 36L Only available in DO distribution
² 72L Only available in UD distribution
³ One remote inverter required to operate every 8 down only or 5 up/down fixtures requiring EM operation
⁴ Must provide RAL color at time of ordering
⁵ Must provide color sample at time of ordering
⁶ PC must be factory installed
⁷ PC available on down only



Performance Data

# of LEDs	Drive Current (Milliamps)	System Watts	Distribution Type	5K (5000K nominal, 80 CRI)					3K (3000K nominal, 80 CRI)				
				Lumens	LPW ¹	B	U	G	Lumens	LPW ¹	B	U	G
36	350	14.4	down	1565	108.7	0	0	0	1561	109.1	0	0	0
72	350	25	up/down	2400	96	n/a	n/a	n/a	2391	97.6	n/a	n/a	n/a

¹Lumen values are from photometric tests performed in accordance with IESNA LM-79-08. Data is considered to be representative of the configurations shown. Actual performance may differ as a result of end-user environment and application.

Photometric Data

LUMINAIRE DATA

RWSC-36L-5K-DO-U-PS

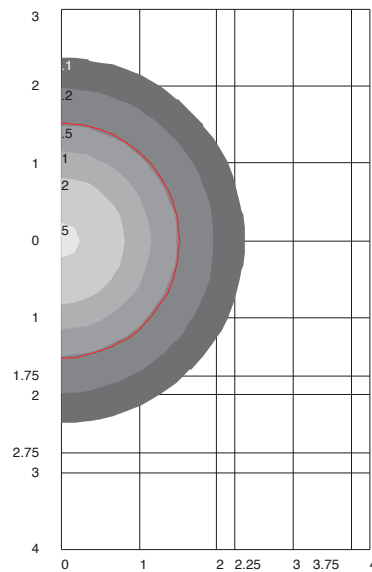
Wall Mounting Outdoor Fixture

DRIVER LED30W-085-C0350

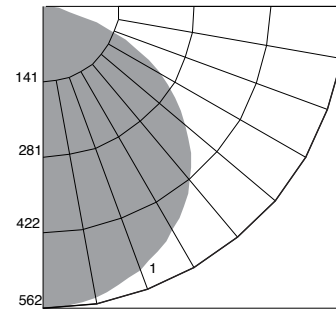
Lamp	LED
Lumens	1565
Watts	14.4
Efficacy	109
Mounting	Wall
Spacing Criterion (0-180)	1.20

ZONE	LUMENS	% FIXT.
Front Low (0-30)	218.6	14.0
Front Medium (30-60)	424.2	27.1
Front High (60-80)	135.5	8.7
Front Very High (80-90)	4.2	0.3
Back Low (0-30)	218.6	14.0
Back Medium (30-60)	424.2	27.1
Back High (60-80)	135.5	8.7
Back Very High (80-90)	4.2	0.3
Uplight Low (90-100)	0.0	0.0
Uplight High (100-180)	0.0	0.0

ISOMETRIC FOOT CANDLES



POLAR GRAPH



LUMINAIRE DATA

RWSC-72L-5K-UD-U-PS

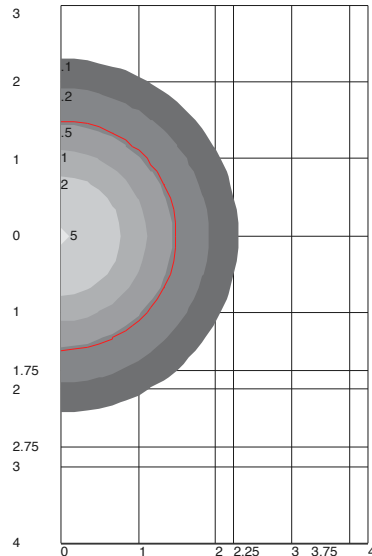
Wall Mounting Outdoor Fixture

DRIVER LED50W-142-C0350

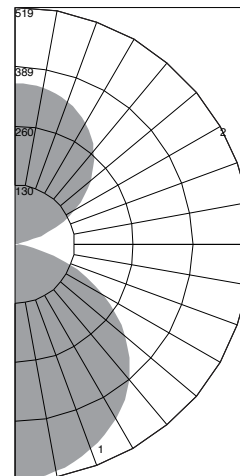
Lamp	LED
Lumens	2400
Watts	25
Efficacy	96
Mounting	Wall
Spacing Criterion (0-180)	1.20

ZONE	LUMENS	% FIXT.
Front Low (0-30)	201.4	8.4
Front Medium (30-60)	387.5	16.1
Front High (60-80)	119.6	5.0
Front Very High (80-90)	3.5	0.1
Back Low (0-30)	201.4	8.4
Back Medium (30-60)	387.5	16.1
Back High (60-80)	119.6	5.0
Back Very High (80-90)	3.5	0.1
Uplight Low (90-100)	5.6	0.2
Uplight High (100-180)	970.7	40.4

ISOMETRIC FOOT CANDLES



POLAR GRAPH





CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION CASE MEMO

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Planning and Zoning Commission
DATE: November 14, 2023
APPLICANT: Juan Vasquez; *Vasquez Engineering, LLC*
CASE NUMBER: SP2023-036; *Site Plan for Kennor Rockwall*

SUMMARY

Discuss and consider a request by Juan J. Vasquez of Vasquez Engineering, LLC on behalf of Shae Shoulders of Kennor Rockwall Retail, LLC for the approval of a Site Plan for two (2) commercial/retail buildings on a 1.93-acre parcel of land identified as Lots 8 & 9, Block A, Dalton-Goliad Addition, City of Rockwall, Rockwall County, Texas, zoned General Retail (GR) District, situated within the North SH-205 Overlay (N. SH-205 OV) District, addressed as 3611 & 3775 N. Goliad Street [SH-205], and take any action necessary.

BACKGROUND

The subject property was annexed by the City Council on November 7, 1983 by *Ordinance No. 83-57 [Case No. A1983-002]*. Based on the City's historic zoning maps the subject property was rezoned from an Agricultural (AG) District to a General Retail (GR) District at some point between November 7, 1983 and December 7, 1993. On February 15, 2016, the City Council approved a preliminary plat [Case No. P2016-004] for Lots 1-6, Block A, Dalton-Goliad Addition. This approval was followed by a final plat [Case No. P2016-034], which was approved by the City Council on August 1, 2016. This final plat created Lots 1-3, Block A, Dalton-Goliad Addition. On December 4, 2017, the City Council approved a replat [Case No. P2017-062] subdividing Lot 2, Block A into Lots 4 & 5, Block A and establishing the subject property (*i.e. Lot 4, Block A, Dalton-Goliad Addition*); however, this replat was never filed. Prior to the replat, a Specific Use Permit (SUP) [S-171; *Ordinance No. 17-39; Case No. Z2017-029*] was approved by the City Council on August 7, 2017. This approval allowed a *Restaurant, Greater Than 2,000 SF with a Drive-Through or Drive-In (i.e. Freddy's Frozen Custard)* on the subject property. On September 12, 2017, the Planning and Zoning Commission approved a site plan [Case No. SP2017-024] for the proposed restaurant; however, the restaurant was never constructed, and the site plan and the Specific Use Permit (SUP) have since expired. On December 7, 2020, the City Council approved a conveyance plat [Case No. P2020-048] for the purpose of subdividing one (1) lot (*i.e. Lot 2, Block A, Dalton-Goliad Addition*) into four (4) lots (*i.e. Lots 4-7, Block A, Dalton Goliad Addition*) to convey the property. This conveyance plat established the subject property as Lot 5, Block A, Dalton-Goliad Addition. On March 15, 2021, the City Council denied a Specific Use Permit (SUP) request [Case No. Z2021-002] for a *Self-Service Car Wash*. On June 1, 2021, the City Council approved a replat [Case No. P2021-016] that established the subject property as Lots 8 & 9, Block A, Dalton-Goliad Addition. On October 2, 2023, the City Council approved a Specific Use Permit (SUP) [Case No. Z2023-042] for a *Restaurant, Greater Than 2,000 SF with a Drive-Through or Drive-In*. The subject property is currently vacant.

PURPOSE

On October 20, 2023, the applicant – *Juan Vasquez of Vasquez Engineering, LLC* -- submitted an application requesting the approval of a Site Plan for the purpose of constructing two (2) restaurant/retail buildings on the subject property.

ADJACENT LAND USES AND ACCESS

The subject property is addressed as 3611 & 3775 N. Goliad Street [SH-205]. The land uses adjacent to the subject property are as follows:

North: Directly north of the subject property is Phase 2 of the Harlan Park Subdivision, which consists of 30 single-family residential lots. Beyond this is Phase 1 of the Harlan Park Subdivision, which consists of 65 single-family residential lots. Both of these subdivisions are zoned Single-Family 10 (SF-10) District.

South: Directly south of the subject property are Lots 1, 3, & 6, Block A, Dalton-Goliad Addition. Lot 3 is currently occupied by a strip retail center with several tenants (i.e. Marco's Pizza, Hittson Dental, and Venice Nail Salon). Adjacent to and south of the strip center is Lot 1, which is occupied with an Aldi's Grocery Store. These properties are zoned General Retail (GR) District. South of this is Dalton Road, which is identified as a M4U (i.e. major collector, four [4] lane, undivided roadway) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan.

East: Directly east of the subject property is N. Goliad Street [SH-205], which is identified as a A4D (i.e. major arterial, four [4] lane, divided roadway) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this is the corporate limits of the City followed by properties in the City's Extraterritorial Jurisdiction (ETJ) that have existing single-family homes situated on them. Adjacent to and south of this area is a Sonic Drive-In and 7-Eleven Gas Station, both of which are situated within the City limits and are zoned General Retail (GR) District.

West: Directly west of the subject property is a vacant 2.402-acre parcel of land (i.e. Lot 6, Block A, Dalton-Goliad Addition). This property is zoned General Retail (GR) District. Beyond this is the Nebbie Williams Elementary School, which is situated on a 11.599-acre parcel of land (i.e. Lot 1, Block A, Rockwall School North Addition). This property is zoned Single-Family 10 (SF-10) District.

DENSITY AND DIMENSIONAL REQUIREMENTS

According to Section 01, *Land Use Schedule*, of Article 04, *Permissible Uses*, of the Unified Development Code (UDC), a *General Retail Building* is permitted *by-right* in a General Retail (GR) District. In addition, *Specific Use Permit No. S-316* allows a *Restaurant, 2,000 SF or Greater, with Drive Through or Drive-In* on the subject property in accordance with the requirements of *Ordinance No. 23-57*. The submitted site plan, landscape plan, photometric plan, and building elevations generally conform to the technical requirements contained within the Unified Development Code (UDC) for a property located within a General Retail (GR) District. A summary of the density and dimensional requirements for the subject property are as follows:

<i>Ordinance Provisions</i>	<i>Zoning District Standards</i>	<i>Conformance to the Standards</i>
<i>Minimum Lot Area</i>	6,000 SF	X=1.93-acres; In Conformance
<i>Minimum Lot Frontage</i>	60-Feet	X= 278.84-feet; In Conformance
<i>Minimum Lot Depth</i>	100-Feet	X=292.95-feet; In Conformance
<i>Minimum Front Yard Setback</i>	15-Feet	X>15-feet; In Conformance
<i>Minimum Rear Yard Setback</i>	10-Feet	X>10-feet; In Conformance
<i>Minimum Side Yard Setback</i>	10-Feet	X>10-feet; In Conformance
<i>Maximum Building Height</i>	36-Feet	X=22-feet; In Conformance
<i>Max Building/Lot Coverage</i>	40%	X=14.73%; In Conformance
<i>Minimum Number of Parking Spaces</i>	1 Parking Space/100 SF (Restaurant) 1 Parking Space/250 SF (Retail) 92 Required Parking Spaces	X=96; In Conformance
<i>Minimum Landscaping Percentage</i>	20%	X=20.72%; In Conformance
<i>Maximum Impervious Coverage</i>	85-90%	X=79.27%; In Conformance

CONFORMANCE WITH THE CITY'S CODES

According to Subsection 04.04, *General Retail (GR) District*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC), "(t)he General Retail (GR) District is a zoning district intended to provide *limited* retail and service uses for one (1) or more neighborhoods. The land uses specified in this district include most types of retail and office activity, and are typically located on/at the intersections of major roadways." In this case, the applicant is proposing two (2) restaurant/retail buildings. In addition, the subject property is close to the intersection of FM-552 and N. Goliad Street [SH-

205], and has access to both of these roadways. This section goes on to state that “(t)he General Retail (GR) District is not a major commercial/retail district, and should avoid intensive commercial land uses that carry large volumes of retail traffic. The noise, traffic, litter, late night hours, and other influences that could be harmful to residential areas require adequate buffering and screening from residential areas.” Staff should point out that the subject property is directly adjacent to a residentially zoned property along the northern boundary. Given this, the applicant is proposing three (3) tiered screening (*i.e.* [1] a small to mid-sized shrub, [2] large shrubs or accent trees, and [3] canopy trees on 20-foot centers) along the northern property line. Based on staff’s review of the applicant’s project compared to the City’s codes, the request does appear to meet the City’s requirements.

CONFORMANCE WITH OURHOMETOWN VISION 2040 COMPREHENSIVE PLAN

According to the Future Land Use Plan contained in the OURHometown Vision 2040 Comprehensive Plan, the subject property is situated within the North Lakeshore District and is designated for Commercial/Retail land uses. More specifically the North Lakeshore District describes these land uses as Neighborhood/Convenience Centers, which should “... support the existing and proposed residential developments and should be compatible in scale with the adjacent residential structures.” In this case, the proposed request is consistent with the adjacent Commercial/Retail development, and is in conformance with the Future Land Use Map contained in the OURHometown Vision 2040 Comprehensive Plan.

ARCHITECTURAL REVIEW BOARD (ARB) RECOMMENDATION

On November 1, 2023 the Architecture Review Board (ARB) reviewed the building elevations provided by the applicant. The ARB requested the applicant to match the materials of the adjacent building, remove the stucco banding, and provide awnings over the west side doors. The applicant has made the changes to the building elevations, which will be reviewed by the ARB prior to the November 14, 2023 meeting.

CONDITIONS OF APPROVAL

If the Planning and Zoning Commission chooses to approve the applicant’s Site Plan for the construction of two (2) restaurant/retail buildings on the *subject property*, then staff would propose the following conditions of approval:

- (1) All staff comments provided by the Planning, Engineering and Fire Department must be addressed prior to the submittal of engineering plans.
- (2) Any construction resulting from the approval of this Site Plan shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. _____

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹
- REPLAT (\$300.00 + \$20.00 ACRE) ¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) ¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ^{1 & 2}
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) ²

NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.

²: A **\$1,000.00** FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS Not assigned yet

SUBDIVISION Dalton Goliad Addition

LOT 8&9

BLOCK A

GENERAL LOCATION West side of S.H. 205 two lots north of Dalton Road

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING GR w/N SH 205 Overlay

CURRENT USE Vacant

PROPOSED ZONING Same

PROPOSED USE Retail/Rest. Shopping Center

ACREAGE 1.93

LOTS [CURRENT] 2

LOTS [PROPOSED] 1

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER Kennor Rockwall Retail, LLC

APPLICANT Vasquez Engineering, LLC

CONTACT PERSON Shane Shoulders

CONTACT PERSON Juan J. Vasquez

ADDRESS 8848 Greenville Ave.

ADDRESS 1919 S. Shiloh Road

Suite 440

CITY, STATE & ZIP Dallas, TX 75243

CITY, STATE & ZIP Garland, TX 75042

PHONE 903-819-1208

PHONE 972-278-2948

E-MAIL sshoulders@sbcglobal.net

E-MAIL jvasquez@vasquezengineering.com

NOTARY VERIFICATION [REQUIRED]

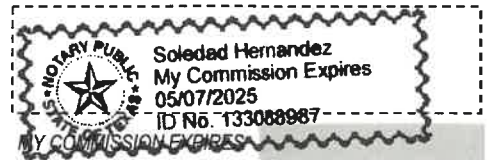
BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED David Shane Shoulders [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

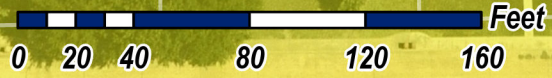
"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ ^{288.00} _____, TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 17th DAY OF October, 2023 BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 17th DAY OF October, 2023

OWNER'S SIGNATURE _____

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS _____






SHANNON DR

SF-10

GR

N GOLIAD ST

205

Case Location Map = 

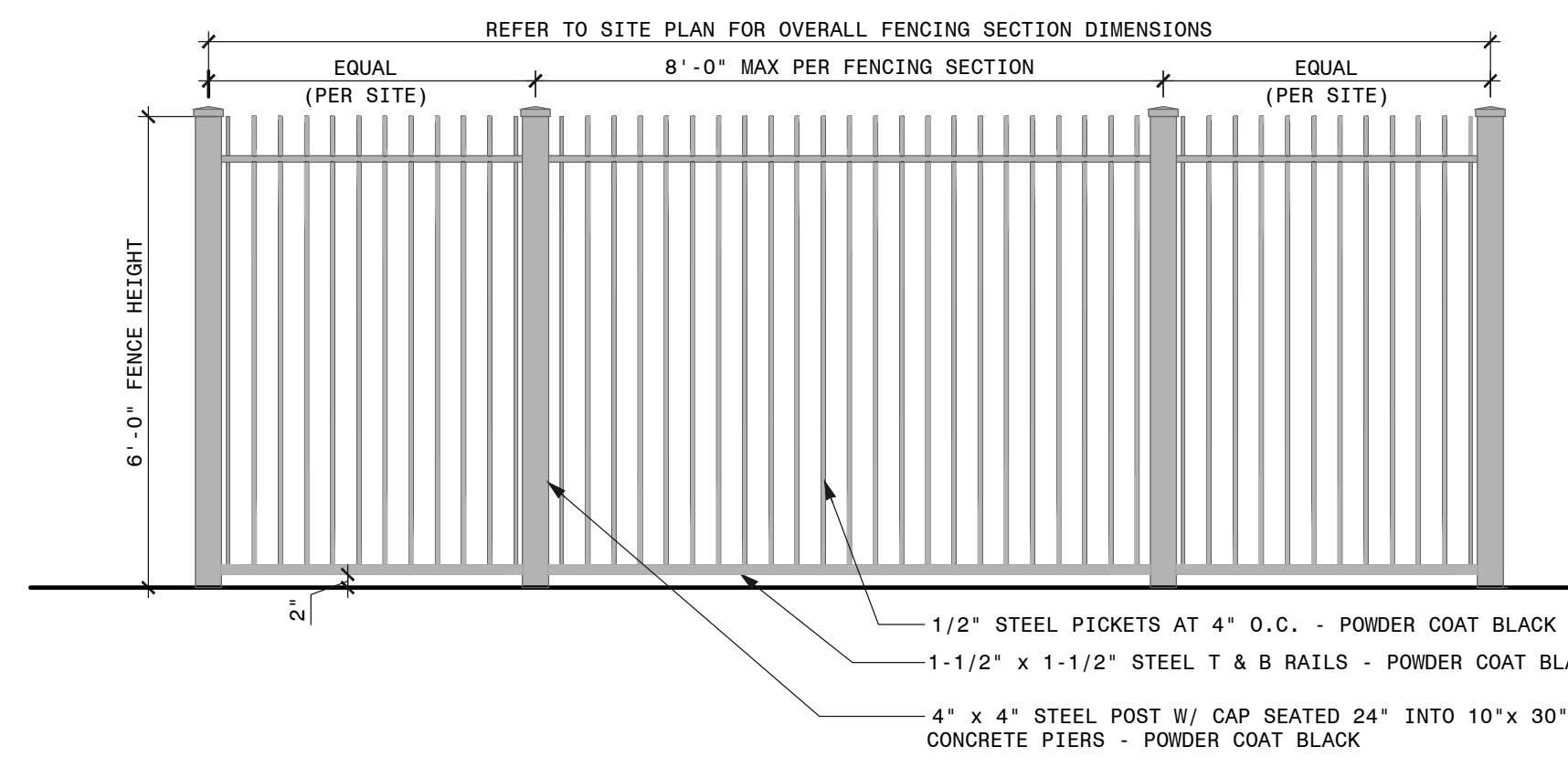


City of Rockwall

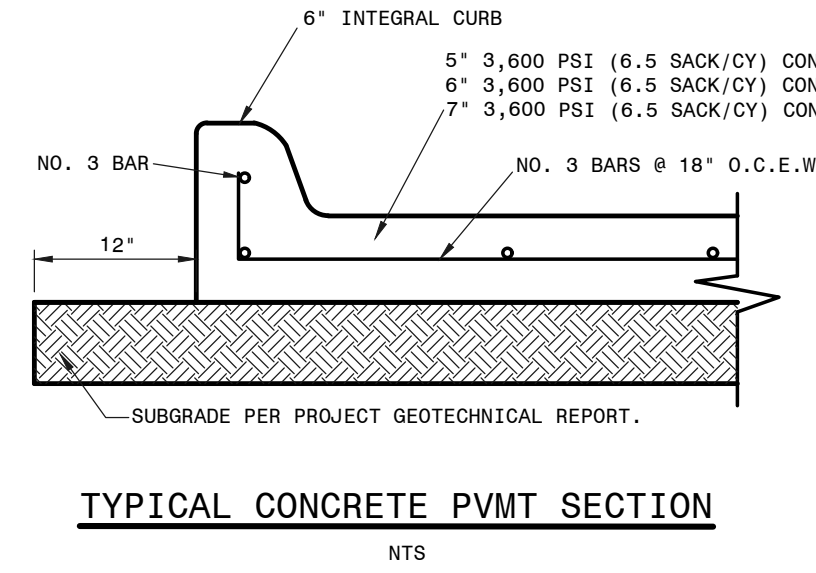
Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

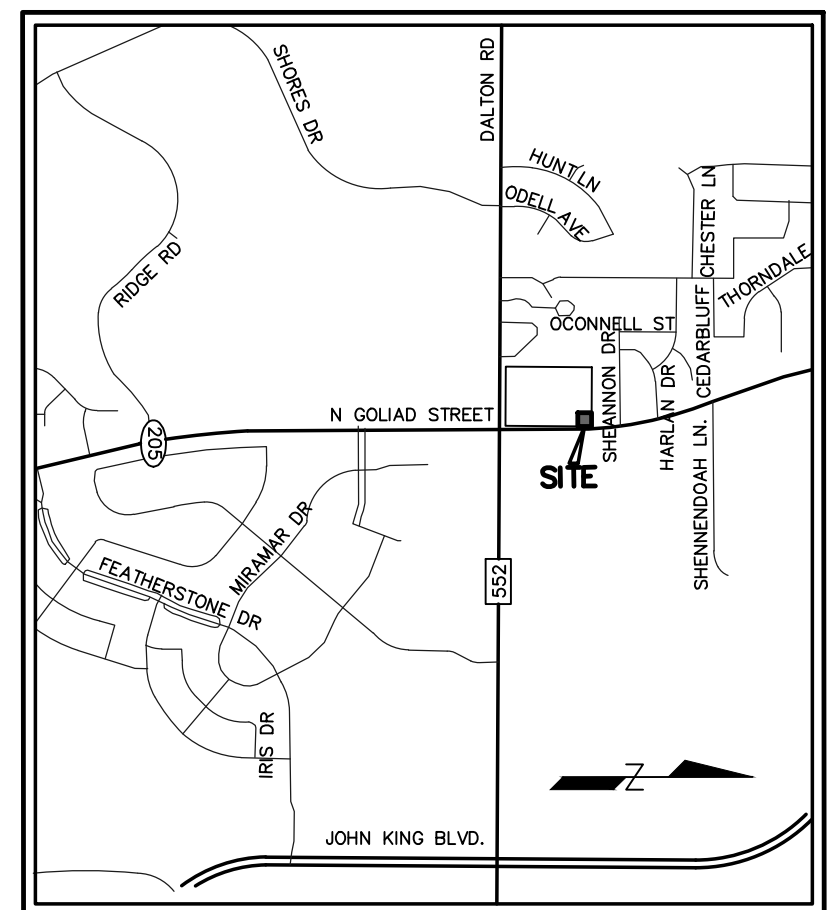
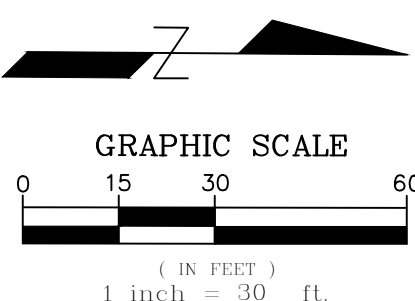
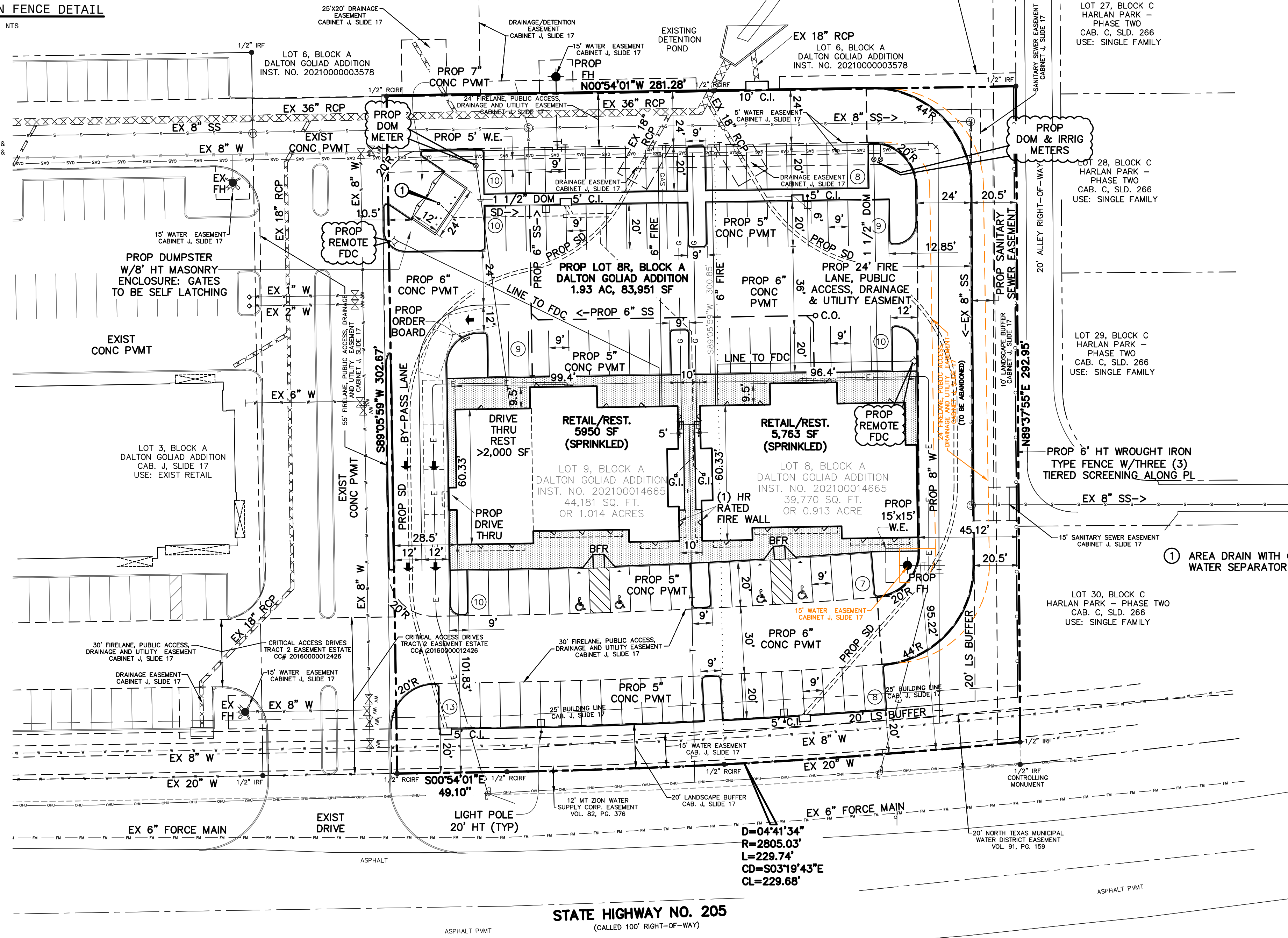




WROUGHT IRON FENCE DETAIL



TYPICAL CONCRETE PVMT SECTION



LOCATION MAP

LEGEND table with columns for EXISTING, PROPOSED, and descriptions such as PROPERTY LINE, PAVEMENT, CENTER LINE, CONC WALK, PARKING COUNT, STACKING, WATER, SEWER, FORCE MAIN, STORM SEWER, ELEC, GAS, TELEPHONE, FENCE, WATER VALVE, FIRE HYDRANT, FDC, WATER METER, SAN. SEWER MH, CURB INLET, GRATE INLET, and LIGHT POLE.

SITE SUMMARY TABLE with rows for Site Address, County, Project Name, Zoning District, Proposed use, Site Area, Building Area, Building Height, Lot Coverage, Floor Area Ratio, Parking Required, Total Parking Required, and Impervious Area Ratio.

APPROVED: I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN FOR A DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE PLANNING & ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE _____ DAY OF _____ 20____

- NOTES: 1. TOPOGRAPHY SURVEY PREPARED BY PEISER & MANKIN SURVEYING, LLC, DATED 06/28/2023. 2. PROPERTY OWNER RESPONSIBLE FOR MAINTAINING, REPAIRING, AND REPLACEMENT OF THE DETENTION/DRAINAGE SYSTEM.

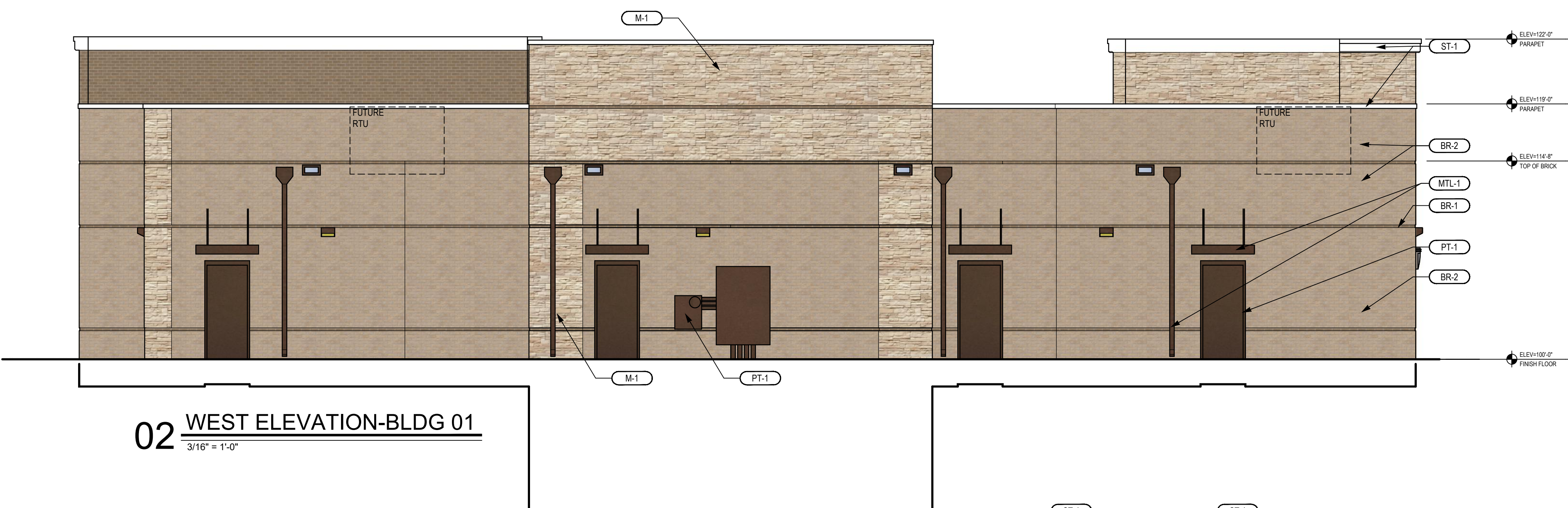
OWNER/DEVELOPER: KENNOR ROCKWALL RETAIL, LLC. 8848 GREENVILLE AVE. DALLAS, TEXAS 75243 PHONE: 903-819-1208 CONTACT: SHANE SHOULDERS

SITE PLAN KENNOR ROCKWALL RETAIL LOTS 8 & 9, BLOCK A DALTON GOLIAJ ADDITION 1.93 ACRES ROCKWALL, ROCKWALL COUNTY, TEXAS NOVEMBER 09, 2023 CASE #SP2023-036

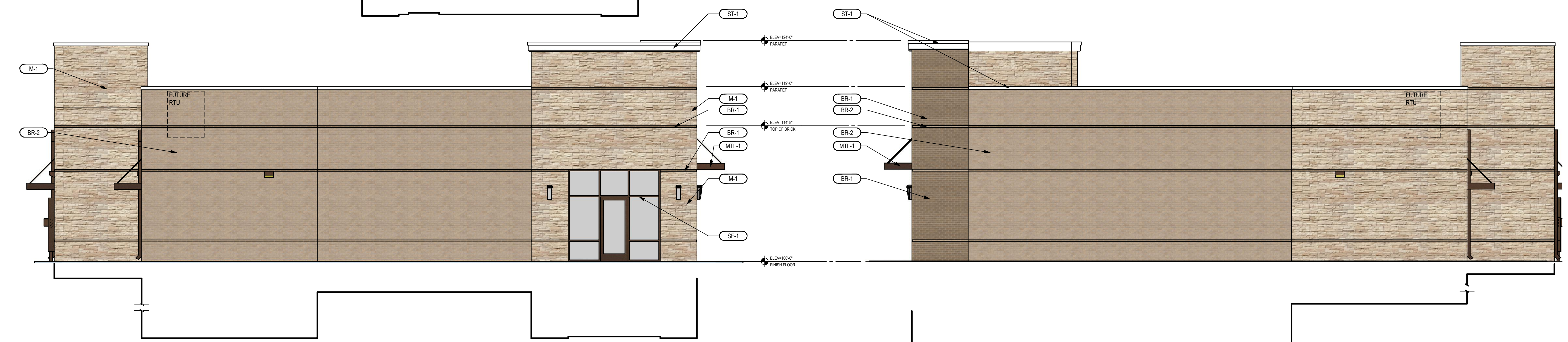
Vertical sidebar containing: VASQUEZ ENGINEERING, L.L.C. logo and contact info; DEVELOPER: KENNOR ROCKWALL RETAIL, LLC; SITE PLAN title; and a small table with columns for Scale, Date, and sheet number (SP1).



01 EAST ELEVATION-BLDG 01 (PRIMARY FACADE)
3/16" = 1'-0"



02 WEST ELEVATION-BLDG 01
3/16" = 1'-0"



04 SOUTH ELEVATION-BLDG 01
3/16" = 1'-0"

03 NORTH ELEVATION-BLDG 01
3/16" = 1'-0"

FINISH KEY	DESCRIPTION / LOCATION	COLOR / MATERIAL	MANUFACTURER / FINISH	NOTES
PT-1	PAINT	SW7645 THUNDER GRAY	SHERWIN WILLIAMS	MED BRONZE MATCH
BR-1	BRICK VENEER	BROWN MUSHROOM	ACME BRICK	GRAY MORTAR
BR-2	BRICK VENEER	AMERICANA	ACME BRICK	GRAY MORTAR
SF-1	STOREFRONT SYSTEM	MEDIUM BRONZE	KAWNEER	CENTER SET
M-1	STONE	LUEDERS	LUEDERS STONE	
MLT-1	METAL TRIM/CANOPIES	MED BRONZE	BERRIDGE	DOWNSPOUTS TO MATCH
ST-1	SYNTHETIC STUCCO	35237 CLOUD	STO	FINE FINISH SW6203 COLOR MATCH

MATERIAL CALCULATIONS								
WALL AREA (ALL IN SF)	NORTH	SOUTH	EAST	WEST				
TOTAL FACADE AREA	1297	1289	2080	1960				
FACADE SF EXCLUDING DOORS & WINDOWS	1197	1273	1480	1876				
DOORS & WINDOWS	100	16	600	84				
FACADE CALCULATIONS								
STONE	434	36%	370	29%	416	28%	588	31%
BRICK (BR1)	143	12%	0	0%	535	36%	0	0%
BRICK (BR2)	614	51%	883	69%	479	32%	1258	67%
SYNTHETIC STUCCO (ST-1)	6	1%	20	2%	50	3%	30	2%
TOTAL SF / % OF FACADE	1197	100%	1273	100%	1480	100%	1876	100%

NOTE - EAST ELEVATION FACES PUBLIC RIGHT OF WAY
NOTE - PARAPET TO BE ENCLOSED. BACKS OF PARAPETS TO BE FINISHED SAME AS FACING SIDE WHERE VISIBLE.

APPROVED: I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN FOR A DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE PLANNING & ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE ____ DAY OF _____, 20__.
WITNESS OUT HANDS, THIS ____ DAY OF _____.

PLANNING & ZONING COMMISSION, CHAIRMAN

DIRECTOR OF PLANNING AND ZONING

OWNER / DEVELOPER:
KENNOR ROCKWALL RETAIL, LLC.
8848 GREENVILLE AVE.
DALLAS, TEXAS 75243
PHONE: 903-819-1208
CONTACT: SHANE SHOULDERS

ENGINEER:
VASQUEZ ENGINEERING, L.L.C.
1919 S. SHILOH ROAD, SUITE 440
GARLAND, TEXAS 75042
PHONE: 972-272-4610
CONTACT: JUAN J. VASQUEZ, P.E.

BUILDING ELEVATIONS
KENNOR ROCKWALL RETAIL
LOT 8 & 9, BLOCK A
DALTON GOLIAD ADDITION
1.93 ACRES
ROCKWALL, ROCKWALL COUNTY, TEXAS
OCTOBER 20, 2023
CASE #SP2023-036

NCA Partners
ARCHITECTURE

5646 MILTON ST.
SUITE 610
DALLAS, TX 75206
214.361.9901
214.361.9906 FAX
ncapartners.com

PRELIMINARY
THIS DOCUMENT SHALL NOT BE USED FOR REGULATORY APPROVAL, PERMIT, OR CONSTRUCTION. RELEASED UNDER THE AUTHORITY OF NICHOLAS K. CADE, TB&E LICENSE #9301

DEVELOPER:
KENNOR ROCKWALL RETAIL, LLC
8848 GREENVILLE AVE.
DALLAS, TEXAS 75243

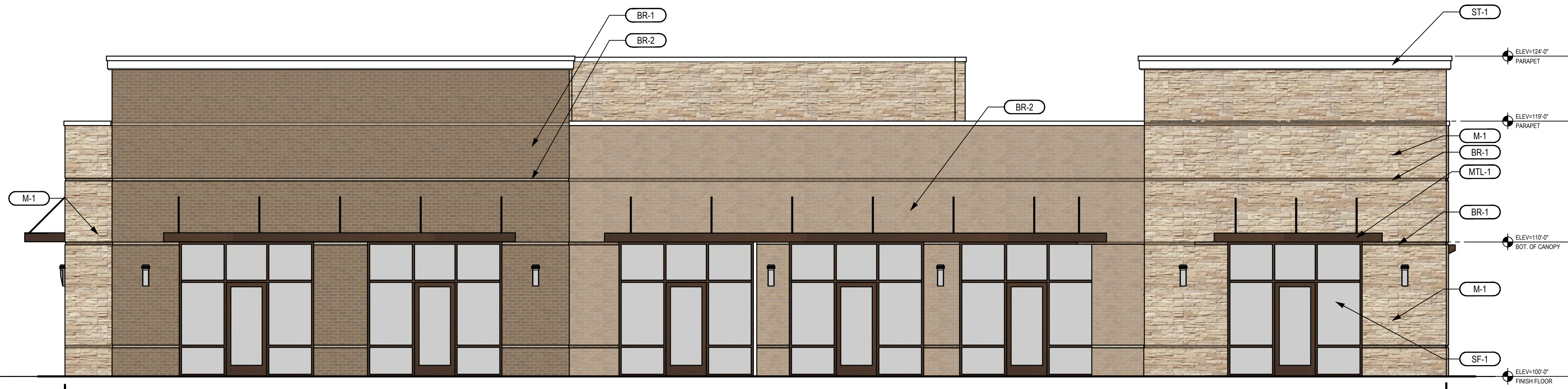
BUILDING ELEVATIONS - BLDG 01
KENNOR ROCKWALL RETAIL
LOT 8R, BLOCK A
DALTON GOLIAD ADDITION
CITY OF ROCKWALL, TX.

Scale: 3/16" = 1'-0"
Designed by: KAB
Drawn by: KAB
Checked by: KAB
Date: 11/06/2023

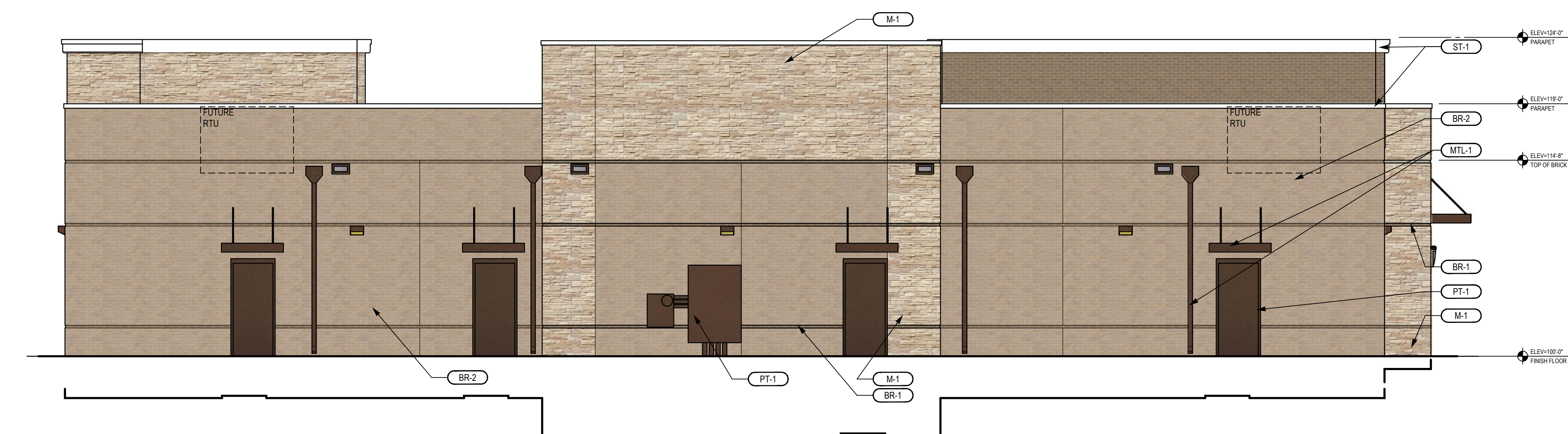
SHEET
A301

VASQUEZ ENGINEERING, L.L.C.
1919 S. Shiloh Road
Suite 440, LB 44
Garland, Texas 75042
Ph: 972-272-2948
TX Registration # F-12266

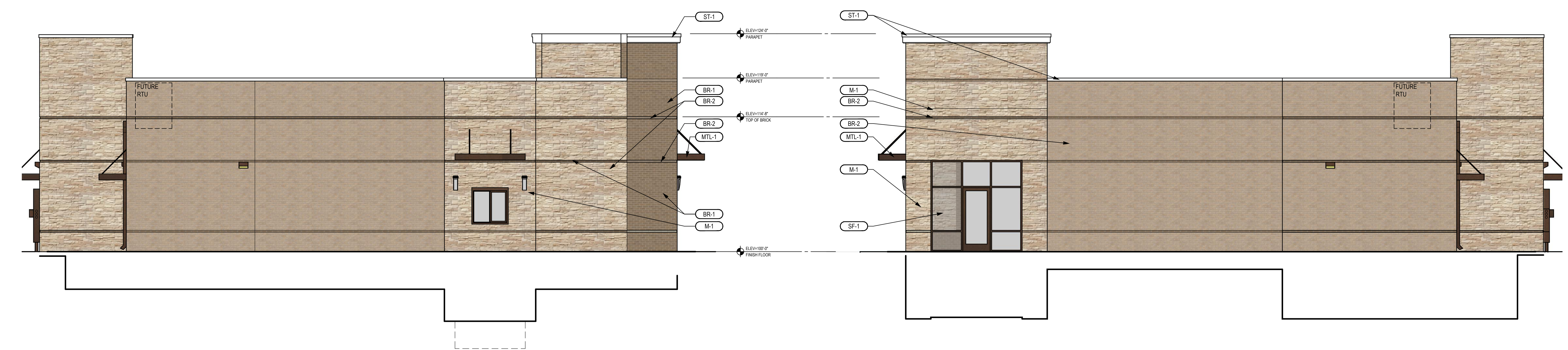
THIS DOCUMENT IS FOR INTERIM REVIEW AND IS NOT TO BE USED FOR CONSTRUCTION OR BIDDING PURPOSES WITHOUT THE WRITTEN CONSENT OF VASQUEZ ENGINEERING, L.L.C. DATED 10/20/2023. VASQUEZ ENGINEERING, L.L.C. LICENSE # 14265 P-1628



01 EAST ELEVATION-BLDG 02 (PRIMARY FACADE)
3/16" = 1'-0"



02 WEST ELEVATION-BLDG 02
3/16" = 1'-0"



04 SOUTH ELEVATION-BLDG 02
3/16" = 1'-0"

03 NORTH ELEVATION-BLDG 02
3/16" = 1'-0"

FINISH KEY	DESCRIPTION / LOCATION	COLOR / MATERIAL	MANUFACTURER / FINISH	NOTES
PT-1	PAINT	SW7645 THUNDER GRAY	SHERWIN WILLIAMS	MED BRONZE MATCH
BR-1	BRICK VENEER	BROWN MUSHROOM	ACME BRICK	GRAY MORTAR
BR-2	BRICK VENEER	AMERICANA	ACME BRICK	GRAY MORTAR
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M-1	STONE	LUEDERS	LUEDERS STONE	
MLT-1	METAL TRIMCANOPIES	MED BRONZE	BERRIDGE	DOWNSPOUTS TO MATCH
ST-1	SYNTHETIC STUCCO	35237 CLOUD	STO	FINE FINISH SW6203 COLOR MATCH

MATERIAL CALCULATIONS								
WALL AREA (ALL IN SF)	NORTH	SOUTH	EAST	WEST				
TOTAL FACADE AREA	1297	1289	2224	2097				
FACADE SF EXCLUDING DOORS & WINDOWS	1197	1273	1624	2013				
DOORS & WINDOWS	100	16	600	84				
FACADE CALCULATIONS								
STONE	254	21%	375	29%	415	27%	378	19%
BRICK (BR1)	0	0%	115	9%	514	34%	0	0%
BRICK (BR2)	937	78%	763	60%	551	36%	1600	79%
SYNTHETIC STUCCO (ST-1)	6	1%	20	2%	50	3%	35	2%
TOTAL SF / % OF FACADE	1197	100%	1273	100%	1530	100%	2013	100%

NOTE - EAST ELEVATION FACES PUBLIC RIGHT OF WAY
NOTE - PARAPET TO BE ENCLOSED. BACKS OF PARAPETS TO BE FINISHED SAME AS FACING SIDE WHERE VISIBLE.

APPROVED:
I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN FOR A DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE PLANNING & ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE _____ DAY OF _____, 20____.

WITNESS OUR HANDS, THIS _____ DAY OF _____

PLANNING & ZONING COMMISSION, CHAIRMAN _____ DIRECTOR OF PLANNING AND ZONING _____

OWNER/DEVELOPER:
KENNOR ROCKWALL RETAIL, LLC.
8848 GREENVILLE AVE.
DALLAS, TEXAS 75243
PHONE: 903-819-1208
CONTACT: SHANE SHOULDERS

ENGINEER:
VASQUEZ ENGINEERING, L.L.C.
1919 S. SHILOH ROAD, SUITE 440
GARLAND, TEXAS 75042
PHONE: 972-272-4610
CONTACT: JUAN J. VASQUEZ, P.E.

BUILDING ELEVATIONS
KENNOR ROCKWALL RETAIL
LOT 8 & 9, BLOCK A
DALTON GOLIAD ADDITION
1.93 ACRES
ROCKWALL, ROCKWALL COUNTY, TEXAS
OCTOBER 20, 2023
CASE #SP2023-036

NCA Partners
ARCHITECTURE

5646 MILTON ST.
SUITE 610
DALLAS, TX 75206
214.361.9901
214.361.9906 FAX
ncapartners.com

PRELIMINARY
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APP. _____
NO. _____ DATE _____

VASQUEZ ENGINEERING, L.L.C.
1919 S. SHILOH ROAD
SUITE 440, LB 44
GARLAND, TEXAS 75042
PH: 972-272-2948
TX REGISTRATION # F-12266

THIS DOCUMENT IS FOR INTERIM REVIEW AND IS NOT TO BE USED FOR CONSTRUCTION OR BIDDING PURPOSES WITHOUT THE WRITTEN CONSENT OF VASQUEZ ENGINEERING, L.L.C. DATED 10/20/2023. VASQUEZ ENGINEERING, L.L.C. TB&E P-1628

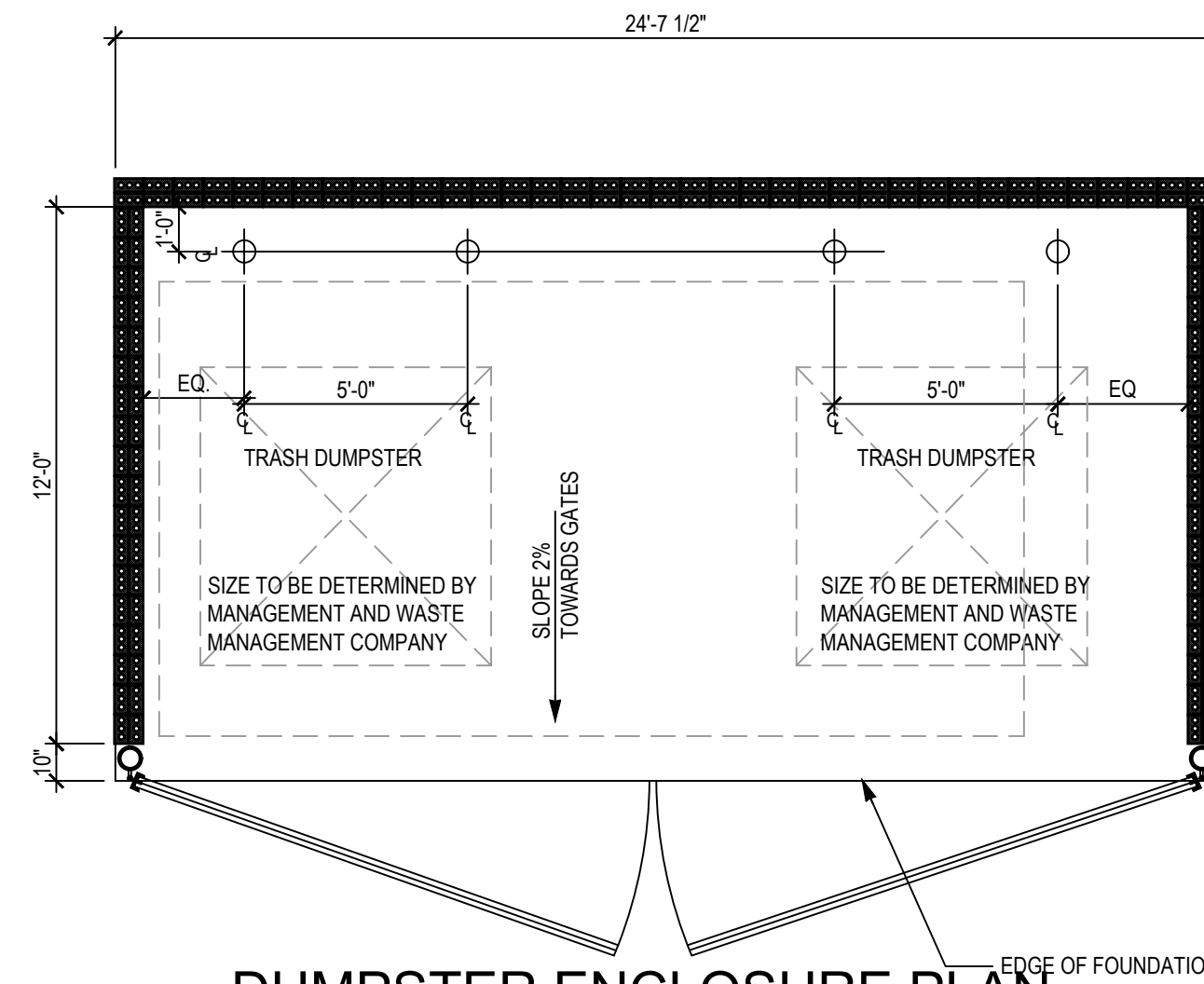
DEVELOPER:
KENNOR ROCKWALL RETAIL, LLC
8848 GREENVILLE AVE.
DALLAS, TEXAS 75243

BUILDING ELEVATIONS - BLDG 02

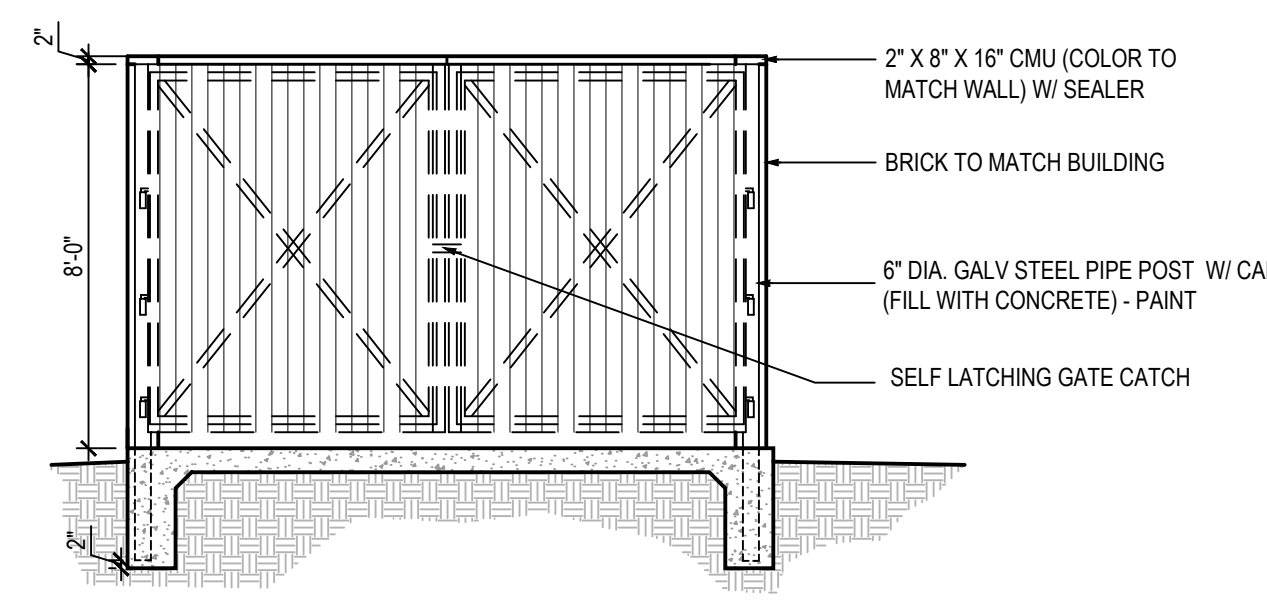
KENNOR ROCKWALL RETAIL
LOT 8R, BLOCK A
DALTON GOLIAD ADDITION
CITY OF ROCKWALL, TX.

Scale: 3/16" = 1'-0"
Designed by: KAB
Drawn by: KAB
Checked by: KAB
Date: 11/06/2023

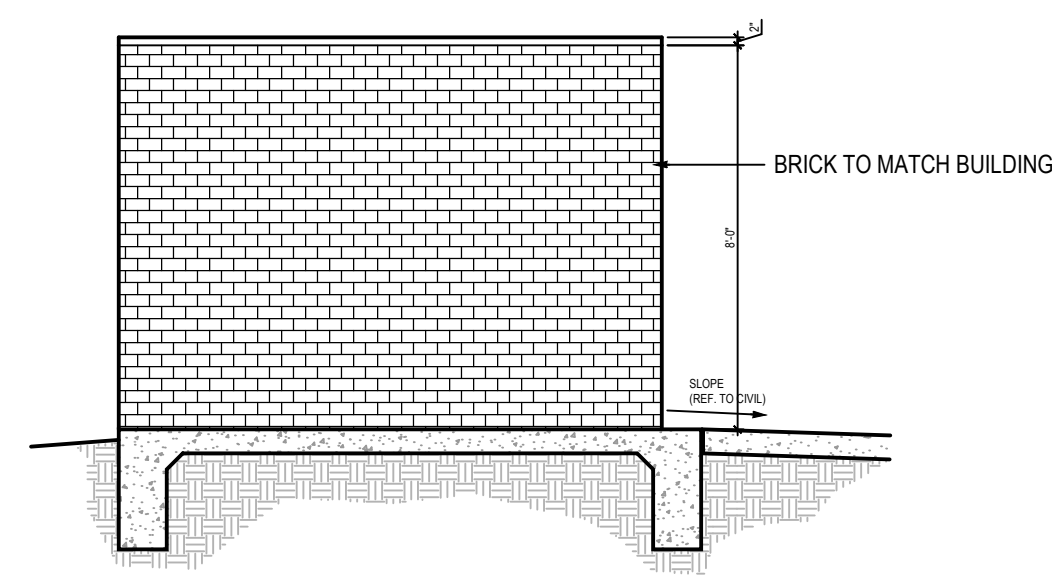
SHEET
A302



04 DUMPSTER ENCLOSURE PLAN
1/4"=1'



05 DUMPSTER ENCLOSURE FRONT ELEVATION
1/4"=1'-0"



06 DUMPSTER ENCLOSURE SIDE ELEVATION
1/4"=1'-0"

APPROVED:
I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN FOR A DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE PLANNING & ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE _____ DAY OF _____, 20____.

WITNESS OUR HANDS, THIS _____ DAY OF _____

PLANNING & ZONING COMMISSION, CHAIRMAN _____ DIRECTOR OF PLANNING AND ZONING _____

OWNER/DEVELOPER:
KENNOR ROCKWALL RETAIL, LLC.
8848 GREENVILLE AVE.
DALLAS, TEXAS 75243
PHONE: 903-819-1208
CONTACT: SHANE SHOULDERS

ENGINEER:
VASQUEZ ENGINEERING, L.L.C.
1919 S. SHILOH ROAD, SUITE 440
GARLAND, TEXAS 75042
PHONE: 972-272-4610
CONTACT: JUAN J. VASQUEZ, P.E.

BUILDING ELEVATIONS
KENNOR ROCKWALL RETAIL
LOT 8 & 9, BLOCK A
DALTON GOLIAD ADDITION
1.93 ACRES
ROCKWALL, ROCKWALL COUNTY, TEXAS
OCTOBER 20, 2023
CASE #SP2023-036

DUMPSTER DETAIL
KENNOR ROCKWALL RETAIL
LOT 8R, BLOCK A
DALTON GOLIAD ADDITION
CITY OF ROCKWALL, TX.

NCA Partners
ARCHITECTURE

5646 MILTON ST.
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DALLAS, TX 75206
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DEVELOPER:
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8848 GREENVILLE AVE.
DALLAS, TEXAS 75243

VASQUEZ ENGINEERING, L.L.C.
1919 S. Shiloh Road
Suite 440, LB 44
Garland, Texas 75042
Ph: 972-272-2948
TX Registration # F-12266

NO.	DATE	APP.

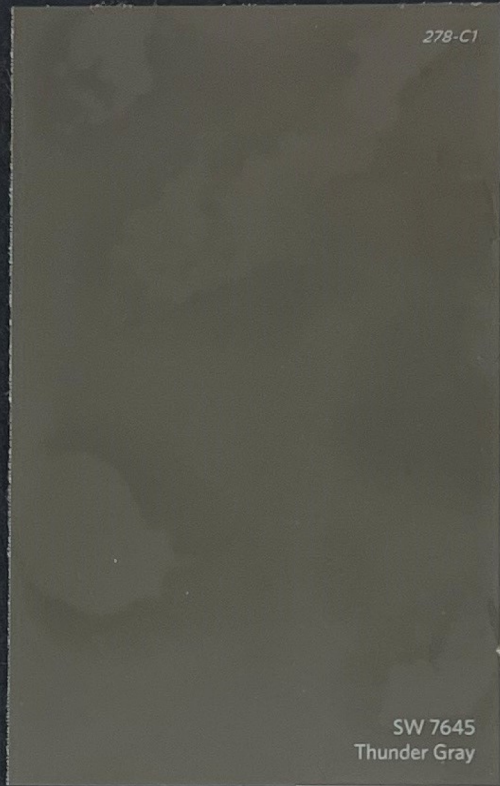
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Drawn by: KAB
Checked by: KAB
Date: 11/08/2023

SHEET
A303



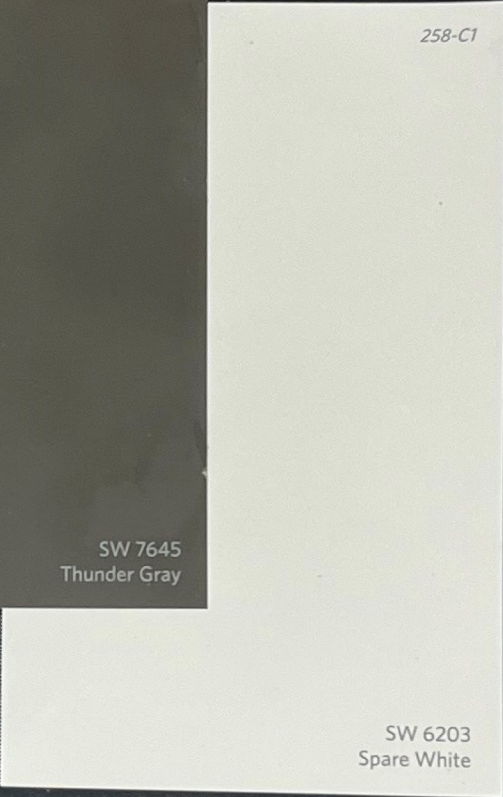
P1-SW7645
THUNDER GRAY

M1-STONE
CHAPEL BUFF



278-C1

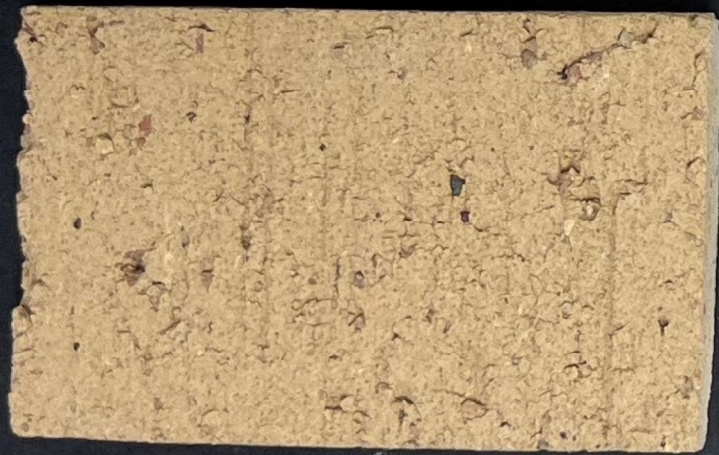
SW 7645
Thunder Gray



258-C1

SW 6203
Spare White

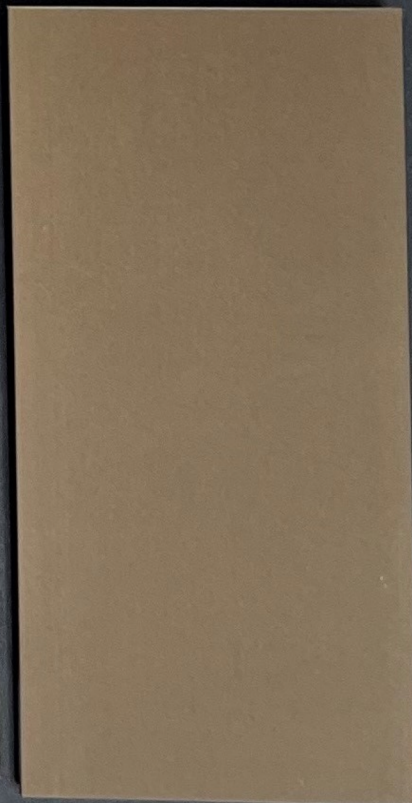
ST-1 STUCCO
SW6203 SPARE WHITE



BR2-BRICK
DOESKIN



BR1-BRICK
MARBLE GRAY

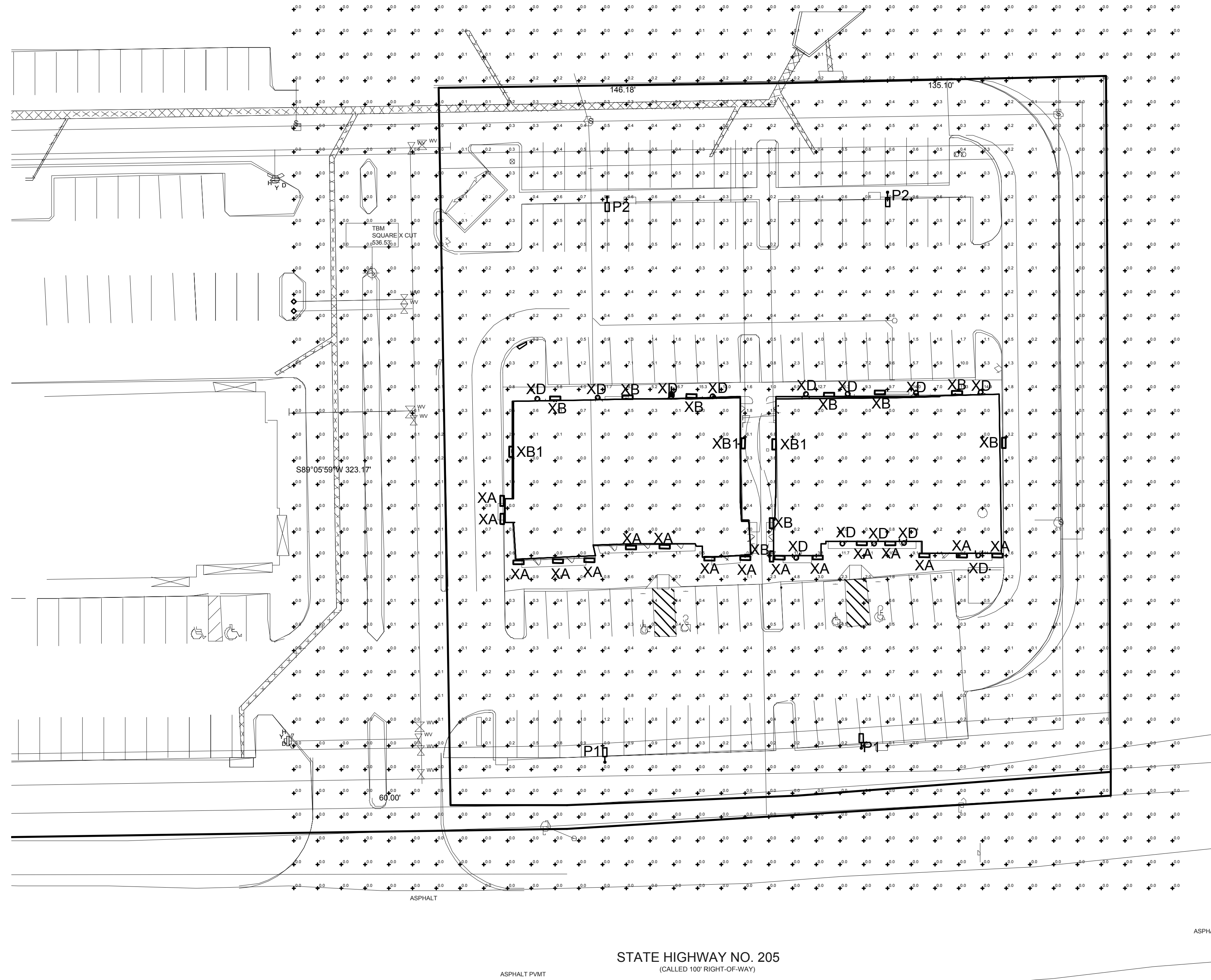


SF1-STOREFRONT
MED. BRONZE



MLT-1 METAL
MED. BRONZE

LIGHT FIXTURE SCHEDULE						
TYPE	MANUFACTURER	CATALOG NUMBER	LAMP TYPE	WATTS	VOLTS	COMMENTS
XA	SCOTT ARCHITECTURAL	S9205-L16 40K [FINISH]	LED	16	120-277	LED EXTERIOR DECORATIVE WALL SCNCE
XB	LITHONIA	ARC2P4 40K MVOLT [FINISH]	LED	30	120-277	LED WALL PACK
XB1	LITHONIA	ARC2P1 40K MVOLT [FINISH]	LED	10.6	120-277	LED WALL PACK
XD	EELP	OMEL 20W C BZ SD CPY1 CW1	LED	20	120-277	LED MULLION MOUNT EMERGENCY OVER DOOR LIGHT
P1	ACUITY BRANDS	DSX0 LED P1 40K 80CRI BLC4	LED	33.2	120-277	D-SERIES SIZE 0 AREA LUMINAIRE P1 PERFORMANCE PACKAGE 4000K CCT 80 CRI TYPE 4 EXTREME BACKLIGHT CONTROLBLC4. MOUNTING HEIGHT 20'.
P2	ACUITY BRANDS	DSX0 LED P1 40K 80CRI T5M	LED	33.2	120-277	D-SERIES SIZE 0 AREA LUMINAIRE P1 PERFORMANCE PACKAGE 4000K CCT 80 CRI TYPE 5 MEDIUM. MOUNTING HEIGHT 20'.



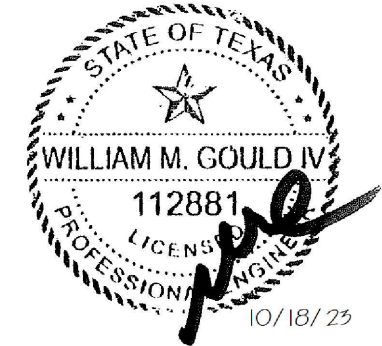
1 PHOTOMETRIC PLAN
SCALE = 1"=30'

PHOTOMETRIC PLAN
KENNOR ROCKWALL RETAIL
LOT 8 & 9, BLOCK A
DALTON GOLIAD ADDITION
1.93 ACRES
ROCKWALL, ROCKWALL COUNTY, TEXAS
OCTOBER 20, 2023
CASE #SP2023-036

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WITNESS OUT HANDS, THIS ____ DAY OF _____.

PLANNING & ZONING COMMISSION, CHAIRMAN

DIRECTOR OF PLANNING AND ZONING



JFTE
James F. Turner
Engineers, L.P.
2000 West Loop South, Suite 100
Dallas, Texas 75241
Tel: 214-752-2900
TX REGISTRATION # 12286

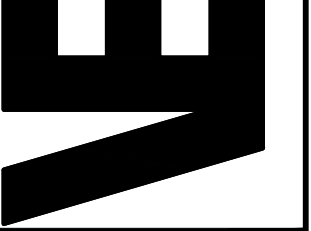
DEVELOPER:
KENNOR ROCKWALL RETAIL, LLC
8848 GREENVILLE AVE.
DALLAS, TEXAS 75243

PHOTOMETRIC PLAN
KENNOR ROCKWALL RETAIL
LOT 8R, BLOCK A
DALTON GOLIAD ADDITION
CITY OF ROCKWALL, TX.

Scale: 1" = 30'
Designed by: JJV
Drawn by: DRS
Checked by: JJV
720-01DWG/SITE PLANS/SP1-SITE PLAN.dwg
Date: 10/20/2023

SHEET
E1

VASQUEZ ENGINEERING, L.L.C.
1919 S. Shiloh Road
Suite 440, LB 44
Garland, Texas 75042
Ph: 972-279-2948
TX Registration # F-12286



THIS DOCUMENT IS FOR
INTERIM REVIEW AND IS
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WITHOUT WRITTEN PERMISSION
FROM VASQUEZ ENGINEERING, L.L.C.
DATED 10/20/2023
TX REG. # F-12286



D-Series Size 0 LED Area Luminaire



Catalog
Number

Notes

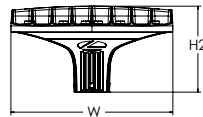
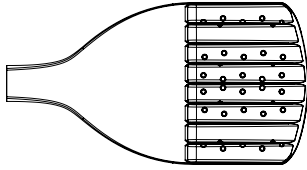
Type

Hit the Tab key or mouse over the page to see all interactive elements.

d[#]series

Specifications

EPA:	0.44 ft ² (0.04 m ²)
Length:	26.18" (66.5 cm)
Width:	14.06" (35.7 cm)
Height H1:	2.26" (5.7 cm)
Height H2:	7.46" (18.9 cm)
Weight:	23 lbs (10.4 kg)



Introduction

The modern styling of the D-Series features a highly refined aesthetic that blends seamlessly with its environment. The D-Series offers the benefits of the latest in LED technology into a high performance, high efficacy, long-life luminaire.

The photometric performance results in sites with excellent uniformity, greater pole spacing and lower power density. D-Series outstanding photometry aids in reducing the number of poles required in area lighting applications, with typical energy savings of 70% and expected service life of over 100,000 hours.

Ordering Information

EXAMPLE: DSX0 LED P6 40K 70CRI T3M MVOLT SPA NLTAIR2 PIRHN DDBXD

DSX0 LED	Series	LEDs	Color temperature ²	Color Rendering Index ²	Distribution	Voltage	Mounting		
DSX0 LED	Forward optics	P1 P5	30K 3000K	70CRI	AFR Automotive front row	T5M Type V medium	MVOLT (120V-277V) ⁴	Shipped included SPA Square pole mounting (#8 drilling, 3.5" min. SQ pole) RPA Round pole mounting (#8 drilling, 3" min. RND pole) SPA5 Square pole mounting (#5 drilling, 3" min. SQ pole) ⁹ RPA5 Round pole mounting (#5 drilling, 3" min. RND pole) ⁹ SPA8N Square narrow pole mounting (#8 drilling, 3" min. SQ pole) WBA Wall bracket ¹⁰ MA Mast arm adapter (mounts on 2 3/8" OD horizontal tenon)	
		P2 P6	40K 4000K	70CRI	T1S Type I short	T5LG Type V low glare	HVOLT (347V-480V) ^{5,6}		
		P3 P7	50K 5000K	70CRI	T2M Type II medium	T5W Type V wide	XVOLT (277V-480V) ^{7,8}		
		P4	(this section 80CRI only, extended lead times apply)		80CRI	T3M Type III medium	BLC3 Type III backlight control ³		120 ^{16,24}
		P10 ¹ P12 ¹	27K 2700K	T3LG Type III low glare ³		BLC4 Type IV backlight control ³	208 ^{16,24}		
		P11 ¹ P13 ¹	30K 3000K	T4M Type IV medium		LCCO Left corner cutoff ³	240 ^{16,24}		
		35K 3500K	T4LG Type IV low glare ³	RCCO Right corner cutoff ³		277 ^{16,24}			
		40K 4000K	TFTM Forward throw medium			347 ^{16,24}			
		50K 5000K				480 ^{16,24}			

Control options	Other options	Finish (required)
<p>Shipped installed</p> <p>NLTAIR2 PIRHN nLight AIR gen 2 enabled with bi-level motion / ambient sensor, 8-40' mounting height, ambient sensor enabled at 2fc.^{11,12,18,19}</p> <p>PIR High/low, motion/ambient sensor, 8-40' mounting height, ambient sensor enabled at 2fc.^{13,18,19}</p> <p>PER NEMA twist-lock receptacle only (controls ordered separate)¹⁴</p> <p>PER5 Five-pin receptacle only (controls ordered separate)^{14,19}</p>	<p>Shipped installed</p> <p>PER7 Seven-pin receptacle only (controls ordered separate)^{14,19}</p> <p>FAO Field adjustable output^{15,19}</p> <p>BL30 Bi-level switched dimming, 30%^{16,19}</p> <p>BL50 Bi-level switched dimming, 50%^{16,19}</p> <p>DMG 0-10v dimming wires pulled outside fixture (for use with an external control, ordered separately)¹⁷</p> <p>Shipped separately</p> <p>EGSR External Glare Shield (reversible, field install required, matches housing finish)</p> <p>BSDB Bird Spikes (field install required)</p>	<p>DDBXD Dark Bronze</p> <p>DBLXD Black</p> <p>DNAXD Natural Aluminum</p> <p>DWHXD White</p> <p>DDBTXD Textured dark bronze</p> <p>DBLBXD Textured black</p> <p>DNATXD Textured natural aluminum</p> <p>DWHGXD Textured white</p>



Ordering Information

Accessories

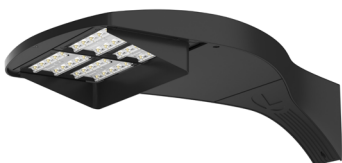
Ordered and shipped separately.

DLL127F 1.5 JU	Photocell - SSL twist-lock (120-277V) ²³
DLL347F 1.5 CUL JU	Photocell - SSL twist-lock (347V) ²³
DLL480F 1.5 CUL JU	Photocell - SSL twist-lock (480V) ²³
DSHORT SBK	Shorting cap ²³
DSX0HS P#	House-side shield (enter package number P1-7, P10-13 in place of #)
DSXRPA (FINISH)	Round pole adapter (#8 drilling, specify finish)
DSXRPA5 (FINISH)	Round pole adapter #5 drilling (specify finish)
DSXSPA5 (FINISH)	Square pole adapter #5 drilling (specify finish)
DSX0EGSR (FINISH)	External glare shield (specify finish)
DSX0SDB (FINISH)	Bird spike deterrent bracket (specify finish)

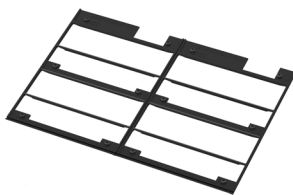
NOTES

- Rotated optics available with packages P10, P11, P12 and P13. Must be combined with option L90 or R90.
- 30K, 40K, and 50K available in 70CRI and 80CRI. 27K and 35K only available with 80CRI. Contact Technical Support for other possible combinations.
- T3LG, T4LG, BLC3, BLC4, LCCO, RCCO not available with option HS.
- MVOLT driver operates on any line voltage from 120-277V (50/60 Hz).
- HVOLT driver operates on any line voltage from 347-480V (50/60 Hz).
- HVOLT not available with package P1, P2 and P10 when combined with option NLTAIR2 PIRHN or option PIR.
- XVOLT operates with any voltage between 277V and 480V (50/60 Hz).
- XVOLT not available in packages P1, P2 or P10. XVOLT not available with fusing (SF or DF).
- SPAS and RPA5 for use with #5 drilling only (Not for use with #8 drilling).
- WBA cannot be combined with Type 5 distributions plus photocell (PER).
- NLTAIR2 and PIRHN must be ordered together. For more information on nLight Air 2.
- NLTAIR2 PIRHN not available with other controls including PIR, PER, PER5, PER7, FAO, BL30, BL50 and DMG. NLTAIR2 PIRHN not available with P1, P2 and P10 using HVOLT. NLTAIR2 PIRHN not available with P1, P2 and P10 using XVOLT. NLTAIR2 PIRHN not available with P1 using MVOLT.
- PIR not available with NLTAIR2, PER, PER5, PER7, FAO BL30, BL50 and DMG. PIR not available with P1, P2 and P10 using HVOLT. PIR not available with P1, P2 and P10 using XVOLT. PIR not available with P1 using MVOLT.
- PER/PER5/PER7 not available with NLTAIR2, PIR, BL30, BL50. Photocell ordered and shipped as a separate line item from Acuity Brands Controls. See accessories. Shorting Cap included.
- FAO not available with other dimming control options NLTAIR2 PIRHN, PIR, PER5, PER7, BL30, BL50, or DMG.
- BL30 and BL50 are not available with NLTAIR2 PIRHN, PIR, PER, PER5, PER7, FAO and DMG. BL30 or BL50 must specify 120, 277 or 347V. Consult tech support for 208, 240 or 480V.
- DMG not available with NLTAIR2 PIRHN, PIR, PER, PER5, PER7, BL30, BL50 and FAO.
- Reference Motion Sensor Default Settings table on page 4 to see functionality.
- Reference Controls Options table on page 4.
- Option HS not available with T3LG, T4LG, BLC3, BLC4, LCCO and RCCO distribution. Also available as a separate accessory; see Accessories information.
- CCE option not available with option B5 and EGSR. Contact Technical Support for availability.
- Option HA not available with performance packages P6, P7, P12 and P13.
- Requires luminaire to be specified with PER, PER5 or PER7 option. See Controls Table on page 4.
- Single fuse (SF) requires 120V, 277V, or 347V. Double fuse (DF) requires 208V, 240V or 480V. XVOLT not available with fusing (SF or DF).

Shield Accessories



External Glare Shield (EGSR)

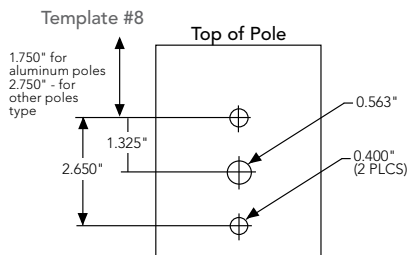
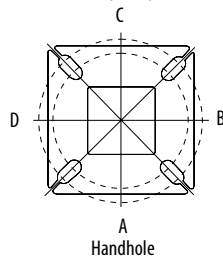


House Side Shield (HS)

Drilling

HANDHOLE ORIENTATION

(from top of pole)



Tenon Mounting Slipfitter

Tenon O.D.	Mounting	Single Unit	2 @ 180	2 @ 90	3 @ 90	3 @ 120	4 @ 90
2-3/8"	RPA	AS3-5 190	AS3-5 280	AS3-5 290	AS3-5 390	AS3-5 320	AS3-5 490
2-7/8"	RPA	AST25-190	AST25-280	AST25-290	AST25-390	AST25-320	AST25-490
4"	RPA	AST35-190	AST35-280	AST35-290	AST35-390	AST35-320	AST35-490

Mounting Option	Drilling Template	Single	2 @ 180	2 @ 90	3 @ 90	3 @ 120	4 @ 90
Head Location		Side B	Side B & D	Side B & C	Side B, C & D	Round Pole Only	Side A, B, C & D
Drill Nomenclature	#8	DM19AS	DM28AS	DM29AS	DM39AS	DM32AS	DM49AS
Minimum Acceptable Outside Pole Dimension							
SPA	#8	3.5"	3.5"	3.5"	3.5"		3.5"
RPA	#8	3"	3"	3"	3"	3"	3"
SPAS	#5	3"	3"	3"	3"		3"
RPA5	#5	3"	3"	3"	3"	3"	3"
SPA8N	#8	3"	3"	3"	3"		3"

DSX0 Area Luminaire - EPA

*Includes luminaire and integral mounting arm. Other tenons, arms, brackets or other accessories are not included in this EPA data.

Fixture Quantity & Mounting Configuration	Single DM19	2 @ 180 DM28	2 @ 90 DM29	3 @ 90 DM39	3 @ 120 DM32	4 @ 90 DM49
Mounting Type						
DSX0 with SPA	0.44	0.88	0.96	1.18	---	1.16
DSX0 with SPAS, SPA8N	0.51	1.02	1.06	1.26	---	1.29
DSX0 with RPA, RPA5	0.51	1.02	1.06	1.26	1.24	1.29
DSX0 with MA	0.64	1.28	1.24	1.67	1.70	1.93

Isofootcandle plots for the DSX0 LED P7 40K 70CRI. Distances are in units of mounting height (20').



Performance Data

Lumen Ambient Temperature (LAT) Multipliers

Use these factors to determine relative lumen output for average ambient temperatures from 0-40°C (32-104°F).

Ambient	Lumen Multiplier	
0°C	32°F	1.04
5°C	41°F	1.04
10°C	50°F	1.03
15°C	59°F	1.02
20°C	68°F	1.01
25°C	77°C	1.00
30°C	86°F	0.99
35°C	95°F	0.98
40°C	104°F	0.97

Projected LED Lumen Maintenance

Data references the extrapolated performance projections for the platforms noted in a **25°C ambient**, based on 10,000 hours of LED testing (tested per IESNA LM-80-08 and projected per IESNA TM-21-11).

To calculate LLF, use the lumen maintenance factor that corresponds to the desired number of operating hours below. For other lumen maintenance values, contact factory.

Operating Hours	Lumen Maintenance Factor
0	1.00
25,000	0.94
50,000	0.89
100,000	0.80

FAO Dimming Settings

FAO Position	% Wattage	% Lumen Output
8	100%	100%
7	93%	95%
6	80%	85%
5	66%	73%
4	54%	61%
3	41%	49%
2	29%	36%
1	15%	20%

*Note: Calculated values are based on original performance package data. When calculating new values for given FAO position, use published values for each package based on input watts and lumens by optic type.

Electrical Load

	Performance Package	LED Count	Drive Current (mA)	Wattage	Current (A)					
					120V	208V	240V	277V	347V	480V
Forward Optics (Non-Rotated)	P1	20	530	34	0.28	0.16	0.14	0.12	0.10	0.07
	P2	20	700	45	0.38	0.22	0.19	0.16	0.13	0.09
	P3	20	1050	69	0.57	0.33	0.29	0.25	0.20	0.14
	P4	20	1400	94	0.78	0.45	0.39	0.34	0.27	0.19
	P5	40	700	89	0.75	0.43	0.38	0.33	0.26	0.19
	P6	40	1050	136	1.14	0.66	0.57	0.49	0.39	0.29
	P7	40	1300	170	1.42	0.82	0.71	0.62	0.49	0.36
Rotated Optics (Requires L90 or R90)	P10	30	530	51	0.42	0.24	0.21	0.18	0.15	0.11
	P11	30	700	67	0.57	0.33	0.28	0.25	0.20	0.14
	P12	30	1050	103	0.86	0.50	0.43	0.37	0.30	0.22
	P13	30	1300	129	1.07	0.62	0.54	0.46	0.37	0.27

LED Color Temperature / Color Rendering Multipliers

	70 CRI		80CRI		90CRI	
	Lumen Multiplier	Availability	Lumen Multiplier	Availability	Lumen Multiplier	Availability
5000K	102%	Standard	92%	Extended lead-time	71%	(see note)
4000K	100%	Standard	92%	Extended lead-time	67%	(see note)
3500K	100%	(see note)	90%	Extended lead-time	63%	(see note)
3000K	96%	Standard	87%	Extended lead-time	61%	(see note)
2700K	94%	(see note)	85%	Extended lead-time	57%	(see note)

Note: Some LED types are available as per special request. Contact Technical Support for more information.

Motion Sensor Default Settings

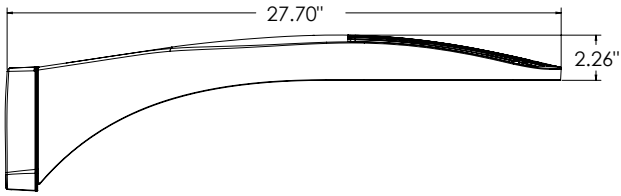
Option	Unoccupied Dimmed Level	High Level (when occupied)	Photocell Operation	Dwell Time	Ramp-up Time	Dimming Fade Rate
PIR	30%	100%	Enabled @ 2FC	7.5 min	3 sec	5 min
NLTAIR2 PIRHN	30%	100%	Enabled @ 2FC	7.5 min	3 sec	5 min

Controls Options

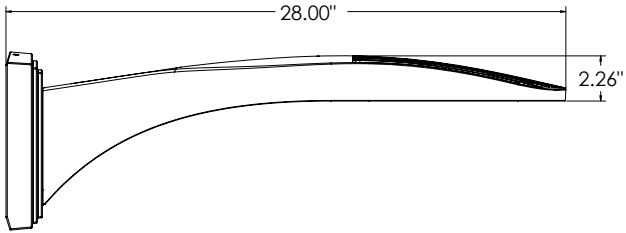
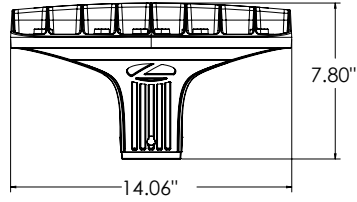
Nomenclature	Description	Functionality	Primary control device	Notes
FAO	Field adjustable output device installed inside the luminaire; wired to the driver dimming leads.	Allows the luminaire to be manually dimmed, effectively trimming the light output.	FAO device	Cannot be used with other controls options that need the 0-10V leads
DS (not available on DSX0)	Drivers wired independently for 50/50 luminaire operation	The luminaire is wired to two separate circuits, allowing for 50/50 operation.	Independently wired drivers	Requires two separately switched circuits. Consider nLight AIR as a more cost effective alternative.
PERS or PER7	Twist-lock photocell receptacle	Compatible with standard twist-lock photocells for dusk to dawn operation, or advanced control nodes that provide 0-10V dimming signals.	Twist-lock photocells such as DLL Elite or advanced control nodes such as ROAM.	Pins 4 & 5 to dimming leads on driver, Pins 6 & 7 are capped inside luminaire. Cannot be used with other controls options that need the 0-10V leads.
PIR	Motion sensor with integral photocell. Sensor suitable for 8' to 40' mounting height.	Luminaires dim when no occupancy is detected.	Acuity Controls rSBG	Cannot be used with other controls options that need the 0-10V leads.
NLTAIR2 PIRHN	nLight AIR enabled luminaire for motion sensing, photocell and wireless communication.	Motion and ambient light sensing with group response. Scheduled dimming with motion sensor over-ride when wirelessly connected to the nLight Eclipse.	nLight Air rSBG	nLight AIR sensors can be programmed and commissioned from the ground using the CIAIRity Pro app. Cannot be used with other controls options that need the 0-10V leads.
BL30 or BL50	Integrated bi-level device that allows a second control circuit to switch all light engines to either 30% or 50% light output	BLC device provides input to 0-10V dimming leads on all drivers providing either 100% or dimmed (30% or 50%) control by a secondary circuit	BLC UVOLT1	BLC device is powered off the 0-10V dimming leads, thus can be used with any input voltage from 120 to 480V



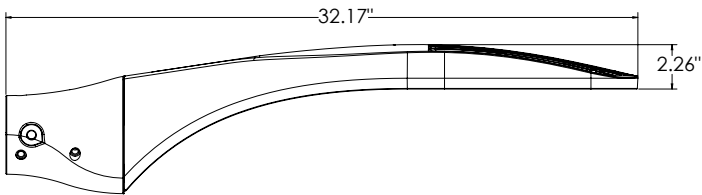
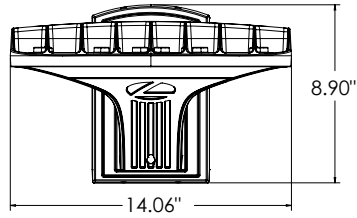
Dimensions



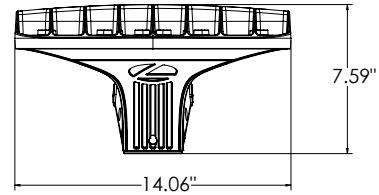
DSX0 with RPA, RPA5, SPA5, SPA8N mount
Weight: 25 lbs



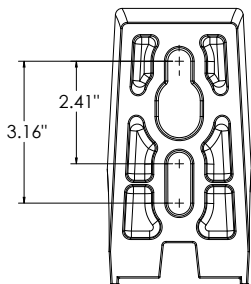
DSX0 with WBA mount
Weight: 27 lb



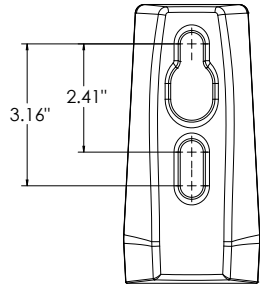
DSX0 with MA mount
Weight: 28 lbs



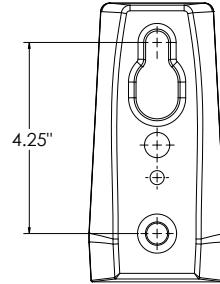
SPA (STANDARD ARM)



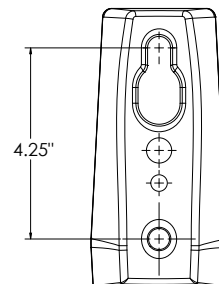
RPA



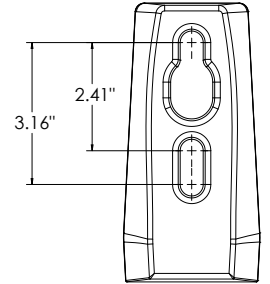
SPA5



RPA5

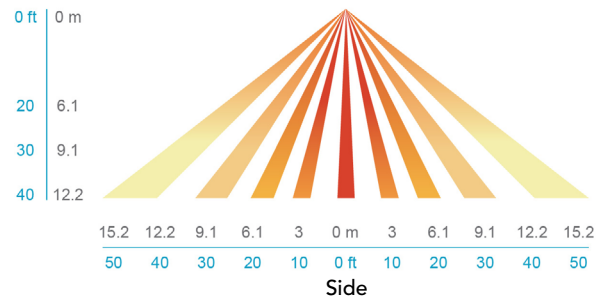
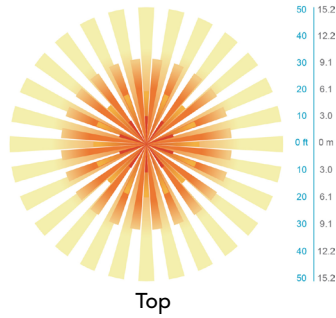
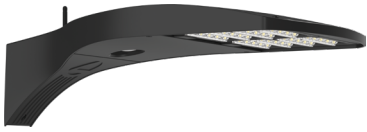


SPA8N



nLight Sensor Coverage Pattern

NLTAIR2 PIRHN



FEATURES & SPECIFICATIONS

INTENDED USE

The sleek design of the D-Series Size 0 reflects the embedded high performance LED technology. It is ideal for many commercial and municipal applications, such as parking lots, plazas, campuses, and pedestrian areas.

CONSTRUCTION

Single-piece die-cast aluminum housing has integral heat sink fins to optimize thermal management through conductive and convective cooling. Modular design allows for ease of maintenance and future light engine upgrades. The LED driver is mounted in direct contact with the casting to promote low operating temperature and long life. Housing driver compartment is completely sealed against moisture and environmental contaminants (IP66). Vibration rated per ANSI C136.31 for 3G. Low EPA (0.44 ft²) for optimized pole wind loading.

FINISH

Exterior parts are protected by a zinc-infused Super Durable TGIC thermoset powder coat finish that provides superior resistance to corrosion and weathering. A tightly controlled multi-stage process ensures a minimum 3 mils thickness for a finish that can withstand extreme climate changes without cracking or peeling. Available in both textured and non-textured finishes.

COASTAL CONSTRUCTION (CCE)

Optional corrosion resistant construction is engineered with added corrosion protection in materials and/or pre-treatment of base material under super durable paint. Provides additional corrosion protection for applications near coastal areas. Finish is salt spray tested to over 5,000 hours per ASTM B117 with scribe rating of 10. Additional lead-times may apply.

OPTICS

Precision-molded proprietary silicone lenses are engineered for superior area lighting distribution, uniformity, and pole spacing. Light engines are available in 3000 K, 4000 K or 5000 K (70 CRI) configurations. 80CRI configurations are also available. The D-Series Size 0 has zero uplight and qualifies as a Nighttime Friendly™ product, meaning it is consistent with the LEED® and Green Globes™ criteria for eliminating wasteful uplight.

ELECTRICAL

Light engine(s) configurations consist of high-efficacy LEDs mounted to metal-core circuit boards to maximize heat dissipation and promote long life (up to L80/100,000 hours at 25°C). Class 1 electronic drivers are designed to have a power factor >90%, THD <20%, and an expected life of 100,000 hours with <1% failure rate. Easily serviceable 10kV surge protection device meets a minimum Category C Low operation (per ANSI/IEEE C62.41.2).

STANDARD CONTROLS

The DSX0 LED area luminaire has a number of control options. DSX Size 0, comes standard with 0-10V dimming driver. Dusk to dawn controls can be utilized via optional NEMA twist-lock photocell receptacles. PIR integrated motion sensor with on-board photocell feature field-adjustable programming and are suitable for mounting heights up to 40 feet. Control option BL features a bi-level device that allows a second control circuit to switch all light engines to either 30% or 50% light output.

nLIGHT AIR CONTROLS

The DSX0 LED area luminaire is also available with nLight® AIR for the ultimate in wireless control. This powerful controls platform provides out-of-the-box basic motion sensing and photocontrol functionality and is suitable for mounting heights up to 40 feet. Once commissioned using a smartphone and the easy-to-use CLAIRITY app, nLight AIR equipped luminaires can be grouped, resulting in motion sensor and photocell group response without the need for additional equipment. Scheduled dimming with motion sensor over-ride can be achieved when used with the nLight Eclipse. Additional information about nLight Air can be found [here](#).

INSTALLATION

Integral mounting arm allows for fast mounting using Lithonia standard #8 drilling and accommodates pole drilling's from 2.41 to 3.12" on center. The standard "SPA" option for square poles and the "RPA" option for round poles use the #8 drilling. For #5 pole drillings, use SPA5 or RPA5. Additional mountings are available including a wall bracket (WBA) and mast arm (MA) option that allows luminaire attachment to a 2 3/8" horizontal mast arm.

LISTINGS

UL listed to meet U.S. and Canadian standards. UL Listed for wet locations. Light engines are IP66 rated; luminaire is IP66 rated. Rated for -40°C minimum ambient.

DesignLights Consortium® (DLC) Premium qualified product and DLC qualified product. Not all versions of this product may be DLC Premium qualified or DLC qualified. Please check the DLC Qualified Products List at www.designlights.org/QPL to confirm which versions are qualified.

International Dark-Sky Association (IDA) Fixture Seal of Approval (FSA) is available for all products on this page utilizing 3000K color temperature only.

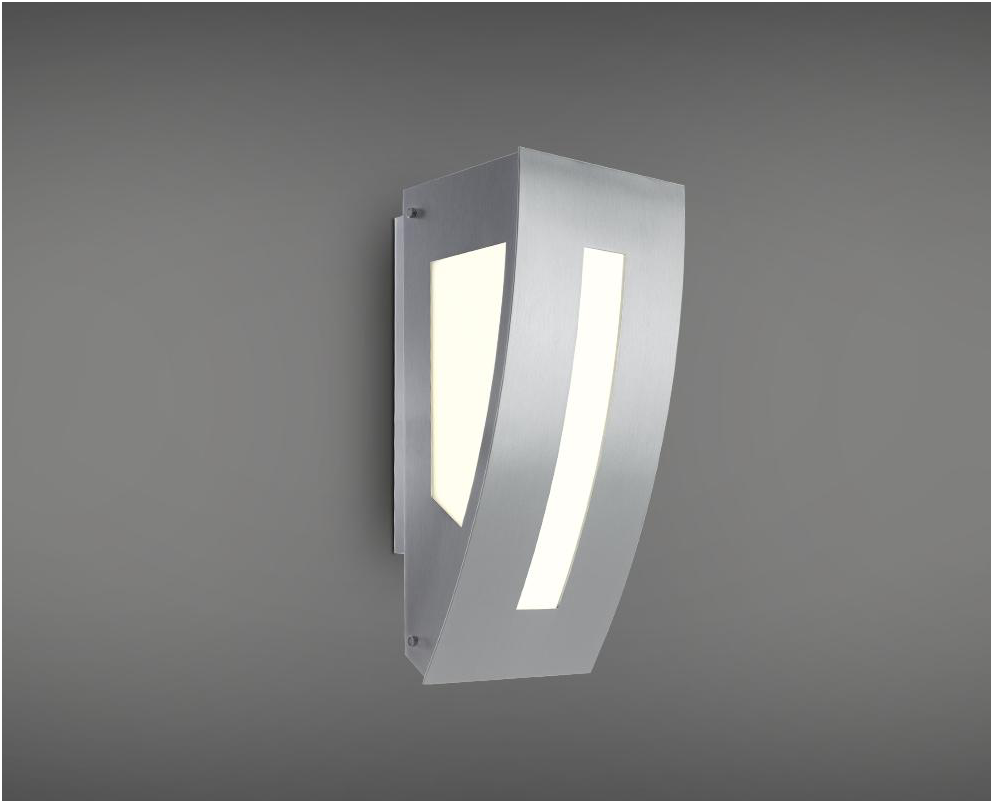
BUY AMERICAN ACT

Product with the BAA option is assembled in the USA and meets the Buy America(n) government procurement requirements under FAR, DFARS and DOT regulations. Please refer to www.acuitybrands.com/buy-american for additional information.

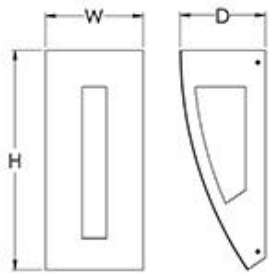
WARRANTY

5-year limited warranty. This is the only warranty provided and no other statements in this specification sheet create any warranty of any kind. All other express and implied warranties are disclaimed. Complete warranty terms located at: www.acuitybrands.com/support/warranty/terms-and-conditions

Note: Actual performance may differ as a result of end-user environment and application. All values are design or typical values, measured under laboratory conditions at 25 °C. Specifications subject to change without notice.



DIMENSIONS



W	H	D	MC	BASE MODEL NO.
8"	18"	7"	7"	S9205-L16

SPECIFICATIONS

Driver: 0-10V dimming to 1%, 120/277

Mounting: Mounts to all Standard Electrical Junction Boxes (by others) With Hardware Provided. Silicone Seal Required (by others).

FEATURES

- Opal Acrylic Panels
- UL Listed for Wet Location
- LED 0-10V Dimming Driver

ORDER AS A COMPLETE UNIT:

Model No. + Lamp Code + CCT + Finish + Option Code

S9205-L16	+	27K	+	PT	+	Option
		30K		BA		
		35K				
		40K				

FINISHES

BA Brushed Aluminum **PT** Powder Coated Finishes*

*(Specify Color Code from the list of Powder Coating Finishes [except interior only metallics])

OPTIONS

EML Remote 10W Emergency LED Battery Backup

LIGHT OUTPUT

LXX = ~ 61 LPW Delivered Lumens (Example: L16= 16W x 61LPW = 976 Lumens)

** Try our new **Shimmer Metallic Paints**, Formulated for Exterior Conditions.



ARC2 LED

Architectural Wall Luminaire



Catalog Number

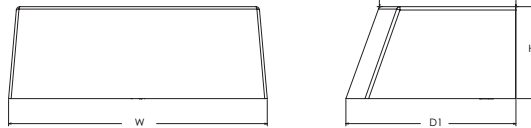
Notes

Type

Hit the Tab key or mouse over the page to see all interactive elements.

Specifications

Depth (D1): 9.25"
Depth (D2): 7.5"
Height: 5"
Width: 14"
Weight: 11 lbs
 (without options)



Introduction

The Lithonia Lighting ARC LED wall-mounted luminaires provide both architectural styling and visually comfortable illumination while providing the high energy savings and low initial costs for quick financial payback.

ARC2 delivers up to 6,500 lumens with a soft, non-pixelated light source, creating a visually comfortable environment. It offers integrated emergency battery backup options, including an 8W cold temperature option, making it suitable for pedestrian scale applications in any environment.

ARC LED Family Overview

Luminaire	Standard EM, 0°C	Cold EM, -20°C	Approximate Lumens (4000K)				
			P1	P2	P3	P4	P5
ARC1 LED	4W	--	1,500	2,000	3,000	--	--
ARC2 LED	4W	8W	1,500	2,000	3,000	4,000	6,500

Ordering Information

EXAMPLE: ARC2 LED P2 40K MVOLT PE DDBXD

Series	Package	Color Temperature	Voltage	Options	Finish
ARC2 LED	P1 1,500 Lumens	30K 3000K	MVOLT 347 ¹	E4WH Emergency battery backup, CEC compliant (4W, 0°C min) ¹	DDBXD Dark bronze
	P2 2,000 Lumens	40K 4000K		E8WC Emergency battery backup, CEC compliant (8W, -20°C min) ¹	DBLXD Black
	P3 3,000 Lumens	50K 5000K		PE Button type photocell for dusk-to-dawn operation	DNAXD Natural aluminum
	P4 4,000 Lumens			DMG 0-10V dimming wires pulled outside fixture (for use with an external control, ordered separately) ²	DWHXD White
	P5 6,500 Lumens			SPD6KV 6kV surge protection ¹	DSSXD Sandstone
			FAO Field adjustable light output device. Allows for easy adjustment to the desired light levels, from 20% to 100% ²	DDBTXD Textured dark bronze	
				DBLTXD Textured black	
				DNATXD Textured natural aluminum	
				DWHGXD Textured white	
				DSSTXD Textured sandstone	

Accessories

Ordered and shipped separately.

WSBBW DDBXD U

Surface-mounted back box (specify finish)

NOTES

- 347V not available with E4WH, E8WC and SPD6KV.
- FAO not available with DMG.



COMMERCIAL OUTDOOR

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ARC2 LED
 Rev. 03/02/22

Performance Data

Lumen Output

Lumen values are from photometric tests performed in accordance with IESNA LM-79-08. Data is considered to be representative of the configurations shown, within the tolerances allowed by Lighting Facts. Contact factory for performance data on any configurations not shown here.

Performance Package	System Watts	30K (3000K, 80 CRI)					40K (4000K, 80 CRI)					50K (5000K, 80 CRI)				
		Lumens	LPW	B	U	G	Lumens	LPW	B	U	G	Lumens	LPW	B	U	G
P1	11W	1,502	142	0	0	1	1,587	150	0	0	1	1,598	151	0	0	1
P2	16W	2,250	140	0	0	1	2,377	147	0	0	1	2,393	148	0	0	1
P3	24W	3,206	135	0	0	1	3,387	143	0	0	1	3,410	144	0	0	1
P4	30W	3,903	128	1	0	1	4,124	136	1	0	1	4,152	136	1	0	1
P5	51W	6,260	122	1	0	1	6,615	129	1	0	1	6,659	130	1	0	1

Electrical Load

Performance Package	System Watts	Current (A)				
		120V	208V	240V	277V	347V
P1	11W	0.090	0.055	0.049	0.046	0.045
P2	16W	0.141	0.081	0.072	0.064	0.059
P3	24W	0.202	0.117	0.103	0.091	0.079
P4	30W	0.280	0.162	0.144	0.128	0.095
P5	51W	0.471	0.272	0.239	0.212	0.158

Lumen Output in Emergency Mode (4000K, 80 CRI)

Option	Lumens
E4WH	693
E8WC	1,413

Lumen Ambient Temperature (LAT) Multipliers

Use these factors to determine relative lumen output for average ambient temperatures from 0-40°C (32-104°F).

Ambient		Lumen Multiplier
0°C	32°F	1.04
10°C	50°F	1.03
20°C	68°F	1.01
25°C	77°F	1.00
30°C	86°F	0.99
40°C	104°F	0.97

Projected LED Lumen Maintenance

Data references the extrapolated performance projections for the platforms noted in a 25°C ambient, based on 10,000 hours of LED testing (tested per IESNA LM-80-08 and projected per IESNA TM-21-11). To calculate LLF, use the lumen maintenance factor that corresponds to the desired number of operating hours below. For other lumen maintenance values, contact factory.

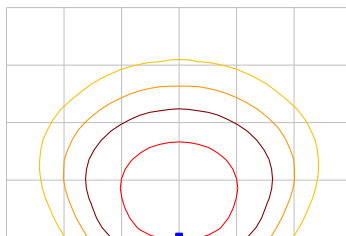
Operating Hours	0	25,000	50,000	100,000
Lumen Maintenance Factor	1.0	>0.96	>0.93	>0.88

Photometric Diagrams

To see complete photometric reports or download .ies files for this product, visit the Lithonia Lighting ARC LED homepage. Tested in accordance with IESNA LM-79 and LM-80 standards.

LEGEND

- 0.25 fc
- 0.5 fc
- 1.0 fc
- 3.0 fc



ARC2 LED P3 40K

MH = 15ft
Grid = 15ft x 15ft

Emergency Egress Options

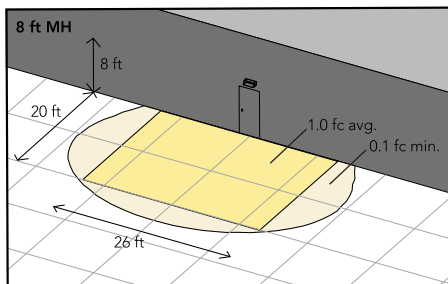
Emergency Battery Backup

The emergency battery backup is integral to the luminaire — no external housing required! This design provides reliable emergency operation while maintaining the aesthetics of the product. All emergency battery backup configurations include an independent secondary driver with an integral relay to immediately detect loss of normal power and automatically energize the luminaire. The emergency battery will power the luminaire for a minimum duration of 90 minutes (maximum duration of three hours) from the time normal power is lost and maintain a minimum of 60% of the light output at the end of 90 minutes.

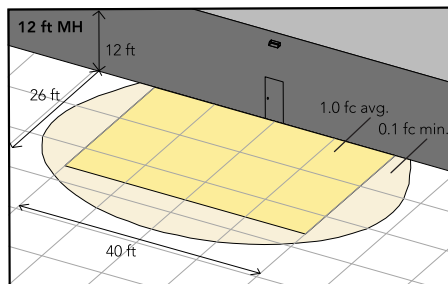
Applicable codes: NFPA 70/NEC – section 700.16, NFPA 101 Life Safety Code Section 7.9

The example below shows illuminance of 1 fc average and 0.1 fc minimum in emergency mode.

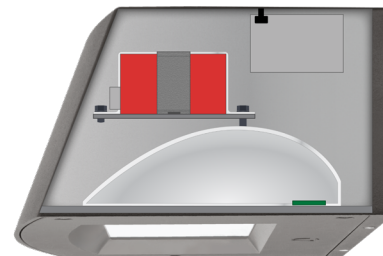
Grid = 10ft x 10ft



ARC2 LED 40K MVOLT E4WH



ARC2 LED 40K MVOLT E8WC



Self-contained solution for clean aesthetic

Mounting, Options & Accessories

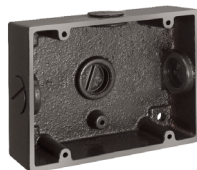


E4WH and E8WC – Emergency Battery Backup

D = 6.5"

H = 5"

W = 11"



BBW – Standard Back Box

D = 1.5"

H = 4"

W = 5.5"

For surface conduit applications.
3/4" conduit entry holes.

FEATURES & SPECIFICATIONS

INTENDED USE

The clean architectural shape of the ARC LED was designed for applications such as hospitals, schools, malls, restaurants, and commercial buildings. The long-life LEDs and driver make this luminaire nearly maintenance-free.

CONSTRUCTION

The die-cast aluminum housing and door act as heat sinks to optimize thermal transfer from the light engine and driver to promote long-life. The die-cast door frame is fully gasketed with a one-piece solid silicone gasket to keep out moisture and dust, providing an IP65 rating for the luminaire.

FINISH

Exterior painted parts are protected by a zinc-infused Super Durable TGIC thermoset powder coat finish that provides superior resistance to corrosion and weathering. A tightly controlled multi-stage process ensures a 3 mils thickness for a finish that can withstand extreme climate changes without cracking or peeling. Standard Super Durable colors include dark bronze, black, natural aluminum, sandstone and white. Available in textured and non-textured finishes.

OPTICS

Recessed lens to cut off high angle light and reduce glare. Combination of diffused lens and reflector design has low surface brightness creating a visually comfortable environment with great distribution. LEDs are fully hidden from view to eliminate pixelization and harsh glare. The ARC LED has zero uplight and qualifies as a Nighttime Friendly™ product, meaning it is consistent with the LEED® and Green Globes™ criteria for eliminating wasteful uplight.

ELECTRICAL

Light engine consists of high-efficiency LEDs mounted to metal-core circuit boards to maximize heat dissipation and promote long-life (up to L88/100,000 hours at 25°C). The electronic driver has a power factor of >90%, THD <20%. Luminaire is 0-10V dimmable.

INSTALLATION

The universal wall plate, supplied with the luminaire, fits multiple size junction boxes and supports it during wiring for easy installation. Built-in wet location wiring compartment on the luminaire to accommodate wiring connections for applications with no junction box. Design can withstand up to a 1.5 G vibration load rating per ANSI C136.31.

LISTINGS

CSA certified to U.S. and Canadian standards. Luminaire is IP65 rated. DesignLights Consortium® (DLC) Premium qualified product and DLC qualified product. Not all versions of this product may be DLC Premium qualified or DLC qualified. Please check the DLC Qualified Products List at www.designlights.org/QPL to confirm which versions are qualified. International DarkSky Association (IDA) Fixture Seal of approval (FSA) is available for all products on this page utilizing 3000K color temperature only. Rated for -40°C minimum ambient.

WARRANTY

5-year limited warranty. This is the only warranty provided and no other statements in this specification sheet create any warranty of any kind. All other express and implied warranties are disclaimed. Complete warranty terms located at: www.acuitybrands.com/support/warranty/terms-and-conditions

Note: Actual performance may differ as a result of end-user environment and application. All values are design or typical values, measured under laboratory conditions at 25 °C. Specifications subject to change without notice.



COMMERCIAL OUTDOOR

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ARC2 LED
Rev. 03/02/22

SPECIFICATIONS

EMERGENCY

HOUSING

- Decorative low profile die-cast aluminum housing
- Available in white, black, brushed aluminum, or satin bronze finishes
- Stainless Steel hardware
- Full 90° Cutoff

ELECTRICAL

- Unit offered as AC only, or battery backup
- Dual 120/277V
- Operating Temperature: -20°C - 40°C (-4°F - 104°F)

BATTERY

- 3.6V, 5Ah Li-SOCI2 Battery
- LVD prevents battery from deep discharge
- Internal transfer switch automatically connects battery to lamp heads for 90-minute emergency illumination
- Two-rate charger initiates battery charge to recharge in battery in 24 hours

ILLUMINATION

- Sealed diffused lens
- 50,000 Hours
- 5300K standard; 2900 - 3800K available

MOUNTING

- Mounts directly to structural mullion beams in glass fronted entrances
- Suitable for wall or ceiling mount

CODE COMPLIANCE

- cETLus Listed for Outdoor Locations
- Meets UL924, NFPA 101, Life Safety Code, NEC, OSHA, Local and State Codes
- IP66 Rated
- BAA Compliant

WARRANTY

- 5 Year

ORDERING INFORMATION

CATALOG#	Description
OMEL-10W-*#	10W, 371 Lumens, AC Only
OMEL-10W-*EM-#	10W, 494 Lumens, Battery Backup
OMEL-20W-*#	20W, 742 Lumens, AC Only
OMEL-20W-*EM-#	20W, 988 Lumens, Battery Backup

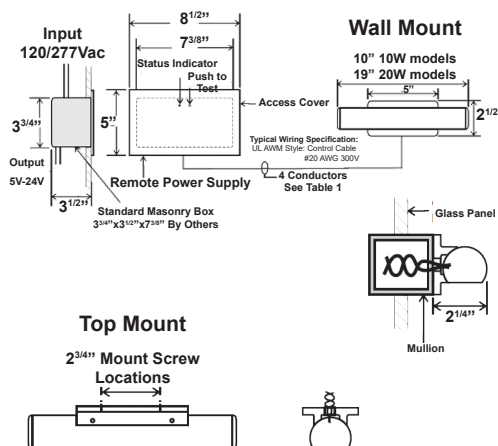
*Specify Mounting; C-Ceiling Mount, W-Wall Mount
 #Specify Color; WH-White; BA-Brushed Aluminum; BZ-Bronze, BK-Black

OPTIONS (Factory Installed)

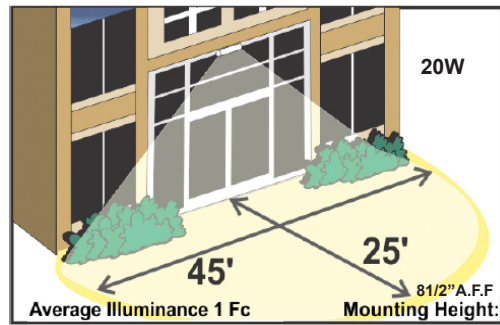
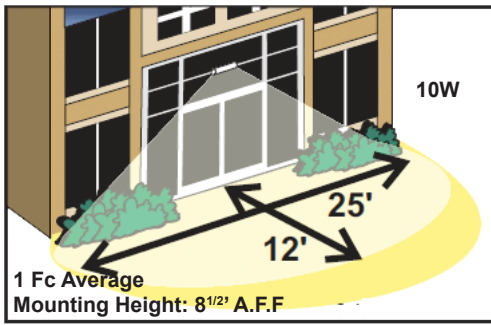
EM120	- 2 Hour Emergency Operation (replaces EM in part number)
SD	- Self Diagnostics (EM Models Only)
SW120	- Security Lighting with Control Switch-120V (Standard EM Models)
SW277	- Security Lighting with Control Switch-277V (Standard EM Models)
SW-SD	- Security Lighting with Control Switch for EM-SD models (120/277V)
2AC120	- Dual AC Output - 120V
2AC277	- Dual AC Output - 277V
CW1	- Custom Window Filter - 3800K
CW2	- Custom Window Filter - 3200K
CW3	- Custom Window Filter - 2900K
CPY1	- Canopy - 2" Height
CPY2	- Canopy - 5" Height
CC	- Custom Housing Color



**OMEL
Mullion Mount LED
AC/EM Unit**



SPACING GUIDELINES



Model #	Mounting Height (ft)	3' Wide Egress Path	6' Wide Egress Path	10' Wide Egress Path
OMEL-10W	8'	25'	25'	25'

SELF DIAGNOSTICS

STATUS	LED DISPLAY
NORMAL FULL CHARGE	● GREEN ON
NORMAL FAST CHARGE	● ORANGE ON
FAILED BATTERY	●● RED FLASH FAST
FAILED LAMP	●● GREEN FLASH
FAILED TRANSFER	●● ORANGE FLASH
FAILED CHARGER	●● RED FLASH SLOW



CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION CASE MEMO

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Planning and Zoning Commission
DATE: November 14, 2023
APPLICANT: James Belt and Bart Gardner; *Gardner Construction*
CASE NUMBER: SP2023-037; *Site Plan for Arms of America*

SUMMARY

Discuss and consider a request by Bart Gardner and James Belt of Gardner Construction on behalf of Corey Fleck of C2LA, LLC for the approval of a Site Plan for a *Light Industrial Building* on a 6.50-acre tract of land identified as Tracts 3-1, 3-2, 3-3 & 3-4 of the J. Lockhart Survey, Abstract No. 134 and Lots 1 & 2, Block A, Eastplex Inc. Park #2 Addition, City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District and Commercial (C) District, situated within the IH-30 Overlay (IH-30 OV) District and the SH-205 By-Pass Overlay (SH-205 BY-OV) District, generally located at the northwest corner of the intersection of the IH-30 Frontage Road and Enterprise Drive, and take any action necessary.

BACKGROUND

According to the Rockwall Central Appraisal District (RCAD) there is an 8,900 SF utility building on the subject property that was constructed in 1970. The subject property was annexed by the City Council on September 16, 1974 by *Ordinance No. 74-28 [Case No. A1974-008]*. Based on the City's historic zoning maps the subject property was rezoned from an Agricultural (AG) District to a Light Industrial (LI) District and Commercial (C) District at some point between September 16, 1974 and May 16, 1983. On April 18, 1983, the City Council approved two (2) final plats that established portions of the subject property as Lots 1 & 2, Block A, Eastplex Inc. Park #2 Addition.

PURPOSE

On October 20, 2023, the applicant -- *James Belt and Bart Gardner of Gardner Construction* -- submitted an application requesting the approval of a Site Plan for the purpose of constructing a light industrial building on the subject property.

ADJACENT LAND USES AND ACCESS

The subject property is generally located at the northwest corner of the intersection of the IH-30 Frontage Road and Enterprise Drive. The land uses adjacent to the subject property are as follows:

North: Directly north of the subject property is a vacant 25.7125-acre tract of land (*i.e. Tract 3 of the J. Lockhart Survey, Abstract No. 134*), zoned Light Industrial (LI) District and Commercial (C) District. Beyond this is Justin Road, which is classified as a A4D (*i.e. major arterial, four [4] lane, divided roadway*) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan.

South: Directly south of the subject property is E. Interstate 30 [IH-30]. Beyond this is an 8.6860-acre parcel of land (*i.e. Lot 1 Block 1, Honda of Rockwall Addition*) developed with a *Car Dealership (i.e. Rockwall Honda)*, zoned Commercial (C) District.

East: Directly east of the subject property is a vacant 25.7125-acre tract of land (*i.e. Tract 3 of the J. Lockhart Survey, Abstract No. 134*), zoned Light Industrial (LI) District and Commercial (C) District. Beyond this is S. John King Boulevard, which is classified as a P6D (*i.e. principal arterial, six [6] lane, divided roadway*) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Following this is a vacant

18.175-acre tract of land (i.e. *Tract 3-5 of the J. Lockhart Survey, Abstract No. 134*), zoned Light Industrial (LI) District and Commercial (C) District.

West: Directly west of the subject property is a vacant 37.487-acre tract of land (i.e. *Tract 3 of the A. Hanna Survey, Abstract No. 99*) and several properties developed with commercial and light industrial land uses (i.e. *House of Worship, Office/Warehouse, and Car Dealership*). All of these properties are zoned Light Industrial (LI) District.

DENSITY AND DIMENSIONAL REQUIREMENTS

According to Section 01, *Land Use Schedule*, of Article 04, *Permissible Uses*, of the Unified Development Code (UDC), an *Office/Warehouse Building* is permitted by-right in a Light Industrial (LI) District. The submitted site plan, landscape plan, photometric plan, and building elevations generally conform to the technical requirements contained within the Unified Development Code (UDC) for a property located within a Light Industrial (LI) District with the exception of the item(s) noted in the *VariANCES and EXCEPTIONS Requested by the Applicant* section of this case memo. A summary of the density and dimensional requirements for the subject property are as follows:

<i>Ordinance Provisions</i>	<i>Zoning District Standards</i>	<i>Conformance to the Standards</i>
<i>Minimum Lot Area</i>	12,500 SF	X=6.58-acres; In Conformance
<i>Minimum Lot Frontage</i>	100-Feet	X= 200-feet; In Conformance
<i>Minimum Lot Depth</i>	125-Feet	X=369.32-feet; In Conformance
<i>Minimum Front Yard Setback</i>	25-Feet	X>25-feet; In Conformance
<i>Minimum Rear Yard Setback</i>	10-Feet	X>10-feet; In Conformance
<i>Minimum Side Yard Setback</i>	15-Feet	X>15-feet; In Conformance
<i>Maximum Building Height</i>	60-Feet	X=29.75-feet; In Conformance
<i>Max Building/Lot Coverage</i>	60%	X=10.07%; In Conformance
<i>Minimum Number of Parking Spaces</i>	1 Parking Space/1000 SF (Warehouse)	X=28; In Conformance
	1 Parking Space/300SF (Office)	
	24 Required Parking Spaces	
<i>Minimum Landscaping Percentage</i>	15%	X>15%; In Conformance
<i>Maximum Impervious Coverage</i>	90-95%	X<90%; In Conformance

CONFORMANCE WITH THE CITY’S CODES

According to Subsection 05.02, *Light Industrial (LI) District*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC), “(t)he Light Industrial (LI) District is a zoning district intended to create a limited industrial zone that provides for modern types of industrial land uses... Limitations have been placed on the uses in this district to significantly restrict outside activities and the storage of materials, noise, vibration, smoke, pollution, fire and explosive hazards, glare and any other potentially adverse externalities.” In this case, the applicant is proposing *Office/Warehouse Building*. In order to conform with the requirements of the *General Overlay District Standards* and the *General Industrial District Standards*, the applicant has indicated all work shall be done within the proposed building, there shall be no outside storage, and landscaping screening is provided in order to screen the bay doors. Based on staff’s review of the applicant’s project compared to the City’s codes, the request does appear to meet the City’s requirements with the exception of the variance(s) and exception(s) being requested as outlined in the *VariANCES and EXCEPTIONS Requested by the Applicant* section of this case memo.

VARIANCES AND EXCEPTIONS BY THE APPLICANT

As stated above, the applicant’s request conforms to the majority of the City’s codes; however, staff has identified the following variances and exception:

- (1) Architectural Standards.
 - (a) Four-Sided Architecture. According to Subsection 06.02(C)(5), of Article 05, of the *General Overlay District Development Standards* of the Unified Development Code (UDC), “(a)ll buildings shall be architecturally finished on all four (4) sides utilizing the same materials, detailing, articulation and features.” In this case, the proposed building does not meet the primary articulation requirements on all sides of the building. More specifically, the wall length

requirements are not met. This will require a *variance* from the Planning and Zoning Commission pending a recommendation from the Architectural Review Board (ARB).

- (b) Stone. According to Subsection 06.02(C)(1)(a)(1), *General Overlay District Standards*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC), “(a) minimum of 20% natural or quarried stone is required on all building façades.” In this case the applicant has not met the 20.00% natural or quarried stone requirement. This will require a *variance* from the Planning and Zoning Commission.
- (c) Secondary Materials. According to Subsection 06.02(C)(1)(a)(1), *General Overlay District Standards*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC), “(a) maximum of 10% Secondary Materials...” may be used on each building façade. In this case the applicant has exceed the 10.00% secondary material requirement. This will require a *variance* from the Planning and Zoning Commission.
- (d) Roof Design Standards. According to Section 05.01(A), *General Industrial District Standards*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC), “(a)ll structures shall have the option of being constructed with either a pitched (*minimum of a 6:12 roof pitch*), parapet, or mansard roof system as long as the roof system is enclosed on all sides. In this case, the applicant is proposing a pitched roof with a slope of 3:12. This will require an *exception* from the Planning and Zoning Commission.

According to Subsection 09, *Exceptions and Variances*, of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC), “...an applicant may request the Planning and Zoning Commission grant variances and exceptions to the provisions contained in the Unified Development Code (UDC), where unique or extraordinary conditions exist or where strict adherence to the technical requirements of the Unified Development Code (UDC) would create an undue hardship.” In addition, the code requires that the applicant provide compensatory measures that directly offset the requested variances and exceptions. The applicant has indicated the following as compensatory measures: [1] a shrub row along the west and north sides of the proposed building, and [2] continuing the stone wainscot along the east side of the proposed building. Staff should note that the Architectural Review Board (ARB) asked for compensatory measure #2 in order to bring the proposed building closer into conformance with the Unified Development Code (UDC), so this measure is not truly compensatory in nature. That being said, requests for exceptions and variances to the Unified Development Code (UDC) are discretionary decisions for the Planning and Zoning Commission. Staff should note that a supermajority vote (e.g. *six [6] out of the seven [7] commissioners*) -- with a minimum of four (4) votes in the affirmative -- is required for the approval of a variance or exception.

CONFORMANCE WITH OURHOMETOWN VISION 2040 COMPREHENSIVE PLAN

The Future Land Use Plan adopted with the OURHometown Vision 2040 Comprehensive Plan identifies the subject property as being situated in the IH-30 Corridor District. The IH-30 Corridor District is “approximately 55% developed, with the remaining 45% being vacant or raw land”. In this case the applicant is requesting to develop raw land that is identified as an opportunity zone within the IH-30 Corridor District, which is defined as land that is “...strategically placed or underutilized...that could be developed...with the highest and best use for the corridor.” In this case, the Future Land Use Map identifies the subject property for *Special Commercial Corridor* land uses, which does not include industrial land uses; however, the subject property is already zoned for Light Industrial (LI) District land uses. This means that while the proposed development does not conform to the OURHometown Vision 2040 Comprehensive Plan’s Future Land Use Map, the property’s zoning designation allows this development *by-right*. That being said, the proposed *Office/Warehouse Building* does not appear to be inconsistent or negatively impact the adjacent properties.

ARCHITECTURAL REVIEW BOARD (ARB) RECOMMENDATION

On November 1, 2023 the Architecture Review Board (ARB) reviewed the building elevations provided by the applicant. The ARB requested the applicant to continue the stone wainscot along the east elevation. The applicant has made the requested change, which will be reviewed by the ARB prior to the November 14, 2023 meeting.

CONDITIONS OF APPROVAL

If the Planning and Zoning Commission chooses to approve the applicant's Site Plan for the construction of *Light Industrial Building* on the *subject property*, then staff would propose the following conditions of approval:

- (1) All staff comments provided by the Planning, Engineering and Fire Department must be addressed prior to the submittal of engineering plans; and,
- (2) A photometric plan that conforms to the Unified Development Code (UDC) must be submit before Civil Engineering plans may be submit for review; and,
- (3) Any construction resulting from the approval of this Site Plan shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY
PLANNING & ZONING CASE NO.

SP2023-037

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST (SELECT ONLY ONE BOX):

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE)¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE)¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE)¹
- REPLAT (\$300.00 + \$20.00 ACRE)¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE)¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE)¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE)^{1 & 2}
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE)¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00)²

NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.
²: A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS 1601 WINTERSTATE 30, ROCKWALL, TEXAS 75087

SUBDIVISION J LOCKHART

LOT A0134 BLOCK 3-2

GENERAL LOCATION JOHN KING 1/4 1-30 (NW CORNER)

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING C2

CURRENT USE VACANT

PROPOSED ZONING C2

PROPOSED USE

ACREAGE 6.5

LOTS [CURRENT] 5

LOTS [PROPOSED]

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER C2LA, LLC

APPLICANT GARDNER CONSTRUCTION

CONTACT PERSON CORBY FLECK

CONTACT PERSON BART GARDNER/JAMES BELT

ADDRESS 382 RANCH TRAIL

ADDRESS 15950 STATE HIGHWAY 205

CITY, STATE & ZIP ROCKWALL TX 75032

CITY, STATE & ZIP TERNELL TX 75160

PHONE 469-338-0262

PHONE 214-675-4435

E-MAIL CORY@ARASOFAMERICA.COM

E-MAIL BART@GARDNER-CONSTRUCTION.COM

NOTARY VERIFICATION [REQUIRED]

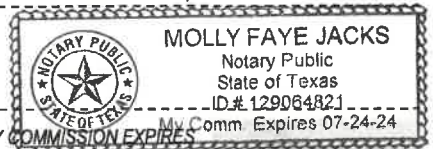
BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED James Belt [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

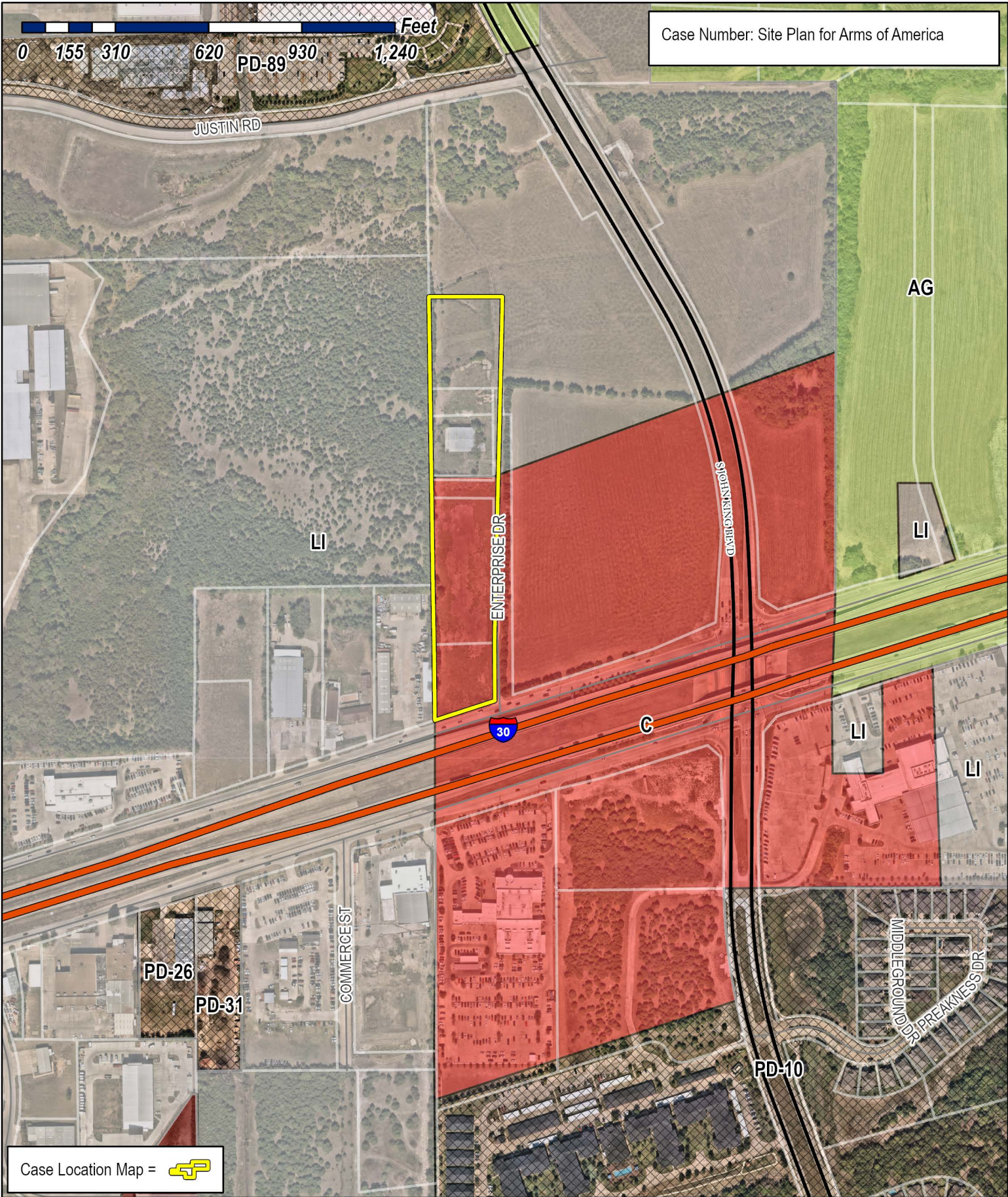
"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ _____ TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 26 DAY OF Sept, 2023 BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 26 DAY OF Sept, 2023

OWNER'S SIGNATURE

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS





City of Rockwall

Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75087
 (P): (972) 771-7745
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



DATE: 11/7/2023

PROJECT NUMBER: SP2023-037
PROJECT NAME: Site Plan for Arms of America
SITE ADDRESS/LOCATIONS: 1601 E INTERSTATE 30



VARIANCE LETTER/REQUEST

Mr. Lee,

Thank you for your assistance concerning the Arms of America development located at 1601 E Interstate 30. The following exception(s) & variance(s) are requested:

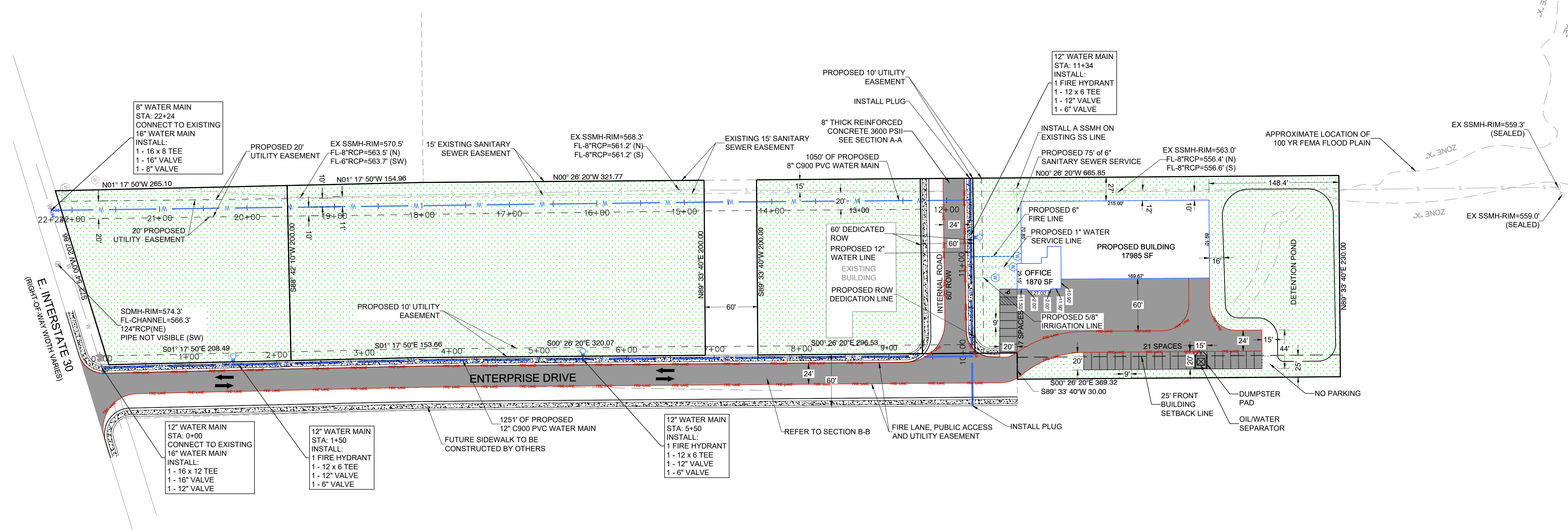
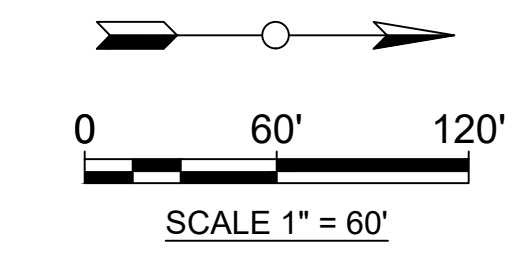
- [1] 20% stone
- [2] 90% masonry material
- [3] primary articulation
- [4] roof pitch

Per the Unified Development Code (Subsection 09.01, of Article 11), the following compensatory measures will be utilized:

- [1] providing a row of landscaping, composed of evergreen shrubs and accent trees, along the west and north sides of the proposed building
- [2] continue the stone wainscot along the east side of the building

Thank you,

James Belt
Gardner Construction
214.478.0240

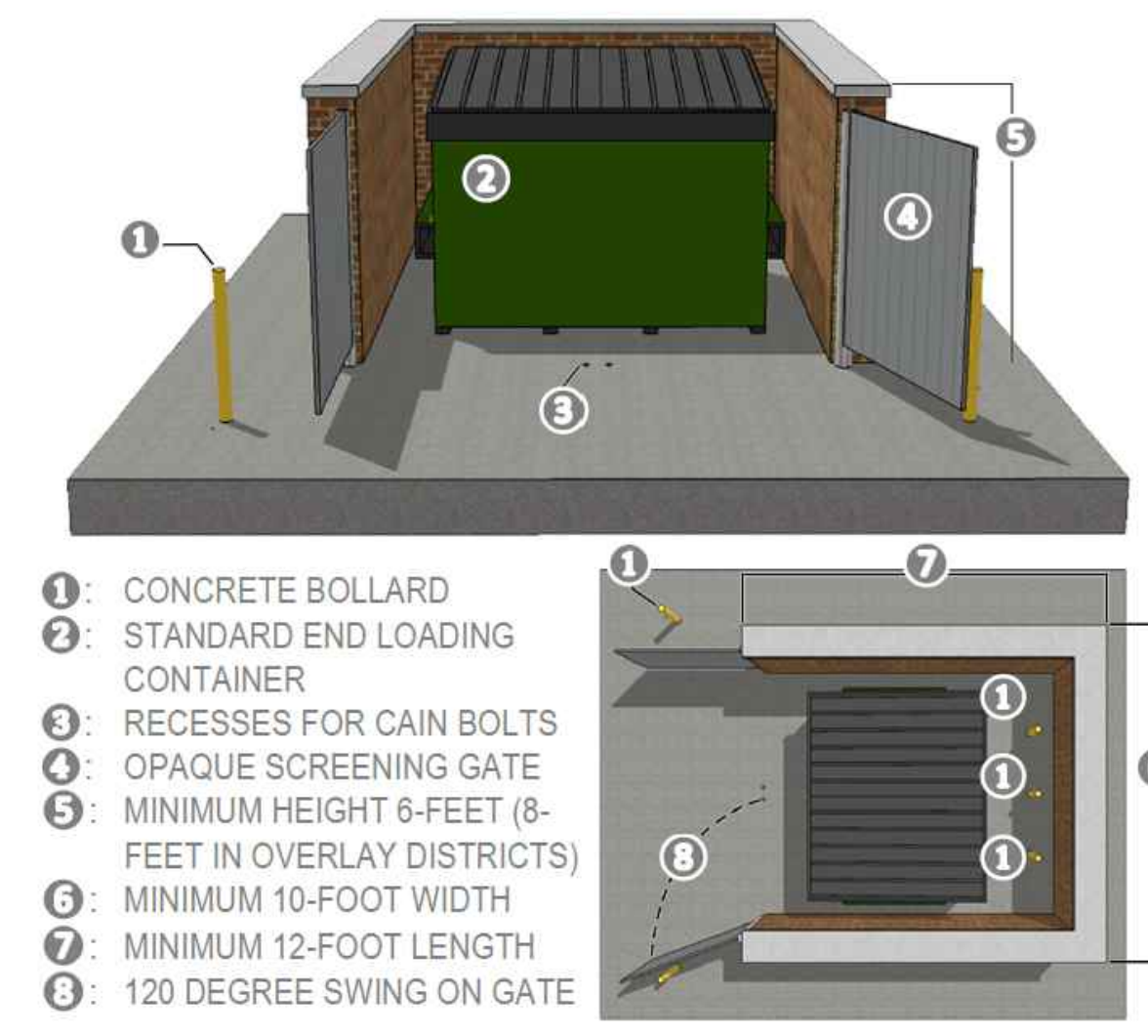
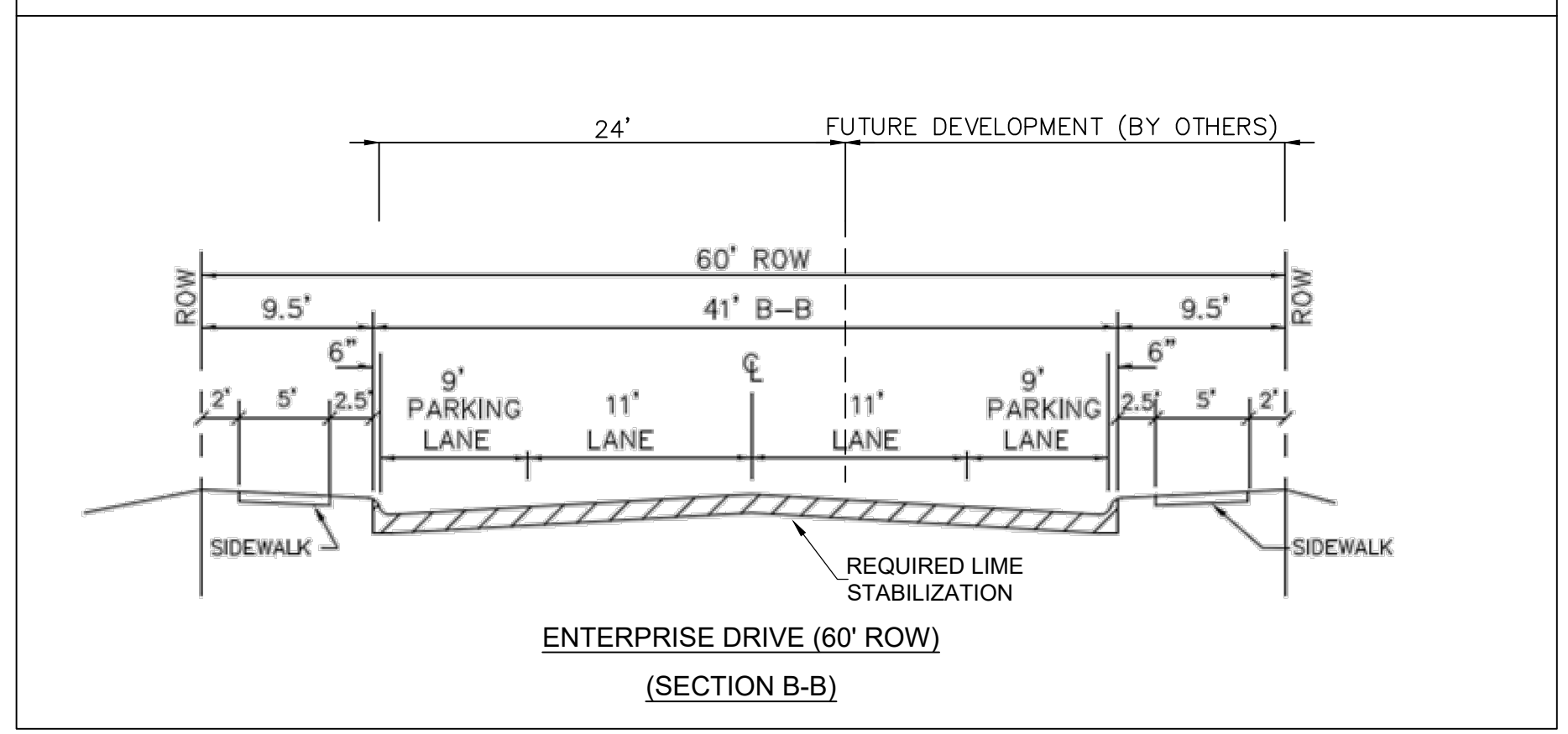
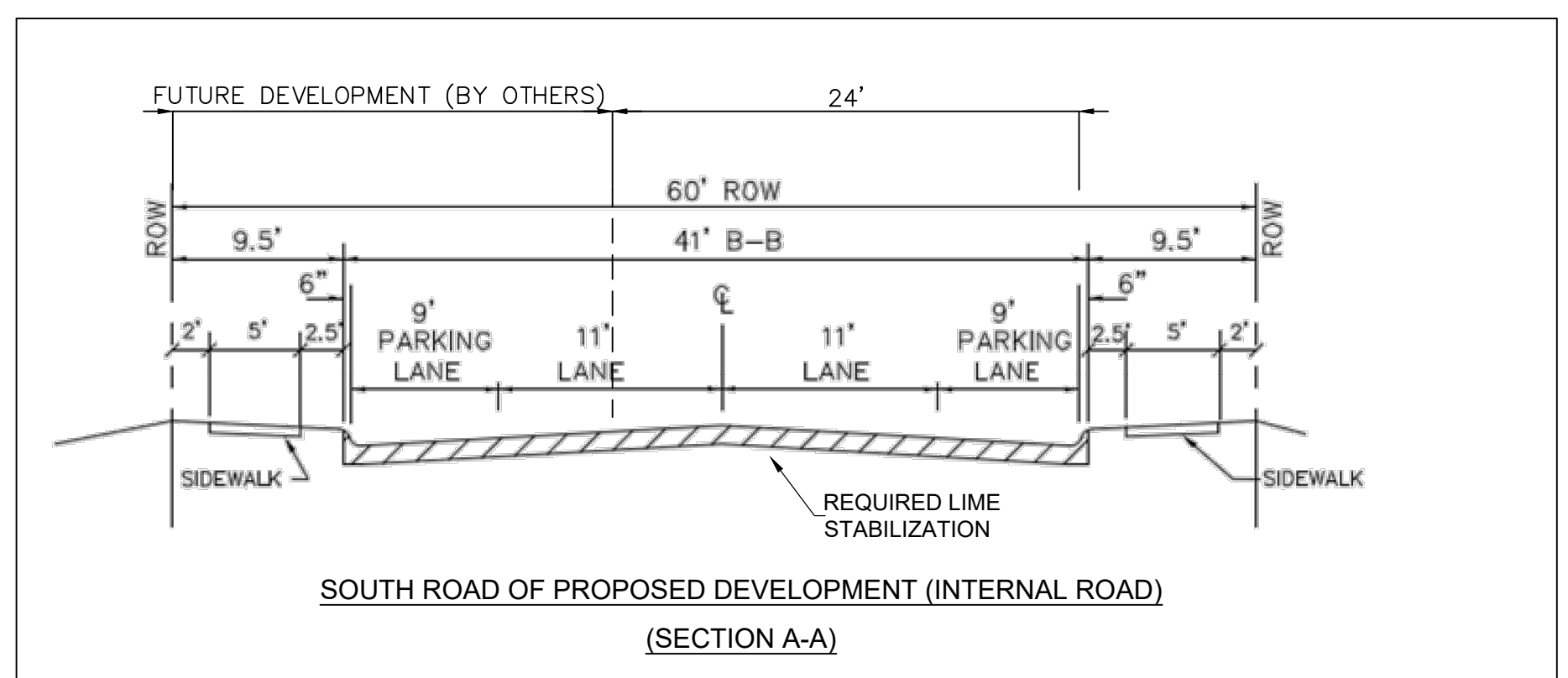
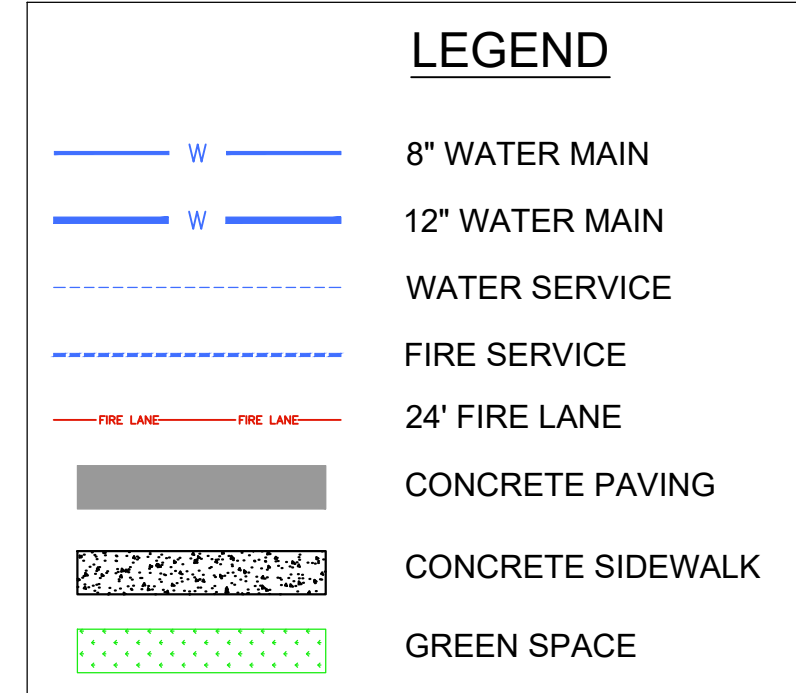


PRIVATE UTILITY NOTE:
 ALL WASTEWATER WORK DESIGNATED AS "PRIVATE" IN THIS SET OF PLANS SHALL BE INSTALLED IN ACCORDANCE WITH THE INTERNATIONAL PLUMBING CODE, PERMITTED AND INSPECTED BY THE CITY BUILDING INSPECTION DEPARTMENT AND INSTALLED BY A LICENSED PLUMBER.

SITE DATA:
 TOTAL SITE AREA = 6.58 AC/ 2,86,656 SF
 TOTAL GREEN SPACE / LANDSCAPE AREA = 5.14 AC
 NO. OF PROPOSED BUILDINGS = 1
 PARKING DIMENSIONS = 9' X 20'

- NOTES:**
- CONTRACTOR SHALL FIELD LOCATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION.
 - ONLY VISUALLY APPARENT UTILITIES SHOWN ON THE PLANS. CONTRACTOR IS RESPONSIBLE TO COORDINATE WITH ANY UNDERGROUND UTILITY PROVIDERS THAT EXISTS IN THE AREA.
 - WATER AND SANITARY SEWER LINES SHALL MAINTAIN A MINIMUM OF 10' SEPARATION.
 - CONTRACTOR TO COORDINATE WITH THE PROPERTY OWNER WHEN REPLACING THE CONCRETE DRIVE TO NOT TO INTERRUPT TRAFFIC FLOW TO/FROM THE LOT.
 - NO STRUCTURES MAY BE PLACED WITHIN THE 15' SANITARY SEWER EASEMENT.
 - THERE SHALL NOT BE ANY OUTSIDE STORAGE. AS OUTSIDE STORAGE IS NOT PERMITTED WITHIN THE IH-30 OVERLAY DISTRICT.
 - ALL NEW PAVING TO BE REINFORCED CONCRETE.
 - PAVING THICKNESS SHOWN IN PLANS IS FOR INFORMATION PURPOSE ONLY. THE OWNER IS RESPONSIBLE FOR CONTACTING A GEOTECH ENGINEER FOR ALL SOIL RELATED WORKS SUCH AS PAVING, FOUNDATION, EARTHWORK, AND RETAINING WALLS.

WAREHOUSE AND OFFICE PARKING CALCULATIONS					
No. OF BUILDING	TOTAL FLOOR AREA (SF)	BUILDING TYPE	PARKING CRITERIA	PARKING REQUIRED	PARKING PROVIDED
1	17985	WAREHOUSE WITH INSIDE STORAGE	1\1000 SF	18	20
1	1870	OFFICES	1\300 SF	6	7
HANDICAPPED PARKING SPACES			1/25 SPACES		1
TOTAL PARKING SPACES				24	28



- 1: CONCRETE BOLLARD
- 2: STANDARD END LOADING CONTAINER
- 3: RECESSES FOR CAIN BOLTS
- 4: OPAQUE SCREENING GATE
- 5: MINIMUM HEIGHT 6- FEET (8- FEET IN OVERLAY DISTRICTS)
- 6: MINIMUM 10-FOOT WIDTH
- 7: MINIMUM 12-FOOT LENGTH
- 8: 120 DEGREE SWING ON GATE

NOTE:
 SOLID MASONRY DUMPSTER ENCLOSURE TO UTILIZES THE SAME MASONRY MATERIALS AS THE PRIMARY BUILDING AND INCORPORATES AN OPAQUE, SELF-LATCHING GATE. THE ENCLOSURE MUST BE SURROUNDED IN 5-GALLON EVERGREEN SHRUBS.

APPROVED:
 I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN FOR A DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE PLANNING & ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE _____ DAY OF _____, WITNESS OUR HANDS, THIS _____ DAY OF _____.

PLANNING & ZONING COMMISSION, CHAIRMAN _____ DIRECTOR OF PLANNING AND ZONING _____



PRELIMINARY FOR INTERIM REVIEW ONLY

THESE DOCUMENTS ARE FOR INTERIM REVIEW AND ARE NOT INTENDED FOR REGULATORY APPROVAL PERMIT, BIDDING OR CONSTRUCTION PURPOSES, THEY WERE PREPARED BY, OR UNDER THE SUPERVISION OF:

K. Naves
 NAVEEN KHAMMAMPATI 123697
 NAME P.E. NO.
 DATE 10/31/2023
 TBPE FIRM #F22283
NOT FOR CONSTRUCTION

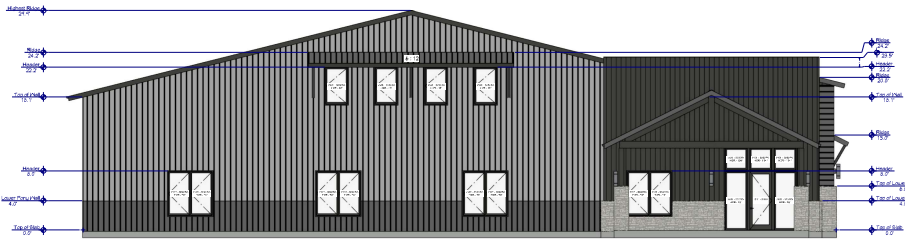
No.	Revision/Issue	Date

Firm Name and Address
TURNKEY TRACT
 2770 MAIN ST #171
 FRISCO, TX 75033
 F-22283
 nkcivilengineer4@gmail.com
 214-483-1599

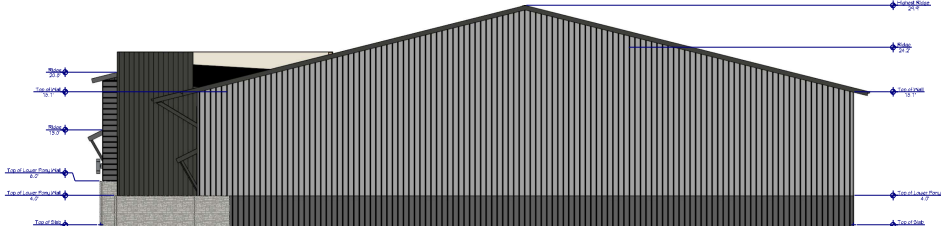
Project Name and Address
 1601 E INTERSTATE 30
 ROCKWALL, TEXAS 75087
SP2023-037

Project	Sheet
Date 10/31/2023	01
Scale	01

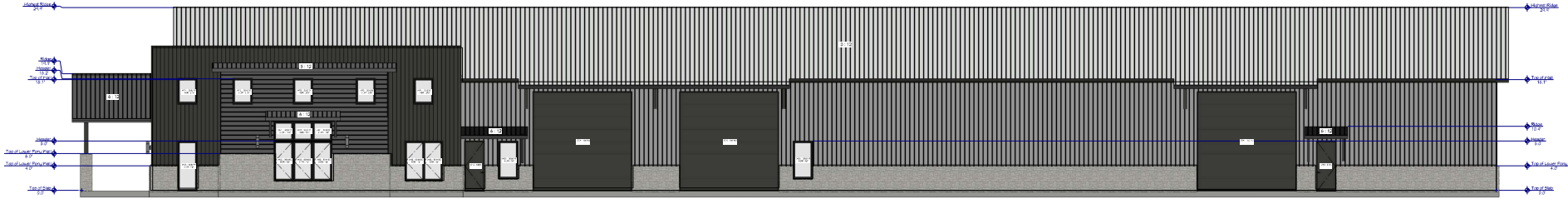
LAYOUT: SITE PLAN
 PATH: D:\OnDemand\2023\Area of America\Rockwall\Drawings



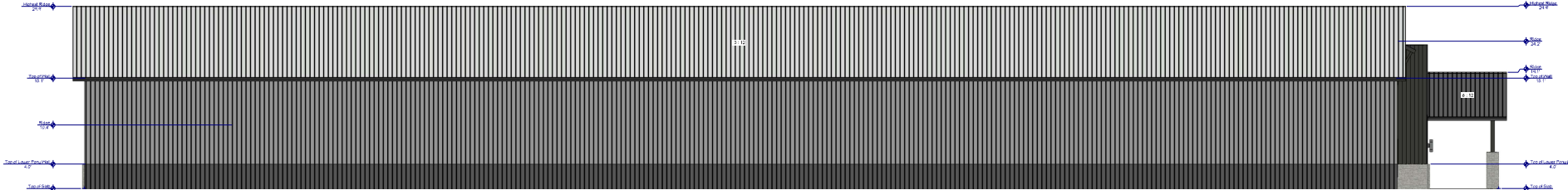
Exterior Elevation Front
 ELEVATION MATERIALS (EXCLUDING ROOF AND DOORS & WINDOWS):
 95% METAL
 5% STONE



Exterior Elevation Back
 ELEVATION MATERIALS (EXCLUDING ROOF AND DOORS & WINDOWS):
 96% METAL
 4% STONE



Exterior Elevation Right
 ELEVATION MATERIALS (EXCLUDING ROOF AND DOORS & WINDOWS):
 77% METAL
 23% STONE



Exterior Elevation Left
 ELEVATION MATERIALS (EXCLUDING ROOF AND DOORS & WINDOWS):
 99% METAL
 1% STONE

SCALE: 1/8" = 1'

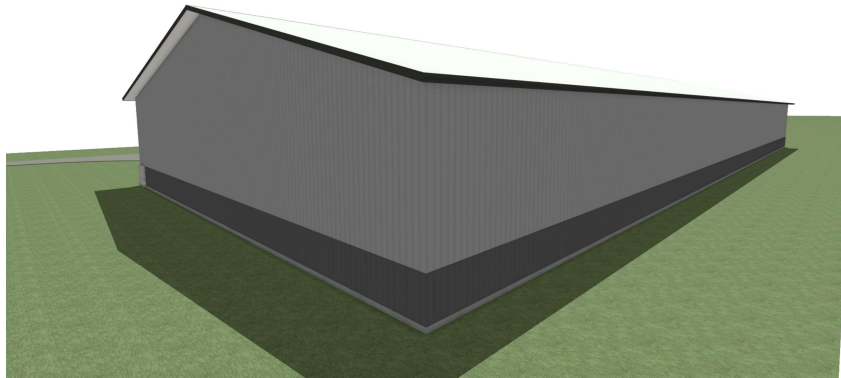
EXTERIOR MATERIALS:	
SOFFIT:	METAL
SIDING:	R PANEL
ACCENT SIDING:	R PANEL
ROOF:	R PANEL
ROOF/ANNINGS:	R PANEL
PORCH POSTS:	8" METAL COLUMNS, BLACK
POST BASES (IF APPLICABLE):	CHOPPED LEUDER POST BASES
(SEE STYLE SHEET FOR ADDITIONAL INFO.)	



FRONT-LEFT



FRONT-RIGHT



BACK-LEFT



BACK-RIGHT

GENERAL NOTES:

THE BUILDER SHALL VERIFY THAT SITE CONDITIONS ARE CONSISTENT WITH THESE PLANS BEFORE STARTING WORK. WORK NOT SPECIFICALLY DETAILED SHALL BE CONSTRUCTED TO THE SAME QUALITY AS SHOWN WORK THAT IS DETAILED. ALL WORK SHALL BE DONE IN ACCORDANCE WITH INTERNATIONAL BUILDING CODES AND LOCAL CODES.

WRITTEN DIMENSIONS AND SPECIFIC NOTES SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS AND GENERAL NOTES. THE ENGINEER/DESIGNER SHALL BE CONSULTED FOR CLARIFICATION IF SITE CONDITIONS ARE ENCOUNTERED THAT ARE DIFFERENT THAN SHOWN. DISCREPANCIES ARE FOUND IN THE PLANS OR NOTES, OR IF A DISCREPANCY EXISTS OVER THE INTENT OF THE PLANS OR NOTES, CONTRACTOR SHALL VERIFY AND IS RESPONSIBLE FOR ALL DIMENSIONS (INCLUDING ROUGH OPENINGS).

PLEASE SEE ADDITIONAL NOTES CALLED OUT ON OTHER SHEETS.

BUILDING PERFORMANCE:

HEAT LOSS CALCULATIONS SHALL COMPLY WITH THE REQUIREMENTS OF REGIONAL AND LOCAL CODES. SEE CALCULATIONS, PURCHASE DESIGNS, FOUNDATION, FIREPLACE ENCLOSURES, AND GARAGE AREAS NOT INCLUDED IN LIVING AREA. ALL EXHAUST FANS TO BE MOUNTED DIRECTLY TO THE EXTERIOR. ALL PENETRATIONS OF THE BUILDING ENVELOPE SHALL BE SEALED WITH CAULK OR FDM.

Layout Page Table

Number	Title
1	PROJECT OVERVIEW
2	ELEVATIONS
3	SCHEDULES & STYLE
4	FOUNDATION/ROUGH-IN PLAN
5	ROOF PLAN - 1F
6	FRAMING PLAN - 1F

TOTAL OFFICE HEATED SF:	1853 SF
TOTAL SLAB SF:	20,273 SF (INCLUDES SHEET/STONE LEDGE)
TOTAL PORCHES UNDER ROOF:	317 SF
TOTAL WAREHOUSE:	18,103 SF
TOTAL UNDER ROOF SF:	20,273 SF

Revision Table			
Label	Date	Revised By	Description
REV 01	11/12/2021	AJH	INITIAL PLAN DEVELOPMENT
REV 03	10/2/2023	AJH	BUILDING & SITE PLAN UPDATES
REV 04	10/31/2023	AJH	ADD STONE PONY WALL TO RIGHT EL. WALL. REMOVED SIGNAGE

-INTERIOR & EXTERIOR 3D MODEL AVAILABLE (AS NEEDED) UPON REQUEST
 -2D ELECTRONIC CAD FILE AVAILABLE (LOW), 2D/3D UPON REQUEST
 -PLEASE REQUEST EITHER HOMEOWNER OR VA DESIGNER CONTACT INFO

To the best of my knowledge these plans are drawn to comply with owner's and/or builder's specifications and any changes made on them after prints are made will be done at the owner's and/or builder's expense and responsibility. The contractor shall verify all dimensions and enclosed drawing. Hamilton Handcrafts/Abide Home Designs is not liable for errors once construction has begun. While every effort has been made in the preparation of this plan to avoid mistakes, the maker can not be held responsible against human error. The contractor of the job must check all dimensions and other details prior to construction and be solely responsible therefor.

BUILDING CONTRACTOR/HOME OWNER TO REVIEW AND VERIFY ALL DIMENSIONS SPECS, LOCAL CODES/BUILDER REQUIREMENTS & CONNECTIONS BEFORE CONSTRUCTION BEGINS.

MIN. CODE RECOMMENDATIONS:
 ELECTRICAL SYSTEM CODE: SEC.2701
 MECHANICAL SYSTEM CODE: SEC.2801
 PLUMBING SYSTEM CODE: SEC.2901
 (CONSULT LOCALITY BUILDING REQUIREMENTS)

REV 04

HOME DESIGNED BY:
 AARON HAMILTON
 ABIDE HOME DESIGNS
 ROYSE CITY, TX / 917-593-0454
 AARON@ABIDEHOMEDESIGNS.COM

PROJECT
 OVERVIEW

ARMS OF AMERICA
 ENTERPRISE DR
 ROCKWALL, TX



DATE:

10/31/2023

SCALE:

1/8"=1'

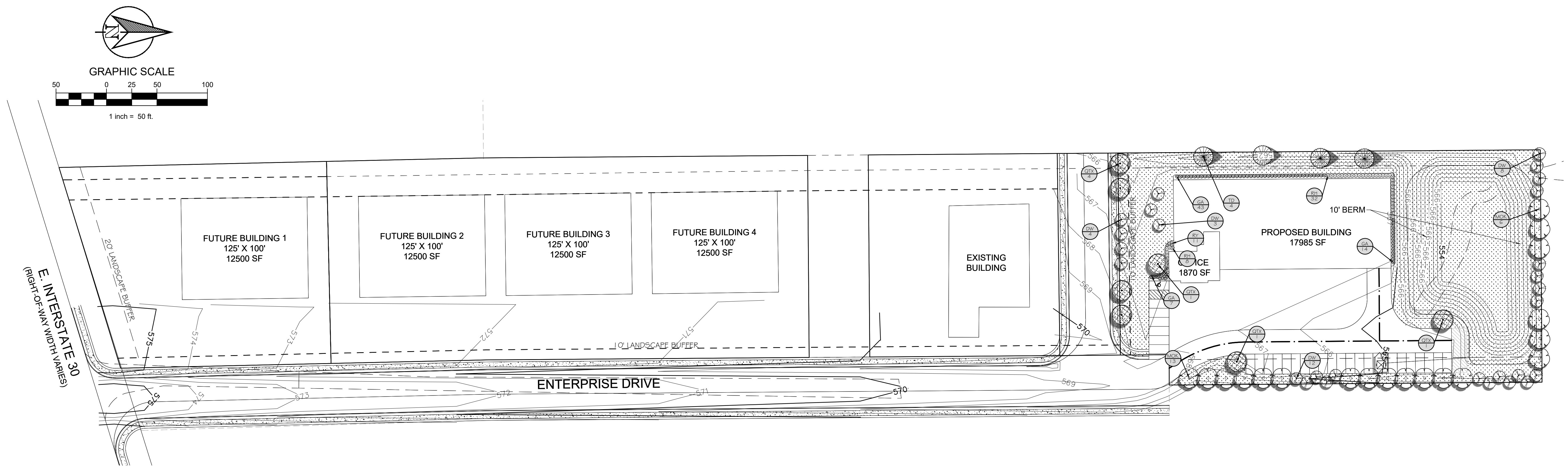
SHEET:

1

Date	Comment

Project Number
Date
Drawn By
Checked By

SP2023-037



PLANT SCHEDULE

TREES	CODE	COMMON / BOTANICAL NAME	SIZE	CONTAINER	QTY
	DW	Desert Willow / <i>Chilopsis lineans</i> min. 4' ht.; buffer tree	CONT.	PER HT.	23
	MOK	Monterey Oak / <i>Quercus polymorpha</i> 'Monterey' min. 1.4' ht.; mitigation tree	CONT.	4"Cal	19
	QTX	Shumard Oak / <i>Quercus shumardii</i> mitigation tree	CONT.	4"Cal	3
	TD	Bald Cypress / <i>Taxodium distichum</i> min. 6' ht.; street tree	CONT.	4"Cal	4
SHRUBS	CODE	COMMON / BOTANICAL NAME	SIZE	QTY	
	GA	Glossy Abelia / <i>Abelia grandiflora</i> 36" o.c.	5 gal	64	
	RY	Red Yucca / <i>Hesperaloe parviflora</i> 30" o.c.	5 gal	11	
	RH	Indian Hawthorn / <i>Raphiolepis indica</i> 'Snow' 36" o.c.	5 gal	40	
GROUND COVERS	CODE	COMMON / BOTANICAL NAME	SIZE	QTY	
	CD	Bermuda Grass / <i>Cynodon dactylon</i> 'tif 419'	sod	45,938 sf	

GENERAL GRADING AND PLANTING NOTES

- BY SUBMITTING A PROPOSAL FOR THE LANDSCAPE PLANTING SCOPE OF WORK, THE CONTRACTOR CONFIRMS THAT HE HAS READ, AND WILL COMPLY WITH, THE ASSOCIATED NOTES, SPECIFICATIONS, AND DETAILS WITH THIS PROJECT.
- THE GENERAL CONTRACTOR IS RESPONSIBLE FOR REMOVING ALL EXISTING VEGETATION (EXCEPT WHERE NOTED TO REMAIN).
- IN THE CONTEXT OF THESE PLANS, NOTES, AND SPECIFICATIONS, "FINISH GRADE" REFERS TO THE FINAL ELEVATION OF THE SOIL SURFACE (NOT TOP OF MULCH) AS INDICATED ON THE GRADING PLANS.
 - BEFORE STARTING WORK, THE LANDSCAPE CONTRACTOR SHALL VERIFY THAT THE ROUGH GRADES OF ALL LANDSCAPE AREAS ARE WITHIN +/-0.1' OF FINISH GRADE. SEE SPECIFICATIONS FOR MORE DETAILED INSTRUCTION ON TURF AREA AND PLANTING BED PREPARATION.
 - CONSTRUCT AND MAINTAIN FINISH GRADES AS SHOWN ON GRADING PLANS, AND CONSTRUCT AND MAINTAIN SLOPES AS RECOMMENDED BY THE GEOTECHNICAL REPORT. ALL LANDSCAPE AREAS SHALL HAVE POSITIVE DRAINAGE AWAY FROM STRUCTURES AT THE MINIMUM SLOPE SPECIFIED IN THE REPORT AND ON THE GRADING PLANS, AND AREAS OF POTENTIAL PONDING SHALL BE REGRADED TO BLEND IN WITH THE SURROUNDING GRADES AND ELIMINATE PONDING POTENTIAL.
 - THE LANDSCAPE CONTRACTOR SHALL DETERMINE WHETHER OR NOT THE EXPORT OF ANY SOIL WILL BE NEEDED, TAKING INTO ACCOUNT THE ROUGH GRADE PROVIDED, THE AMOUNT OF SOIL AMENDMENTS TO BE ADDED (BASED ON A SOIL TEST, PER SPECIFICATIONS), AND THE FINISH GRADES TO BE ESTABLISHED.
 - AFTER INSTALLING SOIL AMENDMENTS IN SHRUB AREAS, AND IN ORDER TO ALLOW FOR PROPER MULCH DEPTH, ENSURE THAT THE FINISH GRADE IMMEDIATELY ADJACENT TO WALKS AND OTHER WALKING SURFACES IS 3" BELOW FINISH GRADE, TAPERING TO MEET FINISH GRADE AT APPROXIMATELY 18" AWAY FROM THE SURFACE.
 - AFTER INSTALLING SOIL AMENDMENTS IN TURF AREAS, ENSURE THAT THE FINISH GRADE IN TURF AREAS IMMEDIATELY ADJACENT TO WALKS AND OTHER WALKING SURFACES IS 1" BELOW FINISH GRADE, TAPERING TO MEET FINISH GRADE AT APPROXIMATELY 18" AWAY FROM THE SURFACE.
 - SHOULD ANY CONFLICTS AND/OR DISCREPANCIES ARISE BETWEEN THE GRADING PLANS, GEOTECHNICAL REPORT, THESE NOTES AND PLANS, AND ACTUAL CONDITIONS, THE CONTRACTOR SHALL IMMEDIATELY BRING SUCH ITEMS TO THE ATTENTION OF THE LANDSCAPE ARCHITECT, GENERAL CONTRACTOR, AND OWNER.
- ALL PLANT LOCATIONS ARE DIAGRAMMATIC. ACTUAL LOCATIONS SHALL BE VERIFIED WITH THE LANDSCAPE ARCHITECT OR DESIGNER PRIOR TO PLANTING. THE LANDSCAPE CONTRACTOR SHALL ENSURE THAT ALL REQUIREMENTS OF THE PERMITTING AUTHORITY ARE MET (I.E., MINIMUM PLANT QUANTITIES, PLANTING METHODS, TREE PROTECTION METHODS, ETC.).
 - THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR DETERMINING PLANT QUANTITIES; PLANT QUANTITIES SHOWN ON LEGENDS AND CALLOUTS ARE FOR GENERAL INFORMATION ONLY. IN THE EVENT OF A DISCREPANCY BETWEEN THE PLAN AND THE PLANT LEGEND, THE PLANT QUANTITY AS SHOWN ON THE PLAN (FOR INDIVIDUAL SYMBOLS) OR CALLOUT (FOR GROUND COVER PATTERNS) SHALL TAKE PRECEDENCE.
 - NO SUBSTITUTIONS OF PLANT MATERIALS SHALL BE ALLOWED WITHOUT THE WRITTEN PERMISSION OF THE LANDSCAPE ARCHITECT.** IF SOME OF THE PLANTS ARE NOT AVAILABLE, THE LANDSCAPE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT IN WRITING (VIA PROPER CHANNELS).
 - THE CONTRACTOR SHALL, AT A MINIMUM, PROVIDE REPRESENTATIVE PHOTOS OF ALL PLANTS PROPOSED FOR THE PROJECT. THE CONTRACTOR SHALL ALLOW THE LANDSCAPE ARCHITECT AND THE OWNER/OWNER'S REPRESENTATIVE TO INSPECT, AND APPROVE OR REJECT, ALL PLANTS DELIVERED TO THE JOBSITE. REFER TO SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS FOR SUBMITTALS.
- THE CONTRACTOR SHALL MAINTAIN THE LANDSCAPE IN A HEALTHY CONDITION FOR 90 DAYS AFTER ACCEPTANCE BY THE OWNER. REFER TO SPECIFICATIONS FOR CONDITIONS OF ACCEPTANCE FOR THE START OF THE MAINTENANCE PERIOD, AND FOR FINAL ACCEPTANCE AT THE END OF THE MAINTENANCE PERIOD.
- APPLY HYDROMULCH FOR ALL DISTURBED LANDSCAPE AREAS OUTSIDE PROPERTY LIMITS.
- SEE SPECIFICATIONS AND DETAILS FOR FURTHER REQUIREMENTS.

LANDSCAPE STANDARDS

05.01 LANDSCAPE BUFFERS - NON-RESIDENTIAL ENTERPRISE DR.: #365' STREET FRONTAGE	20' WIDE BUFFER REQ. W/ 3 CANOPY + 4 ACCENT TREE PER 100 LIN. FT. OF FRONTAGE; GROUND COVER, BUILT-UP BERM AND SHRUBBERY ALONG ENTIRE FRONTAGE, 30" HIGH, MIN. 13 CANOPY TREES; 12 ACCENT TREES, W/ SHRUBS 13 NEW CANOPY TREES; 12 ACCENT TREES
REQUIRED PLANTING: PROVIDED 30' BUFFER:	
WEST PROPERTY LINE BUFFER:	NOT REQUIRED. PROPERTY ZONED COMMERCIAL (C)
05.02 LANDSCAPE SCREENING REQ. HEADLIGHT SCREENING	HEAD-IN PARKING ADJ. TO STREET SHALL INCORP. MIN. 2' BERM W/ MATURE EVERGREEN SHRUBS ALONG ENTIRE PARKING AREAS N/A N/A
PROVIDED SCREENING SCREENING FROM RESIDENTIAL	
05.03 LANDSCAPE REQUIREMENTS - COMMERCIAL (C) DISTRICT TOTAL SITE AREA: LANDSCAPE AREA REQUIRED TOTAL SITE: LANDSCAPE PROVIDED, TOTAL SITE:	144,251 SF 28,850 SF (20%) ±29,121 SF
LOCATION OF LANDSCAPING:	MIN. 50% OF REQ. LANDSCAPING SHALL BE LOCATED IN THE FRONT OF & ALONG THE SIDE OF BUILDINGS W/ STREET FRONTAGE.
LANDSCAPE AREAS IN FRONT & SIDES OF BUILDINGS:	102,608 SF (17.4%)
MIN. SIZE OF AREAS:	ALL REQ. LANDSCAPING SHALL BE NO LESS THAN 5' WIDE AND A MIN. OF 25 SF IN AREA
PARKING LOT LANDSCAPING	MIN. 5% OR 200 SF OF LANDSCAPING, WHICHEVER IS GREATER, IN THE INTERIOR OF PARKING LOT AREA.
PROPOSED PARKING AREA: REQ. PARKING LOT LANDSCAPING:	±6,400 SF ±320 SF (6,400 x 5%) AND (1) LG. CANOPY TREE FOR EVERY 10 PARKING SPACES INTERNAL TO PARKING AREAS (PARKING AREA OVER 20,000 SF) REQ. PARKING SPACES MUST BE WITHIN 80' OF A CANOPY TREE TRUNK
PROPOSED PARKING LOT LANDSCAPING:	±1,200 SF 28 PARKING SPACES / 10 = 28 (3) TREES
TREES PROVIDED:	3 CANOPY TREES

SITE DATA:
TOTAL SITE AREA = 6.58 AC/ 2,86,656 SF
TOTAL GREEN SPACE / LANDSCAPE AREA = 5.14 AC
NO. OF PROPOSED BUILDINGS = 1
PARKING DIMENSIONS = 9' X 20'

PLANTING AND IRRIGATION GUARANTEE

THE LANDSCAPE CONTRACTOR SHALL GUARANTEE THAT ALL NEWLY INSTALLED AND EXISTING PLANTS SHALL SURVIVE FOR ONE YEAR AFTER FINAL OWNER ACCEPTANCE OF THE INSTALLATION WORK. THE CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR APPROPRIATE WATERING OF THE LANDSCAPE THROUGH INSTALLATION OF A PROPERLY DESIGNED IRRIGATION SYSTEM. THE OWNER SHALL APPROVE THE SYSTEM DESIGN BEFORE INSTALLATION OF PLANTS OR IRRIGATION.

MULCHES

AFTER ALL PLANTING IS COMPLETE, CONTRACTOR SHALL INSTALL 3" THICK LAYER OF 1-1/2" SHREDDED WOOD MULCH, NATURAL (UNDYED), IN ALL PLANTING AREAS (EXCEPT FOR TURF AND SEEDED AREAS). CONTRACTOR SHALL SUBMIT SAMPLES OF ALL MULCHES TO LANDSCAPE ARCHITECT AND OWNER FOR APPROVAL PRIOR TO CONSTRUCTION. ABSOLUTELY NO EXPOSED GROUND SHALL BE LEFT SHOWING ANYWHERE ON THE PROJECT AFTER MULCH HAS BEEN INSTALLED (SUBJECT TO THE CONDITIONS AND REQUIREMENTS OF THE "GENERAL GRADING AND PLANTING NOTES" AND SPECIFICATIONS).

ROOT BARRIERS

THE CONTRACTOR SHALL INSTALL ROOT BARRIERS NEAR ALL NEWLY-PLANTED TREES THAT ARE LOCATED WITHIN FIVE (5) FEET OF PAVING OR CURBS. ROOT BARRIERS SHALL BE "CENTURY" OR "DEEP-ROOT" 24" DEEP PANELS (OR EQUAL). BARRIERS SHALL BE LOCATED IMMEDIATELY ADJACENT TO HARDSCAPE. INSTALL PANELS PER MANUFACTURER'S RECOMMENDATIONS. UNDER NO CIRCUMSTANCES SHALL THE CONTRACTOR USE ROOT BARRIERS OF A TYPE THAT COMPLETELY ENCIRCLE THE ROOTBALL.



BLUE = NEW FIXTURE
 GREEN = EXISTING FIXTURE LOCATION TO BE REPLACED
 ORANGE = EXISTING FIXTURE TO REMAIN
 TURQUOISE = FIXTURE TO BE REMOVED
 PINK = REPLACE WITH NEW POLE AT NEW HEIGHT
 - - - - - PROPERTY LINE BASED ON COUNTY APPRAISAL INFORMATION
 - - - - - INDICATES NEW SECURITY FENCE
 - - - - - BURIED ELECTRICAL CIRCUIT



SCALE: 3/64" = 1'-0"
V2 231107

REVISION NO.	DESCRIPTION	REVISED BY

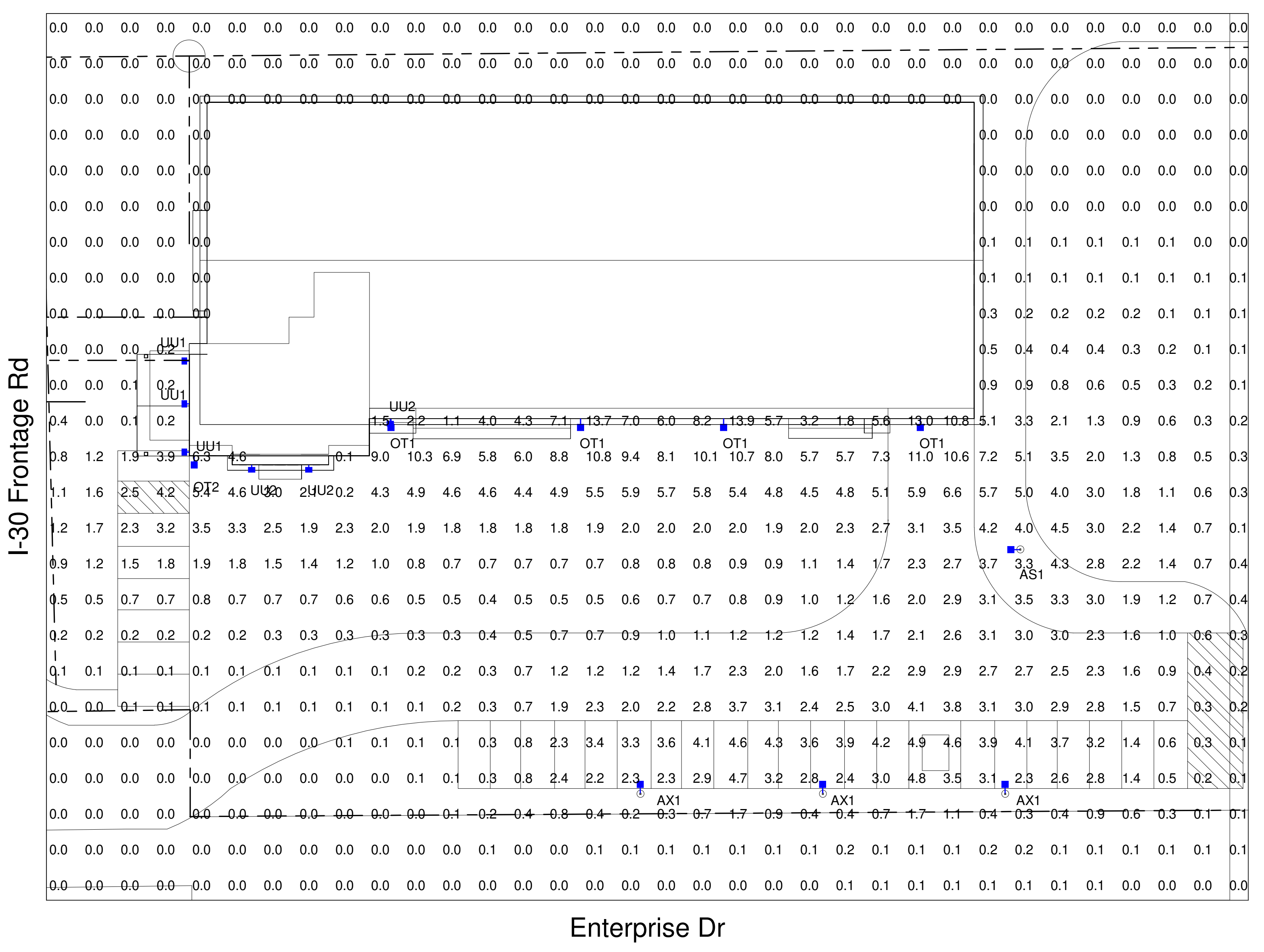


Rockwall - 1601 E I30
1601 E I30,
Rockwall, TX 75087

FULL SITE PHOTOMETRICS PLAN

DESIGNED BY:	CAS	DRAWN BY:	CAS
REVIEWED BY:	AWD	APPROVED BY:	KRM
SHEET NO.	LU-4		

THIS LIGHTING PLAN ILLUSTRATES ILLUMINATE LEVELS CALCULATED FROM LABORATORY DATA UNDER CONTROLLED CONDITIONS IN ACCORDANCE WITH ILLUMINATING ENGINEERING SOCIETY OF NORTH AMERICAN (IESNA) APPROVED METHODS. ACTUAL SITE ILLUMINATION LEVELS AND PERFORMANCE OF LUMINAIRES MAY VARY DUE TO VARIATIONS IN WEATHER, ELECTRICAL VOLTAGE, TOLERANCE IN LAMPS AND OTHER RELATED VARIABLE FIELD CONDITIONS.



- NOTES:
1. THE SCOPE OF WORK FOR THIS PROJECT IS LIMITED TO EXTERIOR LIGHTING RENOVATIONS AS SHOWN ON THE PLANS.
 2. ALL PROPOSED LIGHTS WILL BE FULL CUTOFF LED LIGHT FIXTURES.
 3. ALL EXISTING LIGHTS WILL BE REPLACED WITH FULL CUT OFF LED LIGHT FIXTURES.
 4. REFERENCE THE LUMINAIRE SCHEDULE (SHEET LU-2) FOR ADDITIONAL LIGHT FIXTURE INFORMATION.

CALCULATION SUMMARY FULL SITE					
Calculation Points Name	Average	Maximum	Minimum	Ave/Min	Max/Min
FULL SITE @ GRADE	1.3 fc	13.9 fc	0.0 fc	0.0 fc	0.0 fc
PARKING LOT @ 60" V	1.8 fc	13.9 fc	0.1 fc	12.5 fc	94.6 fc
PARKING LOT @ GRADE	2.5 fc	12.0 fc	0.0 fc	0.0 fc	0.0 fc
PROPERTY LINE @ GRADE	0.1 fc	0.2 fc	0.0 fc	0.0 fc	0.0 fc

THE EDGE® Series TYPE AS

LED Area/Flood Luminaire

Rev. Date: V11 09/07/2021

Product Description

THE EDGE® Series has a slim, low profile design. Its rugged cast aluminum housing minimizes wind load requirements and features an integral, weathertight LED driver compartment and high performance aluminum heat sinks. Various mounting choices: Adjustable Arm, Direct Arm, Direct Arm Long, or Side Arm (details on page 2). Includes a leaf/debris guard.

Applications: Parking lots, walkways, campuses, car dealerships, office complexes, and internal roadways

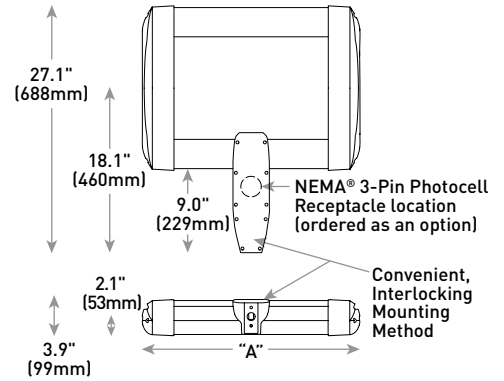
GC TO VERIFY THAT FIXTURES CAN BE MOUNTED PER PLAN AND ALL NECESSARY HARDWARE IS SPECIFIED FOR INSTALLATION PRIOR TO PURCHASING

Performance Summary

- Patented NanoOptic® Product Technology
- Assembled in the U.S.A. of U.S. and imported parts
- CRI:** Minimum 70 CRI (4000K & 5700K); 80 CRI (3000K); 90 CRI (5000K)
- CCT:** Turtle Friendly Amber, 3000K (+/- 300K), 4000K (+/- 300K), 5000K (+/- 500K), 5700K (+/- 500K) standard
- Limited Warranty*:** 10 years on luminaire/10 years on Colorfast DeltaGuard® finish /1 year on accessories

*See <http://creelighting.com/warranty> for warranty terms

DA Mount **GC TO SEE NOTES BELOW**



Accessories

Field-Installed	
Bird Spikes XA-BRDSPK	Backlight Control Shields XA-20BLS-4 - Four-pack - Unpainted stainless steel
Hand-Held Remote XA-SENSREM - For successful implementation of the programmable multi-level option, a minimum of one hand-held remote is required	Shorting Cap XA-XLSHRT
	NEMA® 3-Pin Photocell C-ACC-A-PCCELL-NEMA3-LV - On/off functionality only - Available with UL voltage only

GC TO VERIFY AND SPECIFY IF NOT UL **GC TO REFERENCE PLANS FOR COLOR DESIGNATION**

LED Count (x10)	Dim. "A"	Weight
02	12.1" (306mm)	21 lbs. (10kg)
04	12.1" (306mm)	24 lbs. (11kg)
06	14.1" (357mm)	27 lbs. (12kg)
08	16.1" (408mm)	28 lbs. (13kg)
10	18.1" (459mm)	32 lbs. (15kg)
12	20.1" (510mm)	34 lbs. (15kg)
14	22.1" (560mm)	37 lbs. (17kg)
16	24.1" (611mm)	41 lbs. (19kg)

AA/DL/SA Mount - see page 22 for weight & dimensions

Ordering Information

Example: ARE-EDG-2M-AA-12-E-UL-SV-350

Product	Optic	Mounting*	LED Count (x10)	Series	Voltage	Color Options	Drive Current	Options				
ARE-EDG	2M Type II Medium	3MB Type III Medium w/BLS	4MP Type IV Medium w/Partial BLS	AA Adjustable Arm	02	E	UL Universal 120-277V	BK Black	350 350mA	DIM 0-10V Dimming - Control by others - Refer to Dimming spec sheet for details - Can't exceed specified drive current - Not available with PML options	PML2 Programmable Multi-Level, 10-30' Mounting Height - Refer to PML spec sheet for details - Intended for downlight applications at 0° tilt	
												04
	2MB Type II Medium w/BLS	3MP Type III Medium w/Partial BLS	5M Type V Medium	DA Direct Arm	06	08	UH Universal 347-480V	SV Silver	700 700mA	HL Hi/Low (Dual Circuit Input) - Refer to HL spec sheet for details - Sensor not included	30K 3000K Color Temperature - Minimum 80 CRI - Color temperature per luminaire	
												10
	2MP Type II Medium w/Partial BLS	4M Type IV Medium	5S Type V Short	DL Direct Long Arm	12	14	16			PML Programmable Multi-Level, 20-40' Mounting Height - Refer to PML spec sheet for details - Intended for downlight applications at 0° tilt	50K 5000K Color Temperature - Minimum 90 CRI - Color temperature per luminaire	
												14
	2MP Type II Medium w/Partial BLS	4M Type IV Medium	5S Type V Short	DL Direct Long Arm	12	14	16					
												16
	FLD-EDG	25° Flood	70° Flood	N6 NEMA® 6	AA Adjustable Arm	02	E	UL	BK Black	350 350mA		
FLD-EDG	40° Flood	SN Sign	SA Side Arm - Available with 20-60 LEDs	DA Direct Arm	06	08	UH Universal 347-480V	SV Silver	700 700mA			
												10
FLD-EDG	40° Flood	SN Sign	SA Side Arm - Available with 20-60 LEDs	DA Direct Arm	06	08	UH Universal 347-480V	SV Silver	700 700mA			
												10

* Reference EPA and pole configuration suitability data beginning on page 19



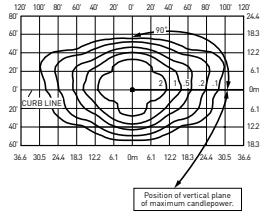
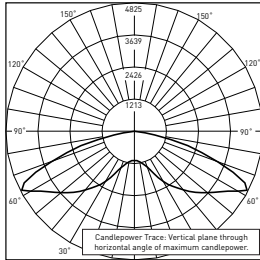
US: creelighting.com (800) 236-6800
Canada: creelighting-canada.com (800) 473-1234



Photometry

All published luminaire photometric testing performed to IES LM-79-08 standards. To obtain an IES file specific to your project consult: <http://creelighting.com/products/outdoor/area/cree-edge-series-1>

2M



RESTL Test Report #: PL10270-004B
 ARE-EDG-2M-**-06-E-UL-525-40K
 Initial Delivered Lumens: 10,053

ARE-EDG-2M-**-10-E-UL-525-40K
 Mounting Height: 25' (7.6m) A.F.G.
 Initial Delivered Lumens: 17,504
 Initial FC at grade

Type II Medium Distribution										
LED Count (x10)	3000K		4000K		5000K		5700K		TRL	
	Initial Delivered Lumens [*]	BUG Ratings ^{**} Per TM-15-11	Initial Delivered Lumens [*]	BUG Ratings ^{**} Per TM-15-11	Initial Delivered Lumens [*]	BUG Ratings ^{**} Per TM-15-11	Initial Delivered Lumens [*]	BUG Ratings ^{**} Per TM-15-11	Initial Delivered Lumens [*]	BUG Ratings ^{**} Per TM-15-11
350mA										
02	2,072	B1 U0 G1	2,501	B1 U0 G1	1,902	B1 U0 G1	2,551	B1 U0 G1	816	B0 U0 G0
04	4,143	B2 U0 G1	5,003	B2 U0 G2	3,803	B1 U0 G1	5,102	B2 U0 G2	1,633	B1 U0 G1
06	6,144	B2 U0 G2	7,418	B2 U0 G2	5,640	B2 U0 G2	7,565	B2 U0 G2	2,421	B1 U0 G1
08	8,192	B2 U0 G2	9,891	B3 U0 G3	7,519	B2 U0 G2	10,087	B3 U0 G3	3,228	B1 U0 G1
10	10,215	B3 U0 G3	12,334	B3 U0 G3	9,377	B3 U0 G3	12,578	B3 U0 G3	4,025	B2 U0 G1
12	12,258	B3 U0 G3	14,801	B3 U0 G3	11,252	B3 U0 G3	15,094	B3 U0 G3	4,830	B2 U0 G2
14	14,211	B3 U0 G3	17,158	B3 U0 G3	13,044	B3 U0 G3	17,498	B3 U0 G3	5,599	B2 U0 G2
16	16,241	B3 U0 G3	19,609	B3 U0 G3	14,908	B3 U0 G3	19,998	B4 U0 G3	6,399	B2 U0 G2
525mA										
02	2,943	B1 U0 G1	3,550	B1 U0 G1	2,702	B1 U0 G1	3,624	B1 U0 G1		N/A
04	5,886	B2 U0 G2	7,099	B2 U0 G2	5,403	B2 U0 G2	7,248	B2 U0 G2		N/A
06	8,729	B3 U0 G3	10,527	B3 U0 G3	8,012	B2 U0 G2	10,748	B3 U0 G3		N/A
08	11,638	B3 U0 G3	14,037	B3 U0 G3	10,683	B3 U0 G3	14,331	B3 U0 G3		N/A
10	14,513	B3 U0 G3	17,504	B3 U0 G3	13,322	B3 U0 G3	17,870	B3 U0 G3		N/A
12	17,415	B3 U0 G3	21,004	B4 U0 G4	15,986	B3 U0 G3	21,444	B4 U0 G4		N/A
14	20,189	B4 U0 G3	24,350	B4 U0 G4	18,532	B3 U0 G3	24,860	B4 U0 G4		N/A
16	23,074	B4 U0 G4	27,828	B4 U0 G4	21,179	B4 U0 G4	28,411	B4 U0 G4		N/A
700mA										
02	3,472	B1 U0 G1	4,189	B2 U0 G1	3,187	B1 U0 G1	4,275	B2 U0 G2		N/A
04	6,943	B2 U0 G2	8,379	B2 U0 G2	6,373	B2 U0 G2	8,549	B3 U0 G3		N/A
06	10,296	B3 U0 G3	12,425	B3 U0 G3	9,451	B3 U0 G3	12,678	B3 U0 G3		N/A

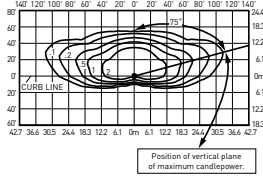
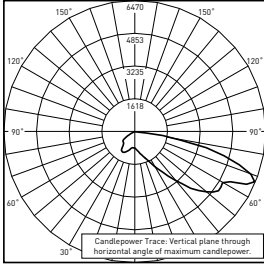
* Initial delivered lumens at 25°C (77°F). Actual production yield may vary between -10 and +10% of initial delivered lumens
 ** For more information on the IES BUG (Backlight-Uplight-Glare) Rating visit: <https://www.ies.org/wp-content/uploads/2017/03/TM-15-11BUGRatingsAddendum.pdf>.

THE EDGE® LED Area/Flood Luminaire

Photometry

All published luminaire photometric testing performed to IES LM-79-08 standards. To obtain an IES file specific to your project consult: <http://creelighting.com/products/outdoor/area/cree-edge-series-1>

2MB



RESTL Test Report #: PL10023-003B
 ARE-EDG-2MB-**-06-E-UL-525-40K
 Initial Delivered Lumens: 7,784

ARE-EDG-2MB-**-10-E-UL-525-40K
 Mounting Height: 25' (7.6m) A.F.G.
 Initial Delivered Lumens: 13,185
 Initial FC at grade

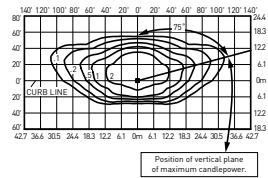
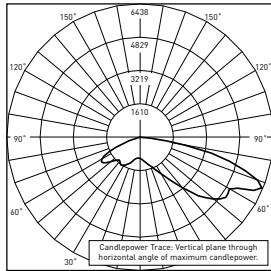
Type II Medium Distribution w/BLS										
LED Count (x10)	3000K		4000K		5000K		5700K		TRL	
	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11
350mA										
02	1,560	B0 U0 G1	1,884	B0 U0 G1	1,432	B0 U0 G1	1,921	B0 U0 G1	615	B0 U0 G0
04	3,121	B0 U0 G1	3,768	B1 U0 G1	2,865	B0 U0 G1	3,843	B1 U0 G1	1,230	B0 U0 G1
06	4,628	B1 U0 G1	5,588	B1 U0 G1	4,248	B1 U0 G1	5,698	B1 U0 G1	1,824	B0 U0 G1
08	6,170	B1 U0 G1	7,450	B1 U0 G2	5,664	B1 U0 G1	7,598	B1 U0 G2	2,431	B0 U0 G1
10	7,695	B1 U0 G2	9,291	B1 U0 G2	7,063	B1 U0 G2	9,475	B1 U0 G2	3,032	B0 U0 G1
12	9,233	B1 U0 G2	11,149	B1 U0 G2	8,476	B1 U0 G2	11,370	B1 U0 G2	3,638	B1 U0 G1
14	10,704	B1 U0 G2	12,924	B1 U0 G2	9,825	B1 U0 G2	13,181	B1 U0 G2	4,218	B1 U0 G1
16	12,233	B1 U0 G2	14,771	B1 U0 G3	11,229	B1 U0 G2	15,063	B1 U0 G3	4,820	B1 U0 G1
525mA										
02	2,217	B0 U0 G1	2,674	B0 U0 G1	2,035	B0 U0 G1	2,730	B0 U0 G1		N/A
04	4,434	B1 U0 G1	5,348	B1 U0 G1	4,070	B1 U0 G1	5,460	B1 U0 G1		N/A
06	6,575	B1 U0 G2	7,930	B1 U0 G2	6,035	B1 U0 G1	8,096	B1 U0 G2		N/A
08	8,766	B1 U0 G2	10,573	B1 U0 G2	8,047	B1 U0 G2	10,794	B1 U0 G2		N/A
10	10,932	B1 U0 G2	13,185	B1 U0 G2	10,034	B1 U0 G2	13,461	B1 U0 G2		N/A
12	13,118	B1 U0 G2	15,821	B2 U0 G3	12,041	B1 U0 G2	16,153	B2 U0 G3		N/A
14	15,208	B1 U0 G3	18,341	B2 U0 G3	13,959	B1 U0 G2	18,726	B2 U0 G3		N/A
16	17,380	B2 U0 G3	20,962	B2 U0 G3	15,953	B2 U0 G3	21,401	B2 U0 G3		N/A
700mA										
02	2,615	B0 U0 G1	3,156	B0 U0 G1	2,400	B0 U0 G1	3,220	B0 U0 G1		N/A
04	5,230	B1 U0 G1	6,311	B1 U0 G2	4,801	B1 U0 G1	6,440	B1 U0 G2		N/A
06	7,755	B1 U0 G2	9,359	B1 U0 G2	7,119	B1 U0 G2	9,549	B1 U0 G2		N/A

* Initial delivered lumens at 25°C (77°F). Actual production yield may vary between -10 and +10% of initial delivered lumens
 ** For more information on the IES BUG (Backlight-Uplight-Glare) Rating visit: <https://www.ies.org/wp-content/uploads/2017/03/TM-15-11BUGRatingsAddendum.pdf>

Photometry

All published luminaire photometric testing performed to IES LM-79-08 standards. To obtain an IES file specific to your project consult: <http://creelighting.com/products/outdoor/area/cree-edge-series-1>

2MP



RESTL Test Report #: PL10097-001B
 ARE-EDG-2MP-**-06-E-UL-525-40K
 Initial Delivered Lumens: 9,149

ARE-EDG-2MP-**-10-E-UL-525-40K
 Mounting Height: 25' (7.6m) A.F.G.
 Initial Delivered Lumens: 15,458
 Initial FC at grade

Type II Medium Distribution w/Partial BLS										
LED Count (x10)	3000K		4000K		5000K		5700K		TRL	
	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11
350mA										
02	1,829	B1 U0 G1	2,209	B1 U0 G1	1,679	B1 U0 G1	2,253	B1 U0 G1	721	B0 U0 G0
04	3,659	B1 U0 G1	4,418	B1 U0 G1	3,359	B1 U0 G1	4,505	B1 U0 G1	1,442	B0 U0 G1
06	5,426	B1 U0 G1	6,551	B1 U0 G1	4,980	B1 U0 G1	6,681	B1 U0 G1	2,138	B1 U0 G1
08	7,234	B2 U0 G1	8,735	B2 U0 G2	6,640	B1 U0 G1	8,908	B2 U0 G2	2,851	B1 U0 G1
10	9,021	B2 U0 G2	10,892	B2 U0 G2	8,281	B2 U0 G2	11,108	B2 U0 G2	3,555	B1 U0 G1
12	10,825	B2 U0 G2	13,071	B2 U0 G2	9,937	B2 U0 G2	13,330	B2 U0 G2	4,266	B1 U0 G1
14	12,550	B2 U0 G2	15,153	B2 U0 G2	11,520	B2 U0 G2	15,453	B2 U0 G2	4,945	B1 U0 G1
16	14,343	B2 U0 G2	17,317	B2 U0 G2	13,165	B2 U0 G2	17,661	B3 U0 G2	5,651	B1 U0 G1
525mA										
02	2,599	B1 U0 G1	3,135	B1 U0 G1	2,386	B1 U0 G1	3,200	B1 U0 G1		N/A
04	5,198	B1 U0 G1	6,270	B1 U0 G1	4,772	B1 U0 G1	6,401	B1 U0 G1		N/A
06	7,708	B2 U0 G2	9,297	B2 U0 G2	7,076	B2 U0 G1	9,492	B2 U0 G2		N/A
08	10,278	B2 U0 G2	12,396	B2 U0 G2	9,434	B2 U0 G2	12,656	B2 U0 G2		N/A
10	12,817	B2 U0 G2	15,458	B2 U0 G2	11,764	B2 U0 G2	15,782	B2 U0 G2		N/A
12	15,380	B2 U0 G2	18,549	B3 U0 G3	14,117	B2 U0 G2	18,938	B3 U0 G3		N/A
14	17,830	B3 U0 G2	21,504	B3 U0 G3	16,366	B2 U0 G2	21,954	B3 U0 G3		N/A
16	20,377	B3 U0 G3	24,576	B3 U0 G3	18,704	B3 U0 G3	25,091	B3 U0 G3		N/A
700mA										
02	3,066	B1 U0 G1	3,700	B1 U0 G1	2,814	B1 U0 G1	3,775	B1 U0 G1		N/A
04	6,132	B1 U0 G1	7,400	B2 U0 G1	5,628	B1 U0 G1	7,550	B2 U0 G2		N/A
06	9,092	B2 U0 G2	10,973	B2 U0 G2	8,346	B2 U0 G2	11,196	B2 U0 G2		N/A

* Initial delivered lumens at 25°C (77°F). Actual production yield may vary between -10 and +10% of initial delivered lumens

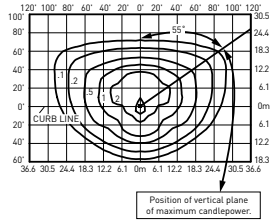
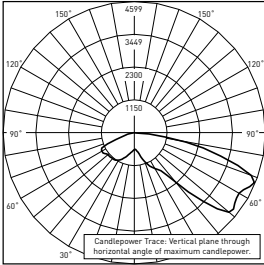
** For more information on the IES BUG (Backlight-Uplight-Glare) Rating visit: <https://www.ies.org/wp-content/uploads/2017/03/TM-15-11BUGRatingsAddendum.pdf>.

THE EDGE® LED Area/Flood Luminaire

Photometry

All published luminaire photometric testing performed to IES LM-79-08 standards. To obtain an IES file specific to your project consult: <http://creelighting.com/products/outdoor/area/cree-edge-series-1>

3M



RESTL Test Report #: PL09405-001A
 ARE-EDG-3M-**-06-E-UL-525-40K
 Initial Delivered Lumens: 9,460

ARE-EDG-3M-**-10-E-UL-525-40K
 Mounting Height: 25' (7.6m) A.F.G.
 Initial Delivered Lumens: 16,594
 Initial FC at grade

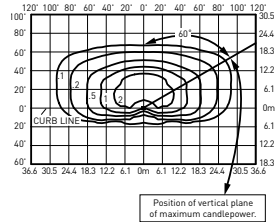
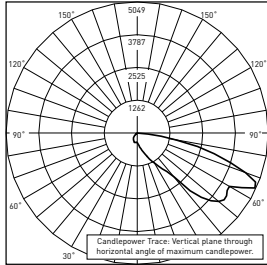
Type III Medium Distribution										
LED Count (x10)	3000K		4000K		5000K		5700K		TRL	
	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11
350mA										
02	1,964	B1 U0 G1	2,371	B1 U0 G1	1,803	B1 U0 G1	2,418	B1 U0 G1	774	B0 U0 G1
04	3,928	B1 U0 G1	4,743	B1 U0 G1	3,606	B1 U0 G1	4,837	B1 U0 G1	1,548	B1 U0 G1
06	5,825	B2 U0 G2	7,033	B2 U0 G2	5,347	B2 U0 G2	7,172	B2 U0 G2	2,295	B1 U0 G1
08	7,766	B2 U0 G2	9,377	B2 U0 G2	7,129	B2 U0 G2	9,563	B2 U0 G2	3,060	B1 U0 G1
10	9,685	B2 U0 G2	11,693	B3 U0 G3	8,890	B2 U0 G2	11,925	B3 U0 G3	3,816	B1 U0 G1
12	11,621	B3 U0 G3	14,032	B3 U0 G3	10,667	B3 U0 G3	14,310	B3 U0 G3	4,579	B1 U0 G1
14	13,472	B3 U0 G3	16,267	B3 U0 G3	12,367	B3 U0 G3	16,589	B3 U0 G3	5,309	B2 U0 G2
16	15,397	B3 U0 G3	18,591	B3 U0 G3	14,133	B3 U0 G3	18,959	B3 U0 G3	6,067	B2 U0 G2
525mA										
02	2,790	B1 U0 G1	3,365	B1 U0 G1	2,561	B1 U0 G1	3,436	B1 U0 G1		N/A
04	5,581	B2 U0 G2	6,731	B2 U0 G2	5,122	B2 U0 G2	6,872	B2 U0 G2		N/A
06	8,275	B2 U0 G2	9,981	B3 U0 G3	7,596	B2 U0 G2	10,190	B3 U0 G3		N/A
08	11,034	B3 U0 G3	13,307	B3 U0 G3	10,128	B3 U0 G3	13,586	B3 U0 G3		N/A
10	13,759	B3 U0 G3	16,594	B3 U0 G3	12,630	B3 U0 G3	16,942	B3 U0 G3		N/A
12	16,511	B3 U0 G3	19,913	B3 U0 G3	15,155	B3 U0 G3	20,330	B3 U0 G3		N/A
14	19,141	B3 U0 G3	23,085	B3 U0 G3	17,569	B3 U0 G3	23,569	B3 U0 G3		N/A
16	21,875	B3 U0 G3	26,383	B4 U0 G4	20,079	B3 U0 G3	26,936	B4 U0 G4		N/A
700mA										
02	3,291	B1 U0 G1	3,972	B1 U0 G1	3,021	B1 U0 G1	4,053	B1 U0 G1		N/A
04	6,582	B2 U0 G2	7,944	B2 U0 G2	6,042	B2 U0 G2	8,105	B2 U0 G2		N/A
06	9,761	B2 U0 G2	11,779	B3 U0 G3	8,960	B2 U0 G2	12,019	B3 U0 G3		N/A

* Initial delivered lumens at 25°C (77°F). Actual production yield may vary between -10 and +10% of initial delivered lumens
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Photometry

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3MB



RESTL Test Report #: PL10023-001B
 ARE-EDG-3MB-**-06-E-UL-525-40K
 Initial Delivered Lumens: 7,602

ARE-EDG-3MB-**-10-E-UL-525-40K
 Mounting Height: 25' (7.6m) A.F.G.
 Initial Delivered Lumens: 12,275
 Initial FC at grade

Type III Medium Distribution w/BLS										
LED Count (x10)	3000K		4000K		5000K		5700K		TRL	
	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11
350mA										
02	1,453	B0 U0 G1	1,754	B0 U0 G1	1,334	B0 U0 G1	1,789	B0 U0 G1	572	B0 U0 G0
04	2,906	B0 U0 G1	3,508	B1 U0 G1	2,667	B0 U0 G1	3,578	B1 U0 G1	1,145	B0 U0 G1
06	4,309	B1 U0 G1	5,202	B1 U0 G1	3,955	B1 U0 G1	5,305	B1 U0 G1	1,698	B0 U0 G1
08	5,745	B1 U0 G2	6,936	B1 U0 G2	5,273	B1 U0 G1	7,074	B1 U0 G2	2,264	B0 U0 G1
10	7,164	B1 U0 G2	8,650	B1 U0 G2	6,576	B1 U0 G2	8,821	B1 U0 G2	2,823	B0 U0 G1
12	8,597	B1 U0 G2	10,380	B1 U0 G2	7,891	B1 U0 G2	10,585	B1 U0 G2	3,387	B1 U0 G1
14	9,966	B1 U0 G2	12,033	B1 U0 G2	9,148	B1 U0 G2	12,272	B1 U0 G2	3,927	B1 U0 G1
16	11,390	B1 U0 G2	13,752	B2 U0 G3	10,455	B1 U0 G2	14,025	B2 U0 G3	4,488	B1 U0 G1
525mA										
02	2,064	B0 U0 G1	2,489	B0 U0 G1	1,895	B0 U0 G1	2,542	B0 U0 G1		N/A
04	4,128	B1 U0 G1	4,979	B1 U0 G1	3,789	B1 U0 G1	5,083	B1 U0 G1		N/A
06	6,121	B1 U0 G2	7,383	B1 U0 G2	5,619	B1 U0 G2	7,538	B1 U0 G2		N/A
08	8,162	B1 U0 G2	9,844	B1 U0 G2	7,492	B1 U0 G2	10,050	B1 U0 G2		N/A
10	10,178	B1 U0 G2	12,275	B1 U0 G2	9,342	B1 U0 G2	12,532	B1 U0 G2		N/A
12	12,213	B1 U0 G2	14,730	B2 U0 G3	11,211	B1 U0 G2	15,039	B2 U0 G3		N/A
14	14,159	B2 U0 G3	17,077	B2 U0 G3	12,996	B1 U0 G2	17,434	B2 U0 G3		N/A
16	16,181	B2 U0 G3	19,516	B2 U0 G3	14,853	B2 U0 G3	19,925	B2 U0 G3		N/A
700mA										
02	2,435	B0 U0 G1	2,938	B1 U0 G1	2,235	B0 U0 G1	2,998	B1 U0 G1		N/A
04	4,869	B1 U0 G1	5,876	B1 U0 G2	4,469	B1 U0 G1	5,996	B1 U0 G2		N/A
06	7,220	B1 U0 G2	8,714	B1 U0 G2	6,628	B1 U0 G2	8,891	B1 U0 G2		N/A

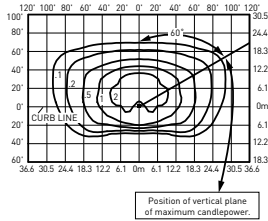
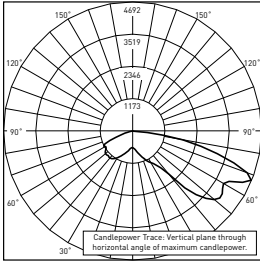
* Initial delivered lumens at 25°C (77°F). Actual production yield may vary between -10 and +10% of initial delivered lumens
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THE EDGE® LED Area/Flood Luminaire

Photometry

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3MP



RESTL Test Report #: PL10097-002B
 ARE-EDG-3MP-**-06-E-UL-525-40K
 Initial Delivered Lumens: 8,670

ARE-EDG-3MP-**-10-E-UL-525-40K
 Mounting Height: 25' (7.6m) A.F.G.
 Initial Delivered Lumens: 14,548
 Initial FC at grade

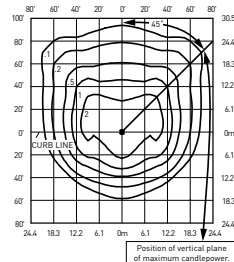
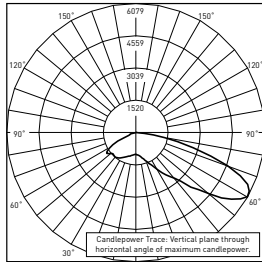
Type III Medium Distribution w/Partial BLS										
LED Count (x10)	3000K		4000K		5000K		5700K		TRL	
	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11
350mA										
02	1,722	B1 U0 G1	2,079	B1 U0 G1	1,581	B1 U0 G1	2,120	B1 U0 G1	678	B0 U0 G1
04	3,444	B1 U0 G1	4,158	B1 U0 G1	3,161	B1 U0 G1	4,240	B1 U0 G1	1,357	B0 U0 G1
06	5,107	B1 U0 G1	6,166	B1 U0 G2	4,687	B1 U0 G1	6,288	B1 U0 G2	2,012	B1 U0 G1
08	6,809	B1 U0 G2	8,221	B2 U0 G2	6,250	B1 U0 G2	8,384	B2 U0 G2	2,683	B1 U0 G1
10	8,491	B2 U0 G2	10,252	B2 U0 G2	7,794	B2 U0 G2	10,455	B2 U0 G2	3,346	B1 U0 G1
12	10,189	B2 U0 G2	12,302	B2 U0 G3	9,352	B2 U0 G2	12,546	B2 U0 G3	4,015	B1 U0 G1
14	11,812	B2 U0 G2	14,261	B3 U0 G3	10,842	B2 U0 G2	14,544	B3 U0 G3	4,654	B1 U0 G1
16	13,499	B2 U0 G3	16,299	B3 U0 G3	12,391	B2 U0 G3	16,622	B3 U0 G3	5,319	B1 U0 G2
525mA										
02	2,446	B1 U0 G1	2,950	B1 U0 G1	2,245	B1 U0 G1	3,012	B1 U0 G1		N/A
04	4,893	B1 U0 G1	5,901	B1 U0 G2	4,491	B1 U0 G1	6,024	B1 U0 G2		N/A
06	7,255	B2 U0 G2	8,750	B2 U0 G2	6,659	B1 U0 G2	8,933	B2 U0 G2		N/A
08	9,673	B2 U0 G2	11,667	B2 U0 G2	8,879	B2 U0 G2	11,911	B2 U0 G2		N/A
10	12,063	B2 U0 G3	14,548	B3 U0 G3	11,072	B2 U0 G2	14,853	B3 U0 G3		N/A
12	14,475	B3 U0 G3	17,458	B3 U0 G3	13,287	B2 U0 G3	17,824	B3 U0 G3		N/A
14	16,781	B3 U0 G3	20,239	B3 U0 G3	15,403	B3 U0 G3	20,663	B3 U0 G3		N/A
16	19,178	B3 U0 G3	23,130	B3 U0 G3	17,604	B3 U0 G3	23,615	B3 U0 G3		N/A
700mA										
02	2,885	B1 U0 G1	3,482	B1 U0 G1	2,649	B1 U0 G1	3,553	B1 U0 G1		N/A
04	5,771	B1 U0 G2	6,964	B1 U0 G2	5,297	B1 U0 G1	7,106	B2 U0 G2		N/A
06	8,557	B2 U0 G2	10,327	B2 U0 G2	7,855	B2 U0 G2	10,537	B2 U0 G2		N/A

* Initial delivered lumens at 25°C (77°F). Actual production yield may vary between -10 and +10% of initial delivered lumens
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Photometry

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4M



RESTL Test Report #: PL 10270-001B
 ARE-EDG-4M-**-06-E-UL-525-40K
 Initial Delivered Lumens: 10,483

ARE-EDG-4M-**-10-E-UL-525-40K
 Mounting Height: 25' (7.6m) A.F.G.
 Initial Delivered Lumens: 17,504
 Initial FC at grade

Type IV Medium Distribution										
LED Count (x10)	3000K		4000K		5000K		5700K		TRL	
	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11
350mA										
02	2,072	B1 U0 G1	2,501	B1 U0 G1	1,902	B1 U0 G1	2,551	B1 U0 G1	816	B0 U0 G1
04	4,143	B1 U0 G1	5,003	B2 U0 G1	3,803	B1 U0 G1	5,102	B2 U0 G1	1,633	B1 U0 G1
06	6,144	B2 U0 G1	7,418	B2 U0 G2	5,640	B2 U0 G1	7,565	B2 U0 G2	2,421	B1 U0 G1
08	8,192	B2 U0 G2	9,891	B2 U0 G2	7,519	B2 U0 G2	10,087	B2 U0 G2	3,228	B1 U0 G1
10	10,215	B2 U0 G2	12,334	B3 U0 G2	9,377	B2 U0 G2	12,578	B3 U0 G2	4,025	B1 U0 G1
12	12,258	B2 U0 G2	14,801	B3 U0 G3	11,252	B2 U0 G2	15,094	B3 U0 G3	4,830	B1 U0 G1
14	14,211	B3 U0 G3	17,158	B3 U0 G3	13,044	B3 U0 G2	17,498	B3 U0 G3	5,599	B2 U0 G1
16	16,241	B3 U0 G3	19,609	B3 U0 G3	14,908	B3 U0 G3	19,998	B3 U0 G3	6,399	B2 U0 G1
525mA										
02	2,943	B1 U0 G1	3,550	B1 U0 G1	2,702	B1 U0 G1	3,624	B1 U0 G1		N/A
04	5,886	B2 U0 G1	7,099	B2 U0 G2	5,403	B2 U0 G1	7,248	B2 U0 G2		N/A
06	8,729	B2 U0 G2	10,527	B2 U0 G2	8,012	B2 U0 G2	10,748	B2 U0 G2		N/A
08	11,638	B2 U0 G2	14,037	B3 U0 G2	10,683	B2 U0 G2	14,331	B3 U0 G2		N/A
10	14,513	B3 U0 G3	17,504	B3 U0 G3	13,322	B3 U0 G2	17,870	B3 U0 G3		N/A
12	17,415	B3 U0 G3	21,004	B3 U0 G3	15,986	B3 U0 G3	21,444	B3 U0 G3		N/A
14	20,189	B3 U0 G3	24,350	B3 U0 G3	18,532	B3 U0 G3	24,860	B4 U0 G3		N/A
16	23,074	B3 U0 G3	27,828	B4 U0 G3	21,179	B3 U0 G3	28,411	B4 U0 G3		N/A
700mA										
02	3,472	B1 U0 G1	4,189	B1 U0 G1	3,187	B1 U0 G1	4,275	B1 U0 G1		N/A
04	6,943	B2 U0 G1	8,379	B2 U0 G2	6,373	B2 U0 G1	8,549	B2 U0 G2		N/A
06	10,296	B2 U0 G2	12,425	B3 U0 G2	9,451	B2 U0 G2	12,678	B3 U0 G2		N/A

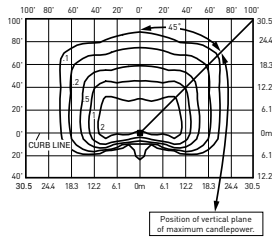
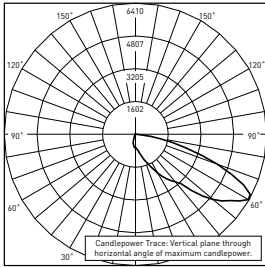
* Initial delivered lumens at 25°C (77°F). Actual production yield may vary between -10 and +10% of initial delivered lumens
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THE EDGE® LED Area/Flood Luminaire

Photometry

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4MB



RESTL Test Report #: PL10023-002B
 ARE-EDG-4MB-**-06-E-UL-525-40K
 Initial Delivered Lumens: 7,985

ARE-EDG-4MB-**-10-E-UL-525-40K
 Mounting Height: 25' (7.6m) A.F.G.
 Initial Delivered Lumens: 13,185
 Initial FC at grade

Type IV Medium Distribution w/BLS										
LED Count (x10)	3000K		4000K		5000K		5700K		TRL	
	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11
350mA										
02	1,560	B0 U0 G1	1,884	B0 U0 G1	1,432	B0 U0 G1	1,921	B0 U0 G1	615	B0 U0 G0
04	3,121	B1 U0 G1	3,768	B1 U0 G1	2,865	B0 U0 G1	3,843	B1 U0 G1	1,230	B0 U0 G1
06	4,628	B1 U0 G1	5,588	B1 U0 G1	4,248	B1 U0 G1	5,698	B1 U0 G2	1,824	B0 U0 G1
08	6,170	B1 U0 G2	7,450	B1 U0 G2	5,664	B1 U0 G2	7,598	B1 U0 G2	2,431	B0 U0 G1
10	7,695	B1 U0 G2	9,291	B1 U0 G2	7,063	B1 U0 G2	9,475	B1 U0 G2	3,032	B1 U0 G1
12	9,233	B1 U0 G2	11,149	B1 U0 G2	8,476	B1 U0 G2	11,370	B1 U0 G2	3,638	B1 U0 G1
14	10,704	B1 U0 G2	12,924	B1 U0 G2	9,825	B1 U0 G2	13,181	B1 U0 G2	4,218	B1 U0 G1
16	12,233	B1 U0 G2	14,771	B2 U0 G2	11,229	B1 U0 G2	15,063	B2 U0 G2	4,820	B1 U0 G1
525mA										
02	2,217	B1 U0 G1	2,674	B1 U0 G1	2,035	B1 U0 G1	2,730	B1 U0 G1		N/A
04	4,434	B1 U0 G1	5,348	B1 U0 G1	4,070	B1 U0 G1	5,460	B1 U0 G1		N/A
06	6,575	B1 U0 G2	7,930	B1 U0 G2	6,035	B1 U0 G2	8,096	B1 U0 G2		N/A
08	8,766	B1 U0 G2	10,573	B1 U0 G2	8,047	B1 U0 G2	10,794	B1 U0 G2		N/A
10	10,932	B1 U0 G2	13,185	B1 U0 G2	10,034	B1 U0 G2	13,461	B2 U0 G2		N/A
12	13,118	B1 U0 G2	15,821	B2 U0 G3	12,041	B1 U0 G2	16,153	B2 U0 G3		N/A
14	15,208	B2 U0 G2	18,341	B2 U0 G3	13,959	B2 U0 G2	18,726	B2 U0 G3		N/A
16	17,380	B2 U0 G3	20,962	B2 U0 G3	15,953	B2 U0 G3	21,401	B2 U0 G3		N/A
700mA										
02	2,615	B1 U0 G1	3,156	B1 U0 G1	2,400	B1 U0 G1	3,220	B1 U0 G1		N/A
04	5,230	B1 U0 G1	6,311	B1 U0 G2	4,801	B1 U0 G1	6,440	B1 U0 G2		N/A
06	7,755	B1 U0 G2	9,359	B1 U0 G2	7,119	B1 U0 G2	9,549	B1 U0 G2		N/A

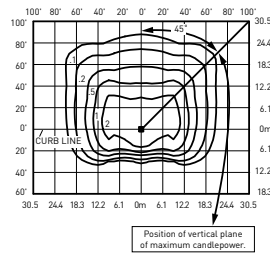
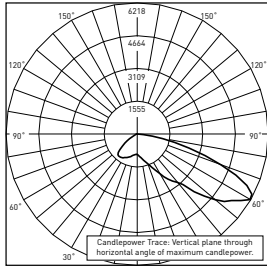
* Initial delivered lumens at 25°C (77°F). Actual production yield may vary between -10 and +10% of initial delivered lumens
 ** For more information on the IES BUG (Backlight-Uplight-Glare) Rating visit: <https://www.ies.org/wp-content/uploads/2017/03/TM-15-11BUGRatingsAddendum.pdf>

THE EDGE® LED Area/Flood Luminaire

Photometry

All published luminaire photometric testing performed to IES LM-79-08 standards. To obtain an IES file specific to your project consult: <http://creelighting.com/products/outdoor/area/cree-edge-series-1>

4MP



RESTL Test Report #: PL10097-003B
 ARE-EDG-4MP-**-06-E-UL-525-40K
 Initial Delivered Lumens: 9,410

ARE-EDG-4MP-**-10-E-UL-525-40K
 Mounting Height: 25' (7.6m) A.F.G.
 Initial Delivered Lumens: 15,458
 Initial FC at grade

Type IV Medium Distribution w/Partial BLS										
LED Count (x10)	3000K		4000K		5000K		5700K		TRL	
	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11
350mA										
02	1,829	B1 U0 G1	2,209	B1 U0 G1	1,679	B1 U0 G1	2,253	B1 U0 G1	721	B0 U0 G0
04	3,659	B1 U0 G1	4,418	B1 U0 G1	3,359	B1 U0 G1	4,505	B1 U0 G1	1,442	B1 U0 G1
06	5,426	B1 U0 G1	6,551	B2 U0 G1	4,980	B1 U0 G1	6,681	B2 U0 G1	2,138	B1 U0 G1
08	7,234	B2 U0 G2	8,735	B2 U0 G2	6,640	B2 U0 G1	8,908	B2 U0 G2	2,851	B1 U0 G1
10	9,021	B2 U0 G2	10,892	B2 U0 G2	8,281	B2 U0 G2	11,108	B2 U0 G2	3,555	B1 U0 G1
12	10,825	B2 U0 G2	13,071	B2 U0 G2	9,937	B2 U0 G2	13,330	B2 U0 G2	4,266	B1 U0 G1
14	12,550	B2 U0 G2	15,153	B2 U0 G2	11,520	B2 U0 G2	15,453	B3 U0 G2	4,945	B1 U0 G1
16	14,343	B2 U0 G2	17,317	B3 U0 G2	13,165	B2 U0 G2	17,661	B3 U0 G2	5,651	B1 U0 G1
525mA										
02	2,599	B1 U0 G1	3,135	B1 U0 G1	2,386	B1 U0 G1	3,200	B1 U0 G1		N/A
04	5,198	B1 U0 G1	6,270	B2 U0 G1	4,772	B1 U0 G1	6,401	B2 U0 G1		N/A
06	7,708	B2 U0 G2	9,297	B2 U0 G2	7,076	B2 U0 G2	9,492	B2 U0 G2		N/A
08	10,278	B2 U0 G2	12,396	B2 U0 G2	9,434	B2 U0 G2	12,656	B2 U0 G2		N/A
10	12,817	B2 U0 G2	15,458	B3 U0 G2	11,764	B2 U0 G2	15,782	B3 U0 G2		N/A
12	15,380	B3 U0 G2	18,549	B3 U0 G2	14,117	B2 U0 G2	18,938	B3 U0 G3		N/A
14	17,830	B3 U0 G2	21,504	B3 U0 G3	16,366	B3 U0 G2	21,954	B3 U0 G3		N/A
16	20,377	B3 U0 G3	24,576	B3 U0 G3	18,704	B3 U0 G3	25,091	B3 U0 G3		N/A
700mA										
02	3,066	B1 U0 G1	3,700	B1 U0 G1	2,814	B1 U0 G1	3,775	B1 U0 G1		N/A
04	6,132	B2 U0 G1	7,400	B2 U0 G2	5,628	B1 U0 G1	7,550	B2 U0 G2		N/A
06	9,092	B2 U0 G2	10,973	B2 U0 G2	8,346	B2 U0 G2	11,196	B2 U0 G2		N/A

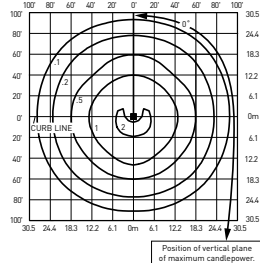
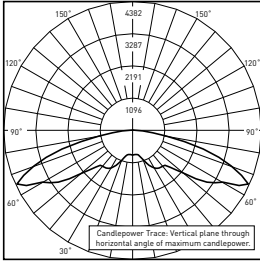
* Initial delivered lumens at 25°C (77°F). Actual production yield may vary between -10 and +10% of initial delivered lumens
 ** For more information on the IES BUG (Backlight-Uplight-Glare) Rating visit: <https://www.ies.org/wp-content/uploads/2017/03/TM-15-11BUGRatingsAddendum.pdf>

THE EDGE® LED Area/Flood Luminaire

Photometry

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5M



RESTL Test Report #: PL09285-001
ARE-EDG-5M-**-06-E-UL-700-40K
Initial Delivered Lumens: 13,136

ARE-EDG-5M-**-10-E-UL-525-40K
Mounting Height: 25' (7.6m) A.F.G.
Initial Delivered Lumens: 18,413
Initial FC at grade

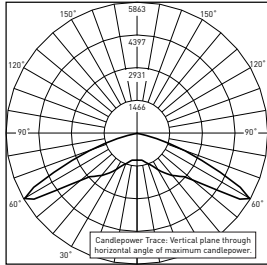
Type V Medium Distribution										
LED Count (x10)	3000K		4000K		5000K		5700K		TRL	
	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11
350mA										
02	2,179	B2 U0 G1	2,631	B2 U0 G1	2,000	B1 U0 G1	2,683	B2 U0 G1	859	B1 U0 G1
04	4,358	B3 U0 G1	5,262	B3 U0 G1	4,001	B2 U0 G1	5,367	B3 U0 G1	1,717	B1 U0 G1
06	6,463	B3 U0 G1	7,804	B3 U0 G2	5,932	B3 U0 G1	7,958	B3 U0 G2	2,547	B2 U0 G1
08	8,617	B3 U0 G2	10,405	B4 U0 G2	7,910	B3 U0 G2	10,611	B4 U0 G2	3,395	B2 U0 G1
10	10,746	B4 U0 G2	12,975	B4 U0 G2	9,864	B3 U0 G2	13,232	B4 U0 G2	4,234	B3 U0 G1
12	12,895	B4 U0 G2	15,570	B4 U0 G3	11,836	B4 U0 G2	15,878	B4 U0 G3	5,081	B3 U0 G1
14	14,949	B4 U0 G3	18,049	B4 U0 G3	13,722	B4 U0 G2	18,407	B4 U0 G3	5,890	B3 U0 G1
16	17,085	B4 U0 G3	20,628	B5 U0 G3	15,682	B4 U0 G3	21,037	B5 U0 G3	6,732	B3 U0 G2
525mA										
02	3,096	B2 U0 G1	3,734	B3 U0 G1	2,842	B2 U0 G1	3,812	B3 U0 G1		N/A
04	6,192	B3 U0 G1	7,468	B3 U0 G2	5,684	B3 U0 G1	7,625	B3 U0 G2		N/A
06	9,182	B3 U0 G2	11,074	B4 U0 G2	8,428	B3 U0 G2	11,306	B4 U0 G2		N/A
08	12,243	B4 U0 G2	14,766	B4 U0 G2	11,238	B4 U0 G2	15,075	B4 U0 G3		N/A
10	15,267	B4 U0 G3	18,413	B4 U0 G3	14,014	B4 U0 G2	18,799	B4 U0 G3		N/A
12	18,320	B4 U0 G3	22,096	B5 U0 G3	16,816	B4 U0 G3	22,558	B5 U0 G3		N/A
14	21,238	B5 U0 G3	25,615	B5 U0 G3	19,495	B4 U0 G3	26,151	B5 U0 G3		N/A
16	24,272	B5 U0 G3	29,274	B5 U0 G3	22,280	B5 U0 G3	29,887	B5 U0 G3		N/A
700mA										
02	3,652	B3 U0 G1	4,407	B3 U0 G1	3,352	B2 U0 G1	4,497	B3 U0 G1		N/A
04	7,304	B3 U0 G2	8,814	B3 U0 G2	6,704	B3 U0 G2	8,993	B3 U0 G2		N/A
06	10,831	B4 U0 G2	13,070	B4 U0 G2	9,941	B3 U0 G2	13,336	B4 U0 G2		N/A

* Initial delivered lumens at 25°C (77°F). Actual production yield may vary between -10 and +10% of initial delivered lumens
** For more information on the IES BUG (Backlight-Uplight-Glare) Rating visit: <https://www.ies.org/wp-content/uploads/2017/03/TM-15-11BUGRatingsAddendum.pdf>

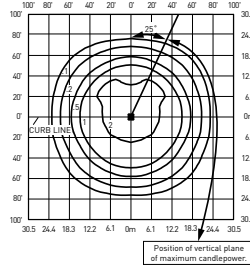
Photometry

All published luminaire photometric testing performed to IES LM-79-08 standards. To obtain an IES file specific to your project consult: <http://creelighting.com/products/outdoor/area/cree-edge-series-1>

55



RESTL Test Report #: PL09286-001A
 ARE-EDG-5S-**-06-E-UL-700-40K
 Initial Delivered Lumens: 14,123



ARE-EDG-5S-**-10-E-UL-525-40K
 Mounting Height: 25' (7.6m) A.F.G.
 Initial Delivered Lumens: 20,459
 Initial FC at grade

Type V Short Distribution										
LED Count (x10)	3000K		4000K		5000K		5700K		TRL	
	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11
350mA										
02	2,421	B1 U0 G0	2,924	B2 U0 G0	2,223	B1 U0 G0	2,982	B2 U0 G0	954	B1 U0 G0
04	4,843	B2 U0 G1	5,847	B3 U0 G1	4,445	B2 U0 G1	5,963	B3 U0 G1	1,908	B1 U0 G0
06	7,181	B3 U0 G1	8,671	B3 U0 G1	6,592	B3 U0 G1	8,842	B3 U0 G1	2,830	B2 U0 G0
08	9,575	B3 U0 G1	11,561	B3 U0 G2	8,789	B3 U0 G1	11,790	B3 U0 G2	3,773	B2 U0 G1
10	11,940	B3 U0 G2	14,416	B4 U0 G2	10,960	B3 U0 G2	14,702	B4 U0 G2	4,705	B2 U0 G1
12	14,328	B4 U0 G2	17,300	B4 U0 G2	13,152	B3 U0 G2	17,642	B4 U0 G2	5,646	B3 U0 G1
14	16,610	B4 U0 G2	20,055	B4 U0 G2	15,246	B4 U0 G2	20,453	B4 U0 G2	6,545	B3 U0 G1
16	18,983	B4 U0 G2	22,920	B4 U0 G2	17,424	B4 U0 G2	23,374	B4 U0 G2	7,480	B3 U0 G1
525mA										
02	3,440	B2 U0 G0	4,149	B2 U0 G1	3,158	B2 U0 G0	4,236	B2 U0 G1		N/A
04	6,880	B3 U0 G1	8,298	B3 U0 G1	6,315	B3 U0 G1	8,472	B3 U0 G1		N/A
06	10,202	B3 U0 G2	12,305	B3 U0 G2	9,365	B3 U0 G1	12,563	B3 U0 G2		N/A
08	13,603	B3 U0 G2	16,406	B4 U0 G2	12,486	B3 U0 G2	16,750	B4 U0 G2		N/A
10	16,963	B4 U0 G2	20,459	B4 U0 G2	15,571	B4 U0 G2	20,887	B4 U0 G2		N/A
12	20,356	B4 U0 G2	24,551	B4 U0 G2	18,685	B4 U0 G2	25,065	B4 U0 G2		N/A
14	23,598	B4 U0 G2	28,461	B5 U0 G3	21,661	B4 U0 G2	29,057	B5 U0 G3		N/A
16	26,969	B4 U0 G2	32,527	B5 U0 G3	24,755	B4 U0 G2	33,208	B5 U0 G3		N/A
700mA										
02	4,058	B2 U0 G1	4,897	B2 U0 G1	3,725	B2 U0 G1	4,996	B2 U0 G1		N/A
04	8,115	B3 U0 G1	9,793	B3 U0 G1	7,449	B3 U0 G1	9,993	B3 U0 G2		N/A
06	12,034	B3 U0 G2	14,523	B4 U0 G2	11,046	B3 U0 G2	14,818	B4 U0 G2		N/A

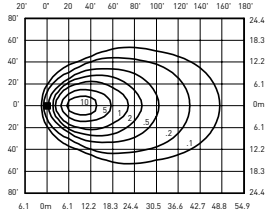
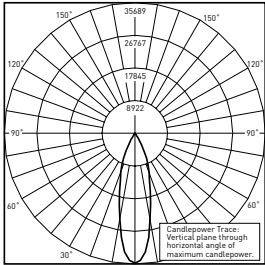
* Initial delivered lumens at 25°C (77°F). Actual production yield may vary between -10 and +10% of initial delivered lumens
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THE EDGE® LED Area/Flood Luminaire

Photometry

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25°



RESTL Test Report #: PL09832-003B
 FLD-EDG-25-**-06-E-UL-700-40K
 Initial Delivered Lumens: 14,998

FLD-EDG-25-**-10-E-UL-525-40K
 Mounting Height: 25' (7.6m) A.F.G., 60° Tilt
 Initial Delivered Lumens: 20,913
 Initial FC at grade

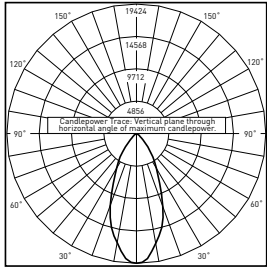
25° Flood Distribution					
LED Count (x10)	3000K	4000K	5000K	5700K	TRL
	Initial Delivered Lumens*	Initial Delivered Lumens*	Initial Delivered Lumens*	Initial Delivered Lumens*	Initial Delivered Lumens*
350mA					
02	2,475	2,989	2,272	3,048	975
04	4,950	5,977	4,544	6,096	1,951
06	7,341	8,863	6,738	9,039	2,892
08	9,788	11,818	8,984	12,052	3,857
10	12,205	14,737	11,203	15,029	4,809
12	14,646	17,684	13,444	18,035	5,771
14	16,979	20,501	15,585	20,907	6,690
16	19,405	23,429	17,812	23,894	7,646
525mA					
02	3,516	4,241	3,228	4,330	N/A
04	7,033	8,482	6,456	8,660	N/A
06	10,429	12,578	9,573	12,842	N/A
08	13,905	16,771	12,764	17,122	N/A
10	17,340	20,913	15,917	21,352	N/A
12	20,808	25,096	19,100	25,622	N/A
14	24,122	29,093	22,142	29,703	N/A
16	27,568	33,250	25,305	33,946	N/A
700mA					
02	4,148	5,006	3,807	5,107	N/A
04	8,296	10,011	7,615	10,215	N/A
06	12,301	14,845	11,292	15,147	N/A

* Initial delivered lumens at 25°C (77°F). Actual production yield may vary between -10 and +10% of initial delivered lumens

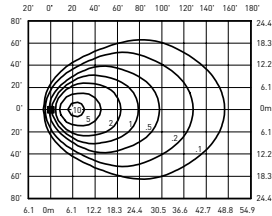
Photometry

All published luminaire photometric testing performed to IES LM-79-08 standards. To obtain an IES file specific to your project consult: <http://creelighting.com/products/outdoor/area/cree-edge-series-1>

40°



RESTL Test Report #: PL09832-002B
 FLD-EDG-40-**-06-E-UL-700-40K
 Initial Delivered Lumens: 13,808



FLD-EDG-40-**-10-E-UL-525-40K
 Mounting Height: 25' (7.6m) A.F.G., 60° Tilt
 Initial Delivered Lumens: 20,459
 Initial FC at grade

40° Flood Distribution					
LED Count (x10)	3000K	4000K	5000K	5700K	TRL
	Initial Delivered Lumens*	Initial Delivered Lumens*	Initial Delivered Lumens*	Initial Delivered Lumens*	Initial Delivered Lumens*
350mA					
02	2,421	2,924	2,223	2,982	954
04	4,843	5,847	4,445	5,963	1,908
06	7,181	8,671	6,592	8,842	2,830
08	9,575	11,561	8,789	11,790	3,773
10	11,940	14,416	10,960	14,702	4,705
12	14,328	17,300	13,152	17,642	5,646
14	16,610	20,055	15,246	20,453	6,545
16	18,983	22,920	17,424	23,374	7,480
525mA					
02	3,440	4,149	3,158	4,236	N/A
04	6,880	8,298	6,315	8,472	N/A
06	10,202	12,305	9,365	12,563	N/A
08	13,603	16,406	12,486	16,750	N/A
10	16,963	20,459	15,571	20,887	N/A
12	20,356	24,551	18,685	25,065	N/A
14	23,598	28,461	21,661	29,057	N/A
16	26,969	32,527	24,755	33,208	N/A
700mA					
02	4,058	4,897	3,725	4,996	N/A
04	8,115	9,793	7,449	9,993	N/A
06	12,034	14,523	11,046	14,818	N/A

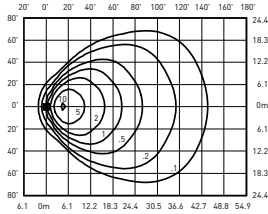
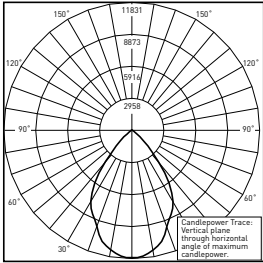
* Initial delivered lumens at 25°C (77°F). Actual production yield may vary between -10 and +10% of initial delivered lumens

THE EDGE® LED Area/Flood Luminaire

Photometry

All published luminaire photometric testing performed to IES LM-79-08 standards. To obtain an IES file specific to your project consult: <http://creelighting.com/products/outdoor/area/cree-edge-series-1>

70°



RECTL Test Report #: PL09832-001B
 FLD-EDG-70-**-06-E-UL-700-40K
 Initial Delivered Lumens: 13,888

FLD-EDG-70-**-10-E-UL-525-40K
 Mounting Height: 25' (7.6m) A.F.G., 60° Tilt
 Initial Delivered Lumens: 18,640
 Initial FC at grade

70° Flood Distribution					
LED Count (x10)	3000K Initial Delivered Lumens*	4000K Initial Delivered Lumens*	5000K Initial Delivered Lumens*	5700K Initial Delivered Lumens*	TRL Initial Delivered Lumens*
350mA					
02	2,206	2,664	2,025	2,716	869
04	4,412	5,327	4,050	5,433	1,739
06	6,543	7,900	6,006	8,056	2,578
08	8,724	10,533	8,008	10,742	3,437
10	10,879	13,135	9,986	13,395	4,286
12	13,054	15,762	11,983	16,074	5,144
14	15,133	18,272	13,891	18,635	5,963
16	17,295	20,883	15,876	21,297	6,815
525mA					
02	3,134	3,780	2,877	3,859	N/A
04	6,269	7,560	5,754	7,719	N/A
06	9,295	11,211	8,532	11,446	N/A
08	12,394	14,948	11,377	15,261	N/A
10	15,455	18,640	14,187	19,031	N/A
12	18,546	22,368	17,024	22,837	N/A
14	21,500	25,931	19,735	26,474	N/A
16	24,572	29,636	22,555	30,256	N/A
700mA					
02	3,697	4,461	3,393	4,552	N/A
04	7,394	8,923	6,787	9,104	N/A
06	10,964	13,232	10,064	13,501	N/A

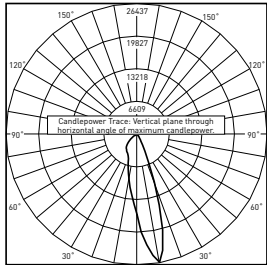
* Initial delivered lumens at 25°C (77°F). Actual production yield may vary between -10 and +10% of initial delivered lumens

THE EDGE® LED Area/Flood Luminaire

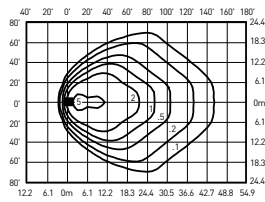
Photometry

All published luminaire photometric testing performed to IES LM-79-08 standards. To obtain an IES file specific to your project consult: <http://creelighting.com/products/outdoor/area/cree-edge-series-1>

SN



RESTL Test Report #: PL10142-001B
 FLD-EDG-SN-**-06-E-UL-700-40K
 Initial Delivered Lumens: 13,701



FLD-EDG-SN-**-10-E-UL-525-40K
 Mounting Height: 25' (7.6m) A.F.G., 60° Tilt
 Initial Delivered Lumens: 18,868
 Initial FC at grade

SN Flood Distribution					
LED Count (x10)	3000K	4000K	5000K	5700K	TRL
	Initial Delivered Lumens*	Initial Delivered Lumens*	Initial Delivered Lumens*	Initial Delivered Lumens*	Initial Delivered Lumens*
350mA					
02	2,233	2,696	2,050	2,750	880
04	4,466	5,392	4,099	5,499	1,760
06	6,623	7,996	6,079	8,155	2,609
08	8,830	10,662	8,105	10,873	3,479
10	11,011	13,295	10,107	13,559	4,339
12	13,213	15,954	12,129	16,270	5,206
14	15,318	18,495	14,061	18,862	6,036
16	17,506	21,137	16,069	21,556	6,898
525mA					
02	3,172	3,826	2,912	3,906	N/A
04	6,345	7,653	5,824	7,813	N/A
06	9,409	11,348	8,636	11,585	N/A
08	12,545	15,130	11,515	15,447	N/A
10	15,644	18,868	14,360	19,263	N/A
12	18,773	22,641	17,231	23,115	N/A
14	21,763	26,247	19,976	26,797	N/A
16	24,871	29,997	22,830	30,625	N/A
700mA					
02	3,742	4,516	3,435	4,608	N/A
04	7,484	9,032	6,870	9,215	N/A
06	11,098	13,393	10,187	13,665	N/A

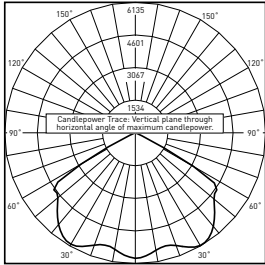
* Initial delivered lumens at 25°C (77°F). Actual production yield may vary between -10 and +10% of initial delivered lumens

THE EDGE® LED Area/Flood Luminaire

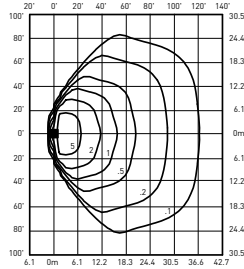
Photometry

All published luminaire photometric testing performed to IES LM-79-08 standards. To obtain an IES file specific to your project consult: <http://creelighting.com/products/outdoor/area/cree-edge-series-1>

N6



RESTL Test Report #: PL09832-004B
 FLD-EDG-N6-**-D6-E-UL-700-40K
 Initial Delivered Lumens: 15,251









FLD-EDG-N6-**-10-E-UL-525-40K
 Mounting Height: 25' (7.6m) A.F.G., 60° Tilt
 Initial Delivered Lumens: 20,913
 Initial FC at grade

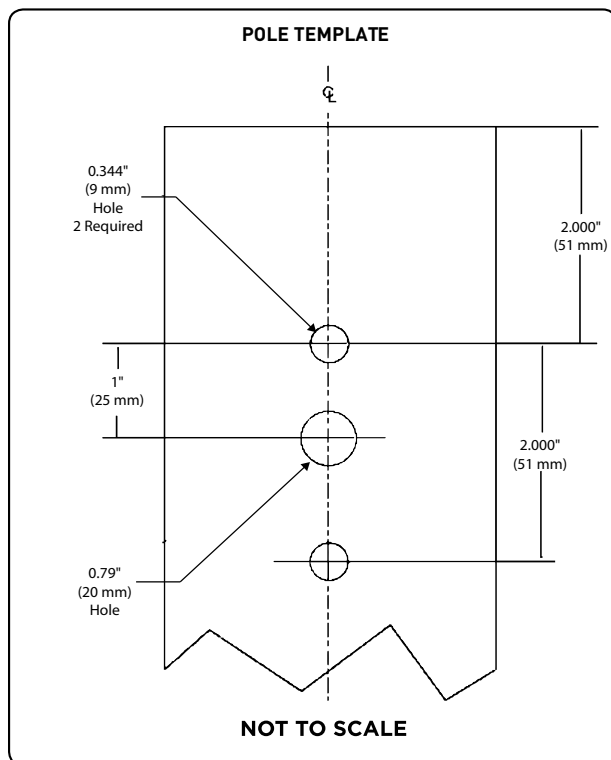
NEMA® 6 Flood Distribution					
LED Count (x10)	3000K	4000K	5000K	5700K	TRL
	Initial Delivered Lumens*	Initial Delivered Lumens*	Initial Delivered Lumens*	Initial Delivered Lumens*	Initial Delivered Lumens*
350mA					
02	2,475	2,989	2,272	3,048	975
04	4,950	5,977	4,544	6,096	1,951
06	7,341	8,863	6,738	9,039	2,892
08	9,788	11,818	8,984	12,052	3,857
10	12,205	14,737	11,203	15,029	4,809
12	14,646	17,684	13,444	18,035	5,771
14	16,979	20,501	15,585	20,907	6,690
16	19,405	23,429	17,812	23,894	7,646
525mA					
02	3,516	4,241	3,228	4,330	N/A
04	7,033	8,482	6,456	8,660	N/A
06	10,429	12,578	9,573	12,842	N/A
08	13,905	16,771	12,764	17,122	N/A
10	17,340	20,913	15,917	21,352	N/A
12	20,808	25,096	19,100	25,622	N/A
14	24,122	29,093	22,142	29,703	N/A
16	27,568	33,250	25,305	33,946	N/A
700mA					
02	4,148	5,006	3,807	5,107	N/A
04	8,296	10,011	7,615	10,215	N/A
06	12,301	14,845	11,292	15,147	N/A

* Initial delivered lumens at 25°C (77°F). Actual production yield may vary between -10 and +10% of initial delivered lumens










Luminaire EPA

Fixed Arm Mount – ARE-EDG-DA						
LED Count (x10)	Single	2 @ 90°	2 @ 180°	3 @ 90°	3 @ 120°	4 @ 90°
						
02	0.60	0.87	1.20	1.47	1.47	1.75
04	0.60	0.87	1.20	1.47	1.47	1.75
06	0.60	0.92	1.20	1.51	1.51	1.83
08	0.60	0.96 N/A with 3" poles	1.20	1.55 N/A with 3" poles	1.55	1.91 N/A with 3" poles
10	0.60	1.00 N/A with 3" poles	1.20	1.60 N/A with 3" poles	1.60	2.00 N/A with 3" poles
12	0.60	1.04 N/A with 3" poles	1.20	1.64 N/A with 3" poles	1.64	2.08 N/A with 3" poles
14	0.60	1.08 N/A with 3" or 4" poles	1.20	1.68 N/A with 3" or 4" poles	1.68	2.16 N/A with 3" or 4" poles
16	0.60	1.12 N/A with 3" or 4" poles	1.20	1.72 N/A with 3" or 4" poles	1.72	2.24 N/A with 3" or 4" poles
Fixed Arm Mount – ARE-EDG-DL						
02	0.75	1.02	1.50	1.77	1.77	1.91
04	0.75	1.02	1.50	1.77	1.77	1.91
06	0.75	1.07	1.50	1.82	1.82	1.98
08	0.75	1.11	1.50	1.86	1.86	2.04
10	0.75	1.15	1.50	1.90	1.90	2.10
12	0.75	1.19	1.50	1.94	1.94	2.16
14	0.75	1.23	1.50	1.98	1.98	2.22
16	0.75	1.27	1.50	2.02	2.02	2.28

Fixture Mounting Drill Pattern for DA and DL Mounts












Luminaire EPA

Adjustable Arm Mount – ARE-EDG-AA/FLD-EDG-AA/SA									
LED Count (x10)	Single	2 @ 90°	2 @ 180°	In-Line 2 @ 180°	3 @ 90°	3 @ 120°	In-Line 3 @ 180°	4 @ 90°	In-Line 4 @ 180°
Tenon Configuration If used with Cree Lighting tenons, please add tenon EPA with Luminaire EPA									
									
	Vertical: PB-1A*; PT-1; PW-1A3** Horizontal: By others	Vertical: PB-2A*; PB-2R2.375; PW-2A3** Horizontal: PD-2A4(90); PT-2(90)	Vertical: PB-2A*; PB-2R2.375; PW-2A3** Horizontal: PD-2A4(180); PT-2(180)	Vertical: PB-2A*; PB-2R2.375	Vertical: PB-3A*; PB-3R2.375 Horizontal: PD-3A4(90); PT-3(90)	Vertical: PB-3A*; PB-3R2.375 Horizontal: PT-3(120)	Vertical: PB-3A*; PB-3R2.375	Vertical: PB-4A*(90); PB-4R2.375 Horizontal: PD-4A4(90) PT-4(90)	Vertical: PB-4A*(180); PB-4R2.375
0° Tilt									
02	0.66	0.98	1.32	1.32	1.77	1.64	1.98	1.91	2.64
04	0.66	0.98	1.32	1.32	1.64	1.64	1.98	1.97	2.64
06	0.66	1.02	1.32	1.32	1.68	1.68	1.98	2.05	2.64
08	0.66	1.07	1.32	1.32	1.80	1.72	1.98	2.29	2.64
10	0.66	1.11	1.32	1.32	1.76	1.76	1.98	2.21	2.64
12	0.66	1.15	1.32	1.32	1.80	1.80	1.98	2.29	2.64
14	0.66	1.19	1.32	1.32	1.84	1.84	1.98	2.38	2.64
16	0.66	1.23	1.32	N/A	1.89	1.89	N/A	2.46	N/A
30° Tilt									
02	0.71	1.37	1.42	1.42	2.08	2.08	2.13	2.73	2.84
04	0.71	1.37	1.42	1.42	2.08	2.08	2.13	2.73	2.84
06	0.82	1.48	1.64	1.64	2.30	2.30	2.46	2.95	3.28
08	0.93	1.59	1.86	1.86	2.52	2.52	2.79	3.17	3.72
10	1.04	1.70	2.08	2.08	2.74	2.74	3.12	3.40	4.16
12	1.15	1.81	2.30	2.30	2.96	2.96	3.45	3.62	4.60
14	1.26	1.92	2.52	2.52	3.18	3.18	3.78	3.84	5.04
16	1.37	2.03	2.74	N/A	3.40	3.40	N/A	4.06	N/A
45° Tilt									
02	0.89	1.55	1.78	1.78	2.45	2.45	2.67	3.10	3.56
04	0.89	1.55	1.78	1.78	2.45	2.45	2.67	3.10	3.56
06	1.03	1.69	2.06	2.06	2.72	2.72	3.09	3.38	4.12
08	1.17	1.83	2.34	2.34	3.00	3.00	3.51	3.66	4.68
10	1.31	1.97	2.62	2.62	3.28	3.28	3.93	3.94	5.24
12	1.45	2.11	2.90	2.90	3.56	3.56	4.35	4.21	5.80
14	1.59	2.25	3.18	3.18	3.83	3.83	4.77	4.49	6.36
16	1.73	2.38	3.46	N/A	4.11	4.11	N/A	4.77	N/A
60° Tilt									
02	1.20	1.86	2.40	2.40	3.06	3.06	3.60	3.72	4.80
04	1.20	1.86	2.40	2.40	3.06	3.06	3.60	3.72	4.80
06	1.39	2.05	2.78	2.78	3.44	3.44	4.17	4.10	5.56
08	1.58	2.23	3.16	3.16	3.81	3.81	4.74	4.47	6.32
10	1.77	2.42	3.54	3.54	4.19	4.19	5.31	4.84	7.08
12	1.95	2.61	3.90	3.90	4.56	4.56	5.85	5.22	7.80
14	2.14	2.80	4.28	4.28	4.94	4.94	6.42	5.59	8.56
16	2.33	2.98	4.66	N/A	5.31	5.31	N/A	5.97	N/A

* Specify pole size: 3 [3"], 4 [4"], 5 [5"], or 6 [6"] for single, double or triple luminaire orientation or 4 [4"], 5 [5"], or 6 [6"] for quad luminaire orientation
 ** These EPA values must be multiplied by the following ratio: Fixture Mounting Height/Total Pole Height. Specify pole size: 3 [3"], 4 [4"], 5 [5"], or 6 [6"]

THE EDGE® LED Area/Flood Luminaire

Luminaire EPA

Adjustable Arm Mount – ARE-EDG-AA/FLD-EDG-AA/SA									
LED Count (x10)	Single	2 @ 90°	2 @ 180°	In-Line 2 @ 180°	3 @ 90°	3 @ 120°	In-Line 3 @ 180°	4 @ 90°	In-Line 4 @ 180°
Tenon Configuration If used with Cree Lighting tenons, please add tenon EPA with Luminaire EPA									
									
	Vertical: PB-1A*; PT-1; PW-1A3** Horizontal: By others	Vertical: PB-2A*; PB-2R2.375; PW-2A3** Horizontal: PD-2A4(90); PT-2(90)	Vertical: PB-2A*; PB-2R2.375; PW-2A3** Horizontal: PD-2A4(180); PT-2(180)	Vertical: PB-2A*; PB-2R2.375	Vertical: PB-3A*; PB-3R2.375 Horizontal: PD-3A4(90); PT-3(90)	Vertical: PB-3A*; PB-3R2.375 Horizontal: PT-3(120)	Vertical: PB-3A*; PB-3R2.375	Vertical: PB-4A*(90); PB-4R2.375 Horizontal: PD-4A4(90) PT-4(90)	Vertical: PB-4A*(180); PB-4R2.375
90° Tilt									
02	1.85	2.51	3.70	3.64	4.36	4.36	5.55	5.02	7.40
04	1.85	2.51	3.70	3.64	4.36	4.36	5.55	5.02	7.40
06	2.14	2.80	4.28	4.22	4.94	4.94	6.42	5.59	8.56
08	2.43	3.09	4.86	4.78	5.51	5.51	7.29	6.17 N/A with horizontal tenon	9.72
10	2.71	3.37	5.42	5.34	6.08	6.08	8.13	6.74 N/A with horizontal tenon	10.84
12	3.00	3.66	6.00	5.90	6.66	6.66	9.00	7.31 N/A with horizontal tenon	12.00
14	3.29	3.95 N/A with PW-2A3**	6.58	6.48	7.23	7.23	9.87	7.89 N/A with horizontal tenon	13.16
16	3.57	4.23 N/A with PW-2A3**	7.14	N/A	7.81	7.81	N/A	8.46 N/A with horizontal tenon	N/A

* Specify pole size: 3 [3"], 4 [4"], 5 [5"], or 6 [6"] for single, double or triple luminaire orientation or 4 [4"], 5 [5"], or 6 [6"] for quad luminaire orientation
 ** These EPA values must be multiplied by the following ratio: Fixture Mounting Height/Total Pole Height. Specify pole size: 3 [3"], 4 [4"], 5 [5"], or 6 [6"]

Tenon EPA

Part Number	EPA
PB-1A*	None
PB-2A*	0.82
PB-3A*	1.52
PB-4A*(180)	2.22
PB-4A*(90)	1.11
PB-2R2.375	0.92
PB-3R2.375	1.62
PB-4R2.375	2.32
PD Series Tenons	0.09
PT Series Tenons	0.10
PW-1A3**	0.47
PW-2A3**	0.94
WM-2	0.08
WM-4	0.25
WM-DM	None

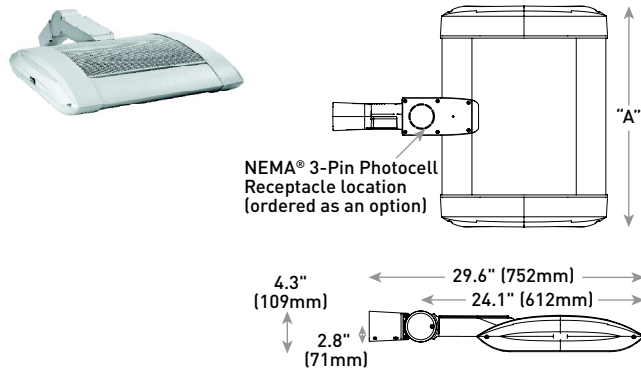
* Specify pole size: 3 [3"], 4 [4"], 5 [5"], or 6 [6"] for single, double or triple luminaire orientation or 4 [4"], 5 [5"], or 6 [6"] for quad luminaire orientation
 ** These EPA values must be multiplied by the following ratio: Fixture Mounting Height/Total Pole Height. Specify pole size: 3 [3"], 4 [4"], 5 [5"], or 6 [6"]

Tenons and Brackets [†] (must specify color)	
<p>Square Internal Mount Vertical Tenons (Steel) - Mounts to 3-6" (76-152mm) square aluminum or steel poles PB-1A* – Single PB-4A*(90) – 90° Quad PB-2A* – 180° Twin PB-4A*(180) – 180° Quad PB-3A* – 180° Triple</p> <p>Square Internal Mount Horizontal Tenons (Aluminum) - Mounts to 4" (102mm) square aluminum or steel poles PD-2A4(90) – 90° Twin PD-3A4(90) – 90° Triple PD-2A4(180) – 180° Twin PD-4A4(90) – 90° Quad</p> <p>Wall Mount Brackets - Mounts to wall or roof WM-2 – Horizontal for AA and SA mounts WM-4 – L-Shape for AA and SA mounts WM-DM – Plate for DA and DL mounts</p>	<p>Round External Mount Vertical Tenons (Steel) - Mounts to 2.375" (60mm) O.D. round aluminum or steel poles or tenons PB-2R2.375 – Twin PB-4R2.375 – Quad PB-3R2.375 – Triple</p> <p>Round External Mount Horizontal Tenons (Aluminum) - Mounts to 2.375" (60mm) O.D. round aluminum or steel poles or tenons - Mounts to square pole with PB-1A* tenon PT-1 – Single (Vertical) PT-3(90) – 90° Triple PT-2(90) – 90° Twin PT-3(120) – 120° Triple PT-2(180) – 180° Twin PT-4(90) – 90° Quad</p> <p>Mid-Pole Bracket - Mounts to square pole PW-1A3** – Single PW-2A3** – Double</p> <p>Ground Mount Post - For ground mounted flood luminaires PGM-1 - For use with AA and SA mounts</p>

[†] Refer to the [Bracket and Tenons spec sheet](#) for more details

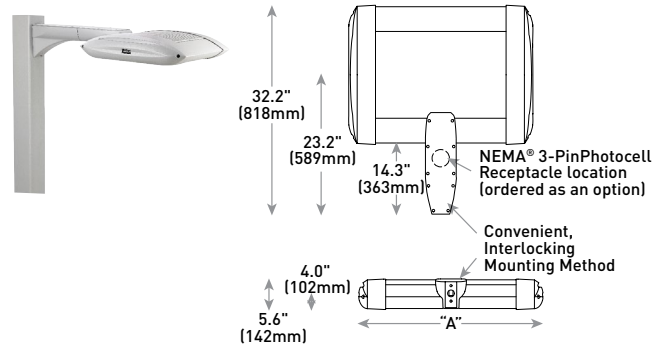
THE EDGE® LED Area/Flood Luminaire

AA Mount



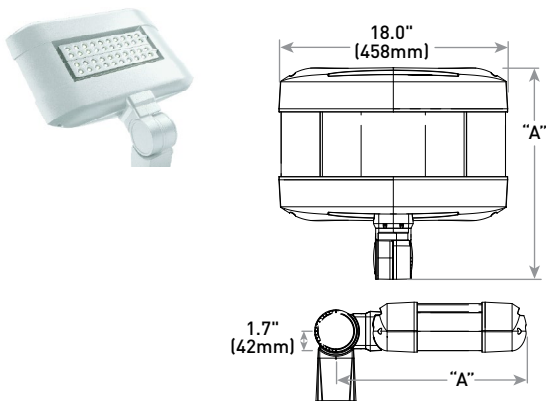
LED Count (x10)	Dim. "A"	Weight
02	12.1" (306mm)	21 lbs. (10kg)
04	12.1" (306mm)	24 lbs. (11kg)
06	14.1" (357mm)	27 lbs. (12kg)
08	16.1" (408mm)	28 lbs. (13kg)
10	18.1" (459mm)	32 lbs. (15kg)
12	20.1" (510mm)	34 lbs. (15kg)
14	22.1" (560mm)	37 lbs. (17kg)
16	24.1" (611mm)	41 lbs. (19kg)

DL Mount



LED Count (x10)	Dim. "A"	Weight
02	12.1" (306mm)	23 lbs. (10kg)
04	12.1" (306mm)	26 lbs. (12kg)
06	14.1" (357mm)	29 lbs. (13kg)
08	16.1" (408mm)	30 lbs. (14kg)
10	18.1" (459mm)	34 lbs. (15kg)
12	20.1" (510mm)	36 lbs. (16kg)
14	22.1" (560mm)	42 lbs. (19kg)
16	24.1" (611mm)	44 lbs. (20kg)

SA Mount



LED Count (x10)	Dim. "A"	Weight
02	16.0" (406mm)	25 lbs. (11kg)
04	18.0" (457mm)	26 lbs. (12kg)
06	20.0" (508mm)	28 lbs. (13kg)

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THE EDGE® Series TYPE AX

LED Area/Flood Luminaire

Rev. Date: V11 09/07/2021

Product Description

THE EDGE® Series has a slim, low profile design. Its rugged cast aluminum housing minimizes wind load requirements and features an integral, weathertight LED driver compartment and high performance aluminum heat sinks. Various mounting choices: Adjustable Arm, Direct Arm, Direct Arm Long, or Side Arm (details on page 2). Includes a leaf/debris guard.

Applications: Parking lots, walkways, campuses, car dealerships, office complexes, and internal roadways

GC TO VERIFY THAT FIXTURES CAN BE MOUNTED PER PLAN AND ALL NECESSARY HARDWARE IS SPECIFIED FOR INSTALLATION PRIOR TO PURCHASING

Performance Summary

- Patented NanoOptic® Product Technology
- Assembled in the U.S.A. of U.S. and imported parts
- CRI:** Minimum 70 CRI (4000K & 5700K); 80 CRI (3000K); 90 CRI (5000K)
- CCT:** Turtle Friendly Amber, 3000K (+/- 300K), 4000K (+/- 300K), 5000K (+/- 500K), 5700K (+/- 500K) standard
- Limited Warranty*:** 10 years on luminaire/10 years on Colorfast DeltaGuard® finish /1 year on accessories

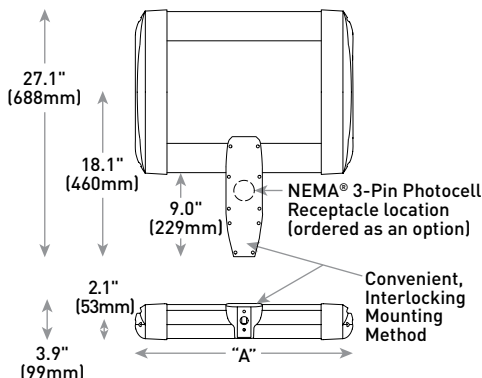
*See <http://creelighting.com/warranty> for warranty terms

Accessories

Field-Installed	
Bird Spikes XA-BRDSPK	Backlight Control Shields XA-20BLS-4 - Four-pack - Unpainted stainless steel
Hand-Held Remote XA-SENSREM - For successful implementation of the programmable multi-level option, a minimum of one hand-held remote is required	Shorting Cap XA-XSLSHRT
	NEMA® 3-Pin Photocell C-ACC-A-PCCELL-NEMA3-LV - On/off functionality only - Available with UL voltage only

GC TO VERIFY AND SPECIFY IF NOT UL **GC TO REFERENCE PLANS FOR COLOR DESIGNATION**

DA Mount GC TO SEE NOTES BELOW



LED Count (x10)	Dim. "A"	Weight
02	12.1" (306mm)	21 lbs. (10kg)
04	12.1" (306mm)	24 lbs. (11kg)
06	14.1" (357mm)	27 lbs. (12kg)
08	16.1" (408mm)	28 lbs. (13kg)
10	18.1" (459mm)	32 lbs. (15kg)
12	20.1" (510mm)	34 lbs. (15kg)
14	22.1" (560mm)	37 lbs. (17kg)
16	24.1" (611mm)	41 lbs. (19kg)

AA/DL/SA Mount - see page 22 for weight & dimensions

Ordering Information

Example: ARE-EDG-2M-AA-12-E-UL-SV-350

Product	Optic	Mounting*	LED Count (x10)	Series	Voltage	Color Options	Drive Current	Options	
ARE-EDG	2M Type II Medium	3MB Type III Medium w/BLS	4MP Type IV Medium w/Partial BLS	AA Adjustable Arm	02	E UL Universal 120-277V	BK Black	350 350mA	DIM 0-10V Dimming - Control by others - Refer to Dimming spec sheet for details - Can't exceed specified drive current - Not available with PML options F Fuse - Compatible only with 120V, 277V or 347V (phase to neutral) - Consult factory if fusing is required for 208V, 240V or 480V (phase to phase) - Refer to PML spec sheet for availability with PML options - When code dictates fusing, use time delay fuse HL Hi/Low (Dual Circuit Input) - Refer to HL spec sheet for details - Sensor not included P Photocell - Refer to PML spec sheet for availability with PML options - Available with UL voltage only PML Programmable Multi-Level, 20-40' Mounting Height - Refer to PML spec sheet for details - Intended for downlight applications at 0° tilt R NEMA® 3-Pin Photocell Receptacle - 3-pin receptacle per ANSI C136.10 - Not available with SA mount - Intended for downlight applications with maximum 45° tilt - Requires photocell or shorting cap by others - Refer to PML spec sheet for availability with PML options 30K 3000K Color Temperature - Minimum 80 CRI - Color temperature per luminaire 40K 4000K Color Temperature - Minimum 70 CRI - Color temperature per luminaire 50K 5000K Color Temperature - Minimum 90 CRI - Color temperature per luminaire TRL Amber Turtle Friendly LEDs - Available only with 350mA - 600nm dominant wavelength - Additional shielding (by others) may be required for Florida Fish and Wildlife Conservation Commission compliance
					04		BZ Bronze		
					06		UH Universal 347-480V		
	2MB Type II Medium w/BLS	3MP Type III Medium w/Partial BLS	5M Type V Medium	DL Direct Long Arm	10	E UL Universal 347-480V	SV Silver	700 700mA - Available with 20-60 LEDs	
					12		WH White		
					14				
	16								
	FLD-EDG	25 25° Flood	70 70° Flood	N6 NEMA® 6	AA Adjustable Arm	E UL Universal 347-480V	SA Side Arm - Available with 20-60 LEDs		
		40 40° Flood	SN Sign	SA Side Arm - Available with 20-60 LEDs	02				
					04				

* Reference EPA and pole configuration suitability data beginning on page 19



Product Specifications

CONSTRUCTION & MATERIALS

- Slim, low profile, minimizing wind load requirements
- Luminaire sides are rugged die cast aluminum with integral, weathertight LED driver compartment and high performance heat sinks
- DA and DL mount utilizes convenient interlocking mounting method. Mounting is rugged die cast aluminum, mounts to 3-6" (76-152mm) square or round pole and secures to pole with 5/16-18 UNC bolts spaced on 2" (51mm) centers
- AA and SA mounts are rugged die cast aluminum and mount to 2" (51mm) IP, 2.375" (60mm) O.D. tenons
- Includes leaf/debris guard
- Exclusive Colorfast DeltaGuard® finish features an E-Coat epoxy primer with an ultra-durable powder topcoat, providing excellent resistance to corrosion, ultraviolet degradation and abrasion. Black, bronze, silver, and white are available
- **Weight:** See Dimensions and Weight Charts on pages 1 and 22

ELECTRICAL SYSTEM

- **Input Voltage:** 120-277V or 347-480V, 50/60Hz, Class 1 drivers
- **Power Factor:** > 0.9 at full load
- **Total Harmonic Distortion:** < 20% at full load
- DA and DL mounts designed with integral weathertight electrical box with terminal strips (12Ga-20Ga) for easy power hookup
- Integral 10kV surge suppression protection standard
- When code dictates fusing, a slow blow fuse or type C/D breaker should be used to address inrush current
- **Maximum 10V Source Current:** 20 LED (350mA): 10mA; 20 LED (525 & 700mA) and 40-80 LED: 0.15mA; 100-160 LED: 0.30mA

REGULATORY & VOLUNTARY QUALIFICATIONS

- cULus Listed
- Suitable for wet locations
- Enclosure rated IP66 per IEC 60529 when ordered without P or R options
- Consult factory for CE Certified products
- Certified to ANSI C136.31-2001, 3G bridge and overpass vibration standards when ordered with AA, DA and DL mounts
- ANSI C136.2 10kV surge protection, tested in accordance with IEEE/ANSI C62.41.2
- Meets FCC Part 15, Subpart B, Class A limits for conducted and radiated emissions
- Luminaire and finish endurance tested to withstand 5,000 hours of elevated ambient salt fog conditions as defined in ASTM Standard B 117
- DLC qualified with select SKUs. Refer to <https://www.designlights.org/search/> for most current information
- Meets Buy American requirements within ARRA
- **CA RESIDENTS WARNING:** Cancer and Reproductive Harm – www.p65warnings.ca.gov

Electrical Data*								
LED Count (x10)	CCT	System Watts 120-480V	Total Current (A)					
			120V	208V	240V	277V	347V	480V
350mA								
02	30K/40K/50K/57K	25	0.21	0.13	0.11	0.10	0.08	0.07
	TRL	19	0.16	0.09	0.08	0.07	0.05	0.04
04	30K/40K/50K/57K	46	0.36	0.23	0.21	0.20	0.15	0.12
	TRL	35	0.29	0.17	0.15	0.13	0.10	0.07
06	30K/40K/50K/57K	66	0.52	0.31	0.28	0.26	0.20	0.15
	TRL	50	0.41	0.24	0.21	0.18	0.14	0.10
08	30K/40K/50K/57K	90	0.75	0.44	0.38	0.34	0.26	0.20
	TRL	68	0.57	0.33	0.28	0.25	0.20	0.14
10	30K/40K/50K/57K	110	0.92	0.53	0.47	0.41	0.32	0.24
	TRL	83	0.69	0.40	0.35	0.30	0.24	0.17
12	30K/40K/50K/57K	130	1.10	0.63	0.55	0.48	0.38	0.28
	TRL	99	0.82	0.48	0.41	0.36	0.28	0.21
14	30K/40K/50K/57K	158	1.32	0.77	0.68	0.62	0.47	0.35
	TRL	120	1.00	0.58	0.50	0.43	0.34	0.25
16	30K/40K/50K/57K	179	1.49	0.87	0.77	0.68	0.53	0.39
	TRL	136	1.13	0.65	0.57	0.49	0.39	0.28
525mA								
02	30K/40K/50K/57K	37	0.30	0.19	0.17	0.16	0.12	0.10
04	30K/40K/50K/57K	70	0.58	0.34	0.31	0.28	0.21	0.16
06	30K/40K/50K/57K	101	0.84	0.49	0.43	0.38	0.30	0.22
08	30K/40K/50K/57K	133	1.13	0.66	0.58	0.51	0.39	0.28
10	30K/40K/50K/57K	171	1.43	0.83	0.74	0.66	0.50	0.38
12	30K/40K/50K/57K	202	1.69	0.98	0.86	0.77	0.59	0.44
14	30K/40K/50K/57K	232	1.94	1.12	0.98	0.87	0.68	0.50
16	30K/40K/50K/57K	263	2.21	1.27	1.11	0.97	0.77	0.56
700mA								
02	30K/40K/50K/57K	50	0.41	0.25	0.22	0.20	0.15	0.12
04	30K/40K/50K/57K	93	0.78	0.46	0.40	0.36	0.27	0.20
06	30K/40K/50K/57K	134	1.14	0.65	0.57	0.50	0.39	0.29

* Electrical data at 25°C (77°F). Actual wattage may differ by +/- 10% when operating between 120-277V or 347-480V +/- 10%

THE EDGE® Series Ambient Adjusted Lumen Maintenance¹

Ambient	CCT	Initial LMF	25K hr Reported ² LMF	50K hr Reported ² LMF	75K hr Reported ² / Estimated ³ LMF	100K hr Reported ³ / Estimated ³ LMF
5°C (41°F)	30K/40K/50K/57K	1.04	1.03	1.03	1.03 ²	1.03
	TRL	1.06	1.06	1.06	1.06 ³	1.06
10°C (50°F)	30K/40K/50K/57K	1.03	1.02	1.02	1.02 ²	1.02
	TRL	1.04	1.04	1.04	1.04 ³	1.04
15°C (59°F)	30K/40K/50K/57K	1.02	1.01	1.01	1.01 ²	1.01
	TRL	1.03	1.03	1.03	1.03 ³	1.03
20°C (68°F)	30K/40K/50K/57K	1.01	0.99	0.99	0.99 ²	0.99
	TRL	1.01	1.01	1.01	1.01 ³	1.01
25°C (77°F)	30K/40K/50K/57K	1.00	0.98	0.98	0.98 ²	0.98
	TRL	1.00	1.00	1.00	1.00 ³	1.00

¹ Lumen maintenance values at 25°C (77°F) are calculated per IES TM-21 based on IES LM-80 report data for the LED package and in-situ luminaire testing. Luminaire ambient temperature factors (LATF) have been applied to all lumen maintenance factors. Please refer to the [Temperature Zone Reference Document](#) for outdoor average nighttime ambient conditions.

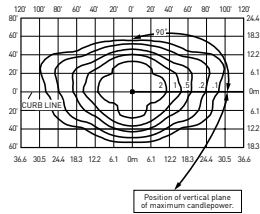
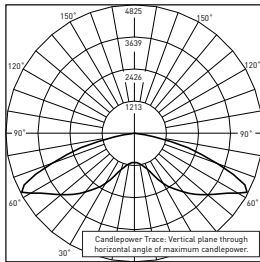
² In accordance with IES TM-21, Reported values represent interpolated values based on time durations that are up to 6x the tested duration in the IES LM-80 report for the LED.

³ Estimated values are calculated and represent time durations that exceed the 6x test duration of the LED.

Photometry

All published luminaire photometric testing performed to IES LM-79-08 standards. To obtain an IES file specific to your project consult: <http://creelighting.com/products/outdoor/area/cree-edge-series-1>

2M



RESTL Test Report #: PL10270-004B
 ARE-EDG-2M-**-06-E-UL-525-40K
 Initial Delivered Lumens: 10,053

ARE-EDG-2M-**-10-E-UL-525-40K
 Mounting Height: 25' (7.6m) A.F.G.
 Initial Delivered Lumens: 17,504
 Initial FC at grade

Type II Medium Distribution										
LED Count (x10)	3000K		4000K		5000K		5700K		TRL	
	Initial Delivered Lumens [*]	BUG Ratings ^{**} Per TM-15-11	Initial Delivered Lumens [*]	BUG Ratings ^{**} Per TM-15-11	Initial Delivered Lumens [*]	BUG Ratings ^{**} Per TM-15-11	Initial Delivered Lumens [*]	BUG Ratings ^{**} Per TM-15-11	Initial Delivered Lumens [*]	BUG Ratings ^{**} Per TM-15-11
350mA										
02	2,072	B1 U0 G1	2,501	B1 U0 G1	1,902	B1 U0 G1	2,551	B1 U0 G1	816	B0 U0 G0
04	4,143	B2 U0 G1	5,003	B2 U0 G2	3,803	B1 U0 G1	5,102	B2 U0 G2	1,633	B1 U0 G1
06	6,144	B2 U0 G2	7,418	B2 U0 G2	5,640	B2 U0 G2	7,565	B2 U0 G2	2,421	B1 U0 G1
08	8,192	B2 U0 G2	9,891	B3 U0 G3	7,519	B2 U0 G2	10,087	B3 U0 G3	3,228	B1 U0 G1
10	10,215	B3 U0 G3	12,334	B3 U0 G3	9,377	B3 U0 G3	12,578	B3 U0 G3	4,025	B2 U0 G1
12	12,258	B3 U0 G3	14,801	B3 U0 G3	11,252	B3 U0 G3	15,094	B3 U0 G3	4,830	B2 U0 G2
14	14,211	B3 U0 G3	17,158	B3 U0 G3	13,044	B3 U0 G3	17,498	B3 U0 G3	5,599	B2 U0 G2
16	16,241	B3 U0 G3	19,609	B3 U0 G3	14,908	B3 U0 G3	19,998	B4 U0 G3	6,399	B2 U0 G2
525mA										
02	2,943	B1 U0 G1	3,550	B1 U0 G1	2,702	B1 U0 G1	3,624	B1 U0 G1		N/A
04	5,886	B2 U0 G2	7,099	B2 U0 G2	5,403	B2 U0 G2	7,248	B2 U0 G2		N/A
06	8,729	B3 U0 G3	10,527	B3 U0 G3	8,012	B2 U0 G2	10,748	B3 U0 G3		N/A
08	11,638	B3 U0 G3	14,037	B3 U0 G3	10,683	B3 U0 G3	14,331	B3 U0 G3		N/A
10	14,513	B3 U0 G3	17,504	B3 U0 G3	13,322	B3 U0 G3	17,870	B3 U0 G3		N/A
12	17,415	B3 U0 G3	21,004	B4 U0 G4	15,986	B3 U0 G3	21,444	B4 U0 G4		N/A
14	20,189	B4 U0 G3	24,350	B4 U0 G4	18,532	B3 U0 G3	24,860	B4 U0 G4		N/A
16	23,074	B4 U0 G4	27,828	B4 U0 G4	21,179	B4 U0 G4	28,411	B4 U0 G4		N/A
700mA										
02	3,472	B1 U0 G1	4,189	B2 U0 G1	3,187	B1 U0 G1	4,275	B2 U0 G2		N/A
04	6,943	B2 U0 G2	8,379	B2 U0 G2	6,373	B2 U0 G2	8,549	B3 U0 G3		N/A
06	10,296	B3 U0 G3	12,425	B3 U0 G3	9,451	B3 U0 G3	12,678	B3 U0 G3		N/A

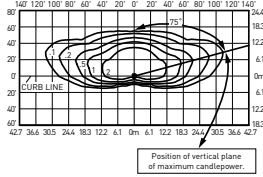
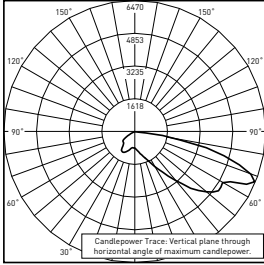
* Initial delivered lumens at 25°C (77°F). Actual production yield may vary between -10 and +10% of initial delivered lumens
 ** For more information on the IES BUG (Backlight-Uplight-Glare) Rating visit: <https://www.ies.org/wp-content/uploads/2017/03/TM-15-11BUGRatingsAddendum.pdf>.

THE EDGE® LED Area/Flood Luminaire

Photometry

All published luminaire photometric testing performed to IES LM-79-08 standards. To obtain an IES file specific to your project consult: <http://creelighting.com/products/outdoor/area/cree-edge-series-1>

2MB



RESTL Test Report #: PL10023-003B
 ARE-EDG-2MB-**-06-E-UL-525-40K
 Initial Delivered Lumens: 7,784

ARE-EDG-2MB-**-10-E-UL-525-40K
 Mounting Height: 25' (7.6m) A.F.G.
 Initial Delivered Lumens: 13,185
 Initial FC at grade

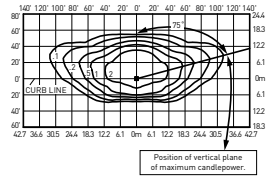
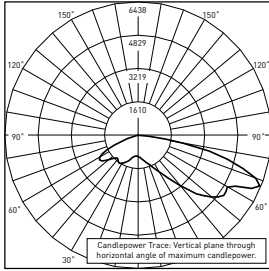
Type II Medium Distribution w/BLS										
LED Count (x10)	3000K		4000K		5000K		5700K		TRL	
	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11
350mA										
02	1,560	B0 U0 G1	1,884	B0 U0 G1	1,432	B0 U0 G1	1,921	B0 U0 G1	615	B0 U0 G0
04	3,121	B0 U0 G1	3,768	B1 U0 G1	2,865	B0 U0 G1	3,843	B1 U0 G1	1,230	B0 U0 G1
06	4,628	B1 U0 G1	5,588	B1 U0 G1	4,248	B1 U0 G1	5,698	B1 U0 G1	1,824	B0 U0 G1
08	6,170	B1 U0 G1	7,450	B1 U0 G2	5,664	B1 U0 G1	7,598	B1 U0 G2	2,431	B0 U0 G1
10	7,695	B1 U0 G2	9,291	B1 U0 G2	7,063	B1 U0 G2	9,475	B1 U0 G2	3,032	B0 U0 G1
12	9,233	B1 U0 G2	11,149	B1 U0 G2	8,476	B1 U0 G2	11,370	B1 U0 G2	3,638	B1 U0 G1
14	10,704	B1 U0 G2	12,924	B1 U0 G2	9,825	B1 U0 G2	13,181	B1 U0 G2	4,218	B1 U0 G1
16	12,233	B1 U0 G2	14,771	B1 U0 G3	11,229	B1 U0 G2	15,063	B1 U0 G3	4,820	B1 U0 G1
525mA										
02	2,217	B0 U0 G1	2,674	B0 U0 G1	2,035	B0 U0 G1	2,730	B0 U0 G1		N/A
04	4,434	B1 U0 G1	5,348	B1 U0 G1	4,070	B1 U0 G1	5,460	B1 U0 G1		N/A
06	6,575	B1 U0 G2	7,930	B1 U0 G2	6,035	B1 U0 G1	8,096	B1 U0 G2		N/A
08	8,766	B1 U0 G2	10,573	B1 U0 G2	8,047	B1 U0 G2	10,794	B1 U0 G2		N/A
10	10,932	B1 U0 G2	13,185	B1 U0 G2	10,034	B1 U0 G2	13,461	B1 U0 G2		N/A
12	13,118	B1 U0 G2	15,821	B2 U0 G3	12,041	B1 U0 G2	16,153	B2 U0 G3		N/A
14	15,208	B1 U0 G3	18,341	B2 U0 G3	13,959	B1 U0 G2	18,726	B2 U0 G3		N/A
16	17,380	B2 U0 G3	20,962	B2 U0 G3	15,953	B2 U0 G3	21,401	B2 U0 G3		N/A
700mA										
02	2,615	B0 U0 G1	3,156	B0 U0 G1	2,400	B0 U0 G1	3,220	B0 U0 G1		N/A
04	5,230	B1 U0 G1	6,311	B1 U0 G2	4,801	B1 U0 G1	6,440	B1 U0 G2		N/A
06	7,755	B1 U0 G2	9,359	B1 U0 G2	7,119	B1 U0 G2	9,549	B1 U0 G2		N/A

* Initial delivered lumens at 25°C (77°F). Actual production yield may vary between -10 and +10% of initial delivered lumens
 ** For more information on the IES BUG (Backlight-Uplight-Glare) Rating visit: <https://www.ies.org/wp-content/uploads/2017/03/TM-15-11BUGRatingsAddendum.pdf>.

Photometry

All published luminaire photometric testing performed to IES LM-79-08 standards. To obtain an IES file specific to your project consult: <http://creelighting.com/products/outdoor/area/cree-edge-series-1>

2MP



RESTL Test Report #: PL10097-001B
ARE-EDG-2MP--06-E-UL-525-40K**
Initial Delivered Lumens: 9,149

ARE-EDG-2MP--10-E-UL-525-40K**
Mounting Height: 25' (7.6m) A.F.G.
Initial Delivered Lumens: 15,458
Initial FC at grade

Type II Medium Distribution w/Partial BLS										
LED Count (x10)	3000K		4000K		5000K		5700K		TRL	
	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11
350mA										
02	1,829	B1 U0 G1	2,209	B1 U0 G1	1,679	B1 U0 G1	2,253	B1 U0 G1	721	B0 U0 G0
04	3,659	B1 U0 G1	4,418	B1 U0 G1	3,359	B1 U0 G1	4,505	B1 U0 G1	1,442	B0 U0 G1
06	5,426	B1 U0 G1	6,551	B1 U0 G1	4,980	B1 U0 G1	6,681	B1 U0 G1	2,138	B1 U0 G1
08	7,234	B2 U0 G1	8,735	B2 U0 G2	6,640	B1 U0 G1	8,908	B2 U0 G2	2,851	B1 U0 G1
10	9,021	B2 U0 G2	10,892	B2 U0 G2	8,281	B2 U0 G2	11,108	B2 U0 G2	3,555	B1 U0 G1
12	10,825	B2 U0 G2	13,071	B2 U0 G2	9,937	B2 U0 G2	13,330	B2 U0 G2	4,266	B1 U0 G1
14	12,550	B2 U0 G2	15,153	B2 U0 G2	11,520	B2 U0 G2	15,453	B2 U0 G2	4,945	B1 U0 G1
16	14,343	B2 U0 G2	17,317	B2 U0 G2	13,165	B2 U0 G2	17,661	B3 U0 G2	5,651	B1 U0 G1
525mA										
02	2,599	B1 U0 G1	3,135	B1 U0 G1	2,386	B1 U0 G1	3,200	B1 U0 G1		N/A
04	5,198	B1 U0 G1	6,270	B1 U0 G1	4,772	B1 U0 G1	6,401	B1 U0 G1		N/A
06	7,708	B2 U0 G2	9,297	B2 U0 G2	7,076	B2 U0 G1	9,492	B2 U0 G2		N/A
08	10,278	B2 U0 G2	12,396	B2 U0 G2	9,434	B2 U0 G2	12,656	B2 U0 G2		N/A
10	12,817	B2 U0 G2	15,458	B2 U0 G2	11,764	B2 U0 G2	15,782	B2 U0 G2		N/A
12	15,380	B2 U0 G2	18,549	B3 U0 G3	14,117	B2 U0 G2	18,938	B3 U0 G3		N/A
14	17,830	B3 U0 G2	21,504	B3 U0 G3	16,366	B2 U0 G2	21,954	B3 U0 G3		N/A
16	20,377	B3 U0 G3	24,576	B3 U0 G3	18,704	B3 U0 G3	25,091	B3 U0 G3		N/A
700mA										
02	3,066	B1 U0 G1	3,700	B1 U0 G1	2,814	B1 U0 G1	3,775	B1 U0 G1		N/A
04	6,132	B1 U0 G1	7,400	B2 U0 G1	5,628	B1 U0 G1	7,550	B2 U0 G2		N/A
06	9,092	B2 U0 G2	10,973	B2 U0 G2	8,346	B2 U0 G2	11,196	B2 U0 G2		N/A

* Initial delivered lumens at 25°C (77°F). Actual production yield may vary between -10 and +10% of initial delivered lumens

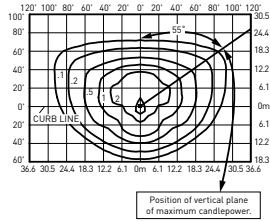
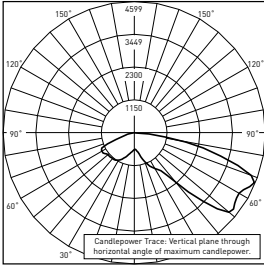
** For more information on the IES BUG (Backlight-Uplight-Glare) Rating visit: <https://www.ies.org/wp-content/uploads/2017/03/TM-15-11BUGRatingsAddendum.pdf>.

THE EDGE® LED Area/Flood Luminaire

Photometry

All published luminaire photometric testing performed to IES LM-79-08 standards. To obtain an IES file specific to your project consult: <http://creelighting.com/products/outdoor/area/cree-edge-series-1>

3M



RESTL Test Report #: PL09405-001A
ARE-EDG-3M-**-06-E-UL-525-40K
Initial Delivered Lumens: 9,460

ARE-EDG-3M-**-10-E-UL-525-40K
Mounting Height: 25' (7.6m) A.F.G.
Initial Delivered Lumens: 16,594
Initial FC at grade

Type III Medium Distribution										
LED Count (x10)	3000K		4000K		5000K		5700K		TRL	
	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11
350mA										
02	1,964	B1 U0 G1	2,371	B1 U0 G1	1,803	B1 U0 G1	2,418	B1 U0 G1	774	B0 U0 G1
04	3,928	B1 U0 G1	4,743	B1 U0 G1	3,606	B1 U0 G1	4,837	B1 U0 G1	1,548	B1 U0 G1
06	5,825	B2 U0 G2	7,033	B2 U0 G2	5,347	B2 U0 G2	7,172	B2 U0 G2	2,295	B1 U0 G1
08	7,766	B2 U0 G2	9,377	B2 U0 G2	7,129	B2 U0 G2	9,563	B2 U0 G2	3,060	B1 U0 G1
10	9,685	B2 U0 G2	11,693	B3 U0 G3	8,890	B2 U0 G2	11,925	B3 U0 G3	3,816	B1 U0 G1
12	11,621	B3 U0 G3	14,032	B3 U0 G3	10,667	B3 U0 G3	14,310	B3 U0 G3	4,579	B1 U0 G1
14	13,472	B3 U0 G3	16,267	B3 U0 G3	12,367	B3 U0 G3	16,589	B3 U0 G3	5,309	B2 U0 G2
16	15,397	B3 U0 G3	18,591	B3 U0 G3	14,133	B3 U0 G3	18,959	B3 U0 G3	6,067	B2 U0 G2
525mA										
02	2,790	B1 U0 G1	3,365	B1 U0 G1	2,561	B1 U0 G1	3,436	B1 U0 G1		N/A
04	5,581	B2 U0 G2	6,731	B2 U0 G2	5,122	B2 U0 G2	6,872	B2 U0 G2		N/A
06	8,275	B2 U0 G2	9,981	B3 U0 G3	7,596	B2 U0 G2	10,190	B3 U0 G3		N/A
08	11,034	B3 U0 G3	13,307	B3 U0 G3	10,128	B3 U0 G3	13,586	B3 U0 G3		N/A
10	13,759	B3 U0 G3	16,594	B3 U0 G3	12,630	B3 U0 G3	16,942	B3 U0 G3		N/A
12	16,511	B3 U0 G3	19,913	B3 U0 G3	15,155	B3 U0 G3	20,330	B3 U0 G3		N/A
14	19,141	B3 U0 G3	23,085	B3 U0 G3	17,569	B3 U0 G3	23,569	B3 U0 G3		N/A
16	21,875	B3 U0 G3	26,383	B4 U0 G4	20,079	B3 U0 G3	26,936	B4 U0 G4		N/A
700mA										
02	3,291	B1 U0 G1	3,972	B1 U0 G1	3,021	B1 U0 G1	4,053	B1 U0 G1		N/A
04	6,582	B2 U0 G2	7,944	B2 U0 G2	6,042	B2 U0 G2	8,105	B2 U0 G2		N/A
06	9,761	B2 U0 G2	11,779	B3 U0 G3	8,960	B2 U0 G2	12,019	B3 U0 G3		N/A

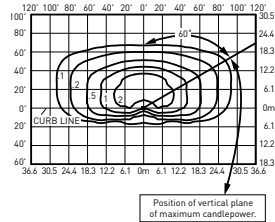
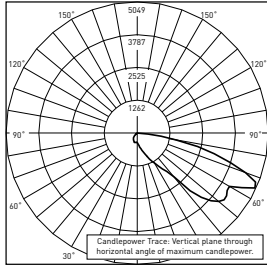
* Initial delivered lumens at 25°C (77°F). Actual production yield may vary between -10 and +10% of initial delivered lumens

** For more information on the IES BUG (Backlight-Uplight-Glare) Rating visit: <https://www.ies.org/wp-content/uploads/2017/03/TM-15-11BUGRatingsAddendum.pdf>.

Photometry

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3MB



RESTL Test Report #: PL10023-001B
 ARE-EDG-3MB-**-06-E-UL-525-40K
 Initial Delivered Lumens: 7,602

ARE-EDG-3MB-**-10-E-UL-525-40K
 Mounting Height: 25' (7.6m) A.F.G.
 Initial Delivered Lumens: 12,275
 Initial FC at grade

Type III Medium Distribution w/BLS										
LED Count (x10)	3000K		4000K		5000K		5700K		TRL	
	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11
350mA										
02	1,453	B0 U0 G1	1,754	B0 U0 G1	1,334	B0 U0 G1	1,789	B0 U0 G1	572	B0 U0 G0
04	2,906	B0 U0 G1	3,508	B1 U0 G1	2,667	B0 U0 G1	3,578	B1 U0 G1	1,145	B0 U0 G1
06	4,309	B1 U0 G1	5,202	B1 U0 G1	3,955	B1 U0 G1	5,305	B1 U0 G1	1,698	B0 U0 G1
08	5,745	B1 U0 G2	6,936	B1 U0 G2	5,273	B1 U0 G1	7,074	B1 U0 G2	2,264	B0 U0 G1
10	7,164	B1 U0 G2	8,650	B1 U0 G2	6,576	B1 U0 G2	8,821	B1 U0 G2	2,823	B0 U0 G1
12	8,597	B1 U0 G2	10,380	B1 U0 G2	7,891	B1 U0 G2	10,585	B1 U0 G2	3,387	B1 U0 G1
14	9,966	B1 U0 G2	12,033	B1 U0 G2	9,148	B1 U0 G2	12,272	B1 U0 G2	3,927	B1 U0 G1
16	11,390	B1 U0 G2	13,752	B2 U0 G3	10,455	B1 U0 G2	14,025	B2 U0 G3	4,488	B1 U0 G1
525mA										
02	2,064	B0 U0 G1	2,489	B0 U0 G1	1,895	B0 U0 G1	2,542	B0 U0 G1		N/A
04	4,128	B1 U0 G1	4,979	B1 U0 G1	3,789	B1 U0 G1	5,083	B1 U0 G1		N/A
06	6,121	B1 U0 G2	7,383	B1 U0 G2	5,619	B1 U0 G2	7,538	B1 U0 G2		N/A
08	8,162	B1 U0 G2	9,844	B1 U0 G2	7,492	B1 U0 G2	10,050	B1 U0 G2		N/A
10	10,178	B1 U0 G2	12,275	B1 U0 G2	9,342	B1 U0 G2	12,532	B1 U0 G2		N/A
12	12,213	B1 U0 G2	14,730	B2 U0 G3	11,211	B1 U0 G2	15,039	B2 U0 G3		N/A
14	14,159	B2 U0 G3	17,077	B2 U0 G3	12,996	B1 U0 G2	17,434	B2 U0 G3		N/A
16	16,181	B2 U0 G3	19,516	B2 U0 G3	14,853	B2 U0 G3	19,925	B2 U0 G3		N/A
700mA										
02	2,435	B0 U0 G1	2,938	B1 U0 G1	2,235	B0 U0 G1	2,998	B1 U0 G1		N/A
04	4,869	B1 U0 G1	5,876	B1 U0 G2	4,469	B1 U0 G1	5,996	B1 U0 G2		N/A
06	7,220	B1 U0 G2	8,714	B1 U0 G2	6,628	B1 U0 G2	8,891	B1 U0 G2		N/A

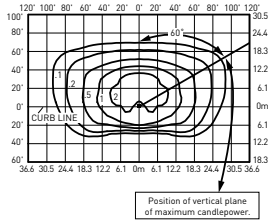
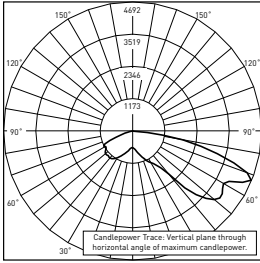
* Initial delivered lumens at 25°C (77°F). Actual production yield may vary between -10 and +10% of initial delivered lumens
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THE EDGE® LED Area/Flood Luminaire

Photometry

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3MP



RESTL Test Report #: PL10097-002B
 ARE-EDG-3MP-**-06-E-UL-525-40K
 Initial Delivered Lumens: 8,670

ARE-EDG-3MP-**-10-E-UL-525-40K
 Mounting Height: 25' (7.6m) A.F.G.
 Initial Delivered Lumens: 14,548
 Initial FC at grade

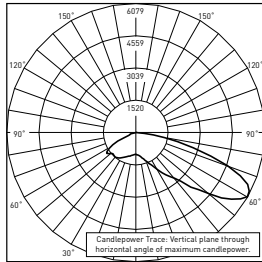
Type III Medium Distribution w/Partial BLS										
LED Count (x10)	3000K		4000K		5000K		5700K		TRL	
	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11
350mA										
02	1,722	B1 U0 G1	2,079	B1 U0 G1	1,581	B1 U0 G1	2,120	B1 U0 G1	678	B0 U0 G1
04	3,444	B1 U0 G1	4,158	B1 U0 G1	3,161	B1 U0 G1	4,240	B1 U0 G1	1,357	B0 U0 G1
06	5,107	B1 U0 G1	6,166	B1 U0 G2	4,687	B1 U0 G1	6,288	B1 U0 G2	2,012	B1 U0 G1
08	6,809	B1 U0 G2	8,221	B2 U0 G2	6,250	B1 U0 G2	8,384	B2 U0 G2	2,683	B1 U0 G1
10	8,491	B2 U0 G2	10,252	B2 U0 G2	7,794	B2 U0 G2	10,455	B2 U0 G2	3,346	B1 U0 G1
12	10,189	B2 U0 G2	12,302	B2 U0 G3	9,352	B2 U0 G2	12,546	B2 U0 G3	4,015	B1 U0 G1
14	11,812	B2 U0 G2	14,261	B3 U0 G3	10,842	B2 U0 G2	14,544	B3 U0 G3	4,654	B1 U0 G1
16	13,499	B2 U0 G3	16,299	B3 U0 G3	12,391	B2 U0 G3	16,622	B3 U0 G3	5,319	B1 U0 G2
525mA										
02	2,446	B1 U0 G1	2,950	B1 U0 G1	2,245	B1 U0 G1	3,012	B1 U0 G1		N/A
04	4,893	B1 U0 G1	5,901	B1 U0 G2	4,491	B1 U0 G1	6,024	B1 U0 G2		N/A
06	7,255	B2 U0 G2	8,750	B2 U0 G2	6,659	B1 U0 G2	8,933	B2 U0 G2		N/A
08	9,673	B2 U0 G2	11,667	B2 U0 G2	8,879	B2 U0 G2	11,911	B2 U0 G2		N/A
10	12,063	B2 U0 G3	14,548	B3 U0 G3	11,072	B2 U0 G2	14,853	B3 U0 G3		N/A
12	14,475	B3 U0 G3	17,458	B3 U0 G3	13,287	B2 U0 G3	17,824	B3 U0 G3		N/A
14	16,781	B3 U0 G3	20,239	B3 U0 G3	15,403	B3 U0 G3	20,663	B3 U0 G3		N/A
16	19,178	B3 U0 G3	23,130	B3 U0 G3	17,604	B3 U0 G3	23,615	B3 U0 G3		N/A
700mA										
02	2,885	B1 U0 G1	3,482	B1 U0 G1	2,649	B1 U0 G1	3,553	B1 U0 G1		N/A
04	5,771	B1 U0 G2	6,964	B1 U0 G2	5,297	B1 U0 G1	7,106	B2 U0 G2		N/A
06	8,557	B2 U0 G2	10,327	B2 U0 G2	7,855	B2 U0 G2	10,537	B2 U0 G2		N/A

* Initial delivered lumens at 25°C (77°F). Actual production yield may vary between -10 and +10% of initial delivered lumens
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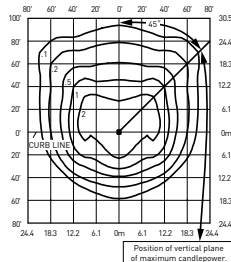
Photometry

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4M



RESTL Test Report #: PL10270-001B
ARE-EDG-4M-**-06-E-UL-525-40K
Initial Delivered Lumens: 10,483



ARE-EDG-4M-**-10-E-UL-525-40K
Mounting Height: 25' (7.6m) A.F.G.
Initial Delivered Lumens: 17,504
Initial FC at grade

Type IV Medium Distribution										
LED Count (x10)	3000K		4000K		5000K		5700K		TRL	
	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11
350mA										
02	2,072	B1 U0 G1	2,501	B1 U0 G1	1,902	B1 U0 G1	2,551	B1 U0 G1	816	B0 U0 G1
04	4,143	B1 U0 G1	5,003	B2 U0 G1	3,803	B1 U0 G1	5,102	B2 U0 G1	1,633	B1 U0 G1
06	6,144	B2 U0 G1	7,418	B2 U0 G2	5,640	B2 U0 G1	7,565	B2 U0 G2	2,421	B1 U0 G1
08	8,192	B2 U0 G2	9,891	B2 U0 G2	7,519	B2 U0 G2	10,087	B2 U0 G2	3,228	B1 U0 G1
10	10,215	B2 U0 G2	12,334	B3 U0 G2	9,377	B2 U0 G2	12,578	B3 U0 G2	4,025	B1 U0 G1
12	12,258	B2 U0 G2	14,801	B3 U0 G3	11,252	B2 U0 G2	15,094	B3 U0 G3	4,830	B1 U0 G1
14	14,211	B3 U0 G3	17,158	B3 U0 G3	13,044	B3 U0 G2	17,498	B3 U0 G3	5,599	B2 U0 G1
16	16,241	B3 U0 G3	19,609	B3 U0 G3	14,908	B3 U0 G3	19,998	B3 U0 G3	6,399	B2 U0 G1
525mA										
02	2,943	B1 U0 G1	3,550	B1 U0 G1	2,702	B1 U0 G1	3,624	B1 U0 G1		N/A
04	5,886	B2 U0 G1	7,099	B2 U0 G2	5,403	B2 U0 G1	7,248	B2 U0 G2		N/A
06	8,729	B2 U0 G2	10,527	B2 U0 G2	8,012	B2 U0 G2	10,748	B2 U0 G2		N/A
08	11,638	B2 U0 G2	14,037	B3 U0 G2	10,683	B2 U0 G2	14,331	B3 U0 G2		N/A
10	14,513	B3 U0 G3	17,504	B3 U0 G3	13,322	B3 U0 G2	17,870	B3 U0 G3		N/A
12	17,415	B3 U0 G3	21,004	B3 U0 G3	15,986	B3 U0 G3	21,444	B3 U0 G3		N/A
14	20,189	B3 U0 G3	24,350	B3 U0 G3	18,532	B3 U0 G3	24,860	B4 U0 G3		N/A
16	23,074	B3 U0 G3	27,828	B4 U0 G3	21,179	B3 U0 G3	28,411	B4 U0 G3		N/A
700mA										
02	3,472	B1 U0 G1	4,189	B1 U0 G1	3,187	B1 U0 G1	4,275	B1 U0 G1		N/A
04	6,943	B2 U0 G1	8,379	B2 U0 G2	6,373	B2 U0 G1	8,549	B2 U0 G2		N/A
06	10,296	B2 U0 G2	12,425	B3 U0 G2	9,451	B2 U0 G2	12,678	B3 U0 G2		N/A

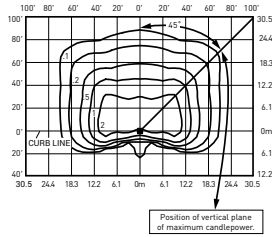
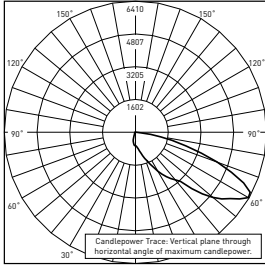
* Initial delivered lumens at 25°C (77°F). Actual production yield may vary between -10 and +10% of initial delivered lumens
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THE EDGE® LED Area/Flood Luminaire

Photometry

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4MB



RESTL Test Report #: PL10023-002B
 ARE-EDG-4MB-**-06-E-UL-525-40K
 Initial Delivered Lumens: 7,985

ARE-EDG-4MB-**-10-E-UL-525-40K
 Mounting Height: 25' (7.6m) A.F.G.
 Initial Delivered Lumens: 13,185
 Initial FC at grade

Type IV Medium Distribution w/BLS										
LED Count (x10)	3000K		4000K		5000K		5700K		TRL	
	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11
350mA										
02	1,560	B0 U0 G1	1,884	B0 U0 G1	1,432	B0 U0 G1	1,921	B0 U0 G1	615	B0 U0 G0
04	3,121	B1 U0 G1	3,768	B1 U0 G1	2,865	B0 U0 G1	3,843	B1 U0 G1	1,230	B0 U0 G1
06	4,628	B1 U0 G1	5,588	B1 U0 G1	4,248	B1 U0 G1	5,698	B1 U0 G2	1,824	B0 U0 G1
08	6,170	B1 U0 G2	7,450	B1 U0 G2	5,664	B1 U0 G2	7,598	B1 U0 G2	2,431	B0 U0 G1
10	7,695	B1 U0 G2	9,291	B1 U0 G2	7,063	B1 U0 G2	9,475	B1 U0 G2	3,032	B1 U0 G1
12	9,233	B1 U0 G2	11,149	B1 U0 G2	8,476	B1 U0 G2	11,370	B1 U0 G2	3,638	B1 U0 G1
14	10,704	B1 U0 G2	12,924	B1 U0 G2	9,825	B1 U0 G2	13,181	B1 U0 G2	4,218	B1 U0 G1
16	12,233	B1 U0 G2	14,771	B2 U0 G2	11,229	B1 U0 G2	15,063	B2 U0 G2	4,820	B1 U0 G1
525mA										
02	2,217	B1 U0 G1	2,674	B1 U0 G1	2,035	B1 U0 G1	2,730	B1 U0 G1		N/A
04	4,434	B1 U0 G1	5,348	B1 U0 G1	4,070	B1 U0 G1	5,460	B1 U0 G1		N/A
06	6,575	B1 U0 G2	7,930	B1 U0 G2	6,035	B1 U0 G2	8,096	B1 U0 G2		N/A
08	8,766	B1 U0 G2	10,573	B1 U0 G2	8,047	B1 U0 G2	10,794	B1 U0 G2		N/A
10	10,932	B1 U0 G2	13,185	B1 U0 G2	10,034	B1 U0 G2	13,461	B2 U0 G2		N/A
12	13,118	B1 U0 G2	15,821	B2 U0 G3	12,041	B1 U0 G2	16,153	B2 U0 G3		N/A
14	15,208	B2 U0 G2	18,341	B2 U0 G3	13,959	B2 U0 G2	18,726	B2 U0 G3		N/A
16	17,380	B2 U0 G3	20,962	B2 U0 G3	15,953	B2 U0 G3	21,401	B2 U0 G3		N/A
700mA										
02	2,615	B1 U0 G1	3,156	B1 U0 G1	2,400	B1 U0 G1	3,220	B1 U0 G1		N/A
04	5,230	B1 U0 G1	6,311	B1 U0 G2	4,801	B1 U0 G1	6,440	B1 U0 G2		N/A
06	7,755	B1 U0 G2	9,359	B1 U0 G2	7,119	B1 U0 G2	9,549	B1 U0 G2		N/A

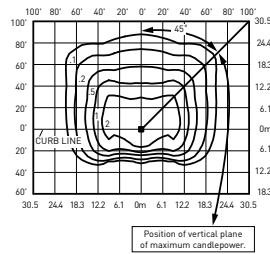
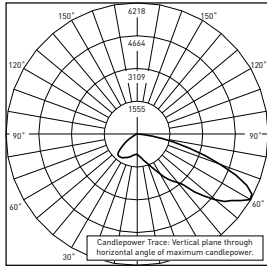
* Initial delivered lumens at 25°C (77°F). Actual production yield may vary between -10 and +10% of initial delivered lumens
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THE EDGE® LED Area/Flood Luminaire

Photometry

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4MP



RESTL Test Report #: PL10097-003B
 ARE-EDG-4MP-**-06-E-UL-525-40K
 Initial Delivered Lumens: 9,410

ARE-EDG-4MP-**-10-E-UL-525-40K
 Mounting Height: 25' (7.6m) A.F.G.
 Initial Delivered Lumens: 15,458
 Initial FC at grade

Type IV Medium Distribution w/Partial BLS										
LED Count (x10)	3000K		4000K		5000K		5700K		TRL	
	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11
350mA										
02	1,829	B1 U0 G1	2,209	B1 U0 G1	1,679	B1 U0 G1	2,253	B1 U0 G1	721	B0 U0 G0
04	3,659	B1 U0 G1	4,418	B1 U0 G1	3,359	B1 U0 G1	4,505	B1 U0 G1	1,442	B1 U0 G1
06	5,426	B1 U0 G1	6,551	B2 U0 G1	4,980	B1 U0 G1	6,681	B2 U0 G1	2,138	B1 U0 G1
08	7,234	B2 U0 G2	8,735	B2 U0 G2	6,640	B2 U0 G1	8,908	B2 U0 G2	2,851	B1 U0 G1
10	9,021	B2 U0 G2	10,892	B2 U0 G2	8,281	B2 U0 G2	11,108	B2 U0 G2	3,555	B1 U0 G1
12	10,825	B2 U0 G2	13,071	B2 U0 G2	9,937	B2 U0 G2	13,330	B2 U0 G2	4,266	B1 U0 G1
14	12,550	B2 U0 G2	15,153	B2 U0 G2	11,520	B2 U0 G2	15,453	B3 U0 G2	4,945	B1 U0 G1
16	14,343	B2 U0 G2	17,317	B3 U0 G2	13,165	B2 U0 G2	17,661	B3 U0 G2	5,651	B1 U0 G1
525mA										
02	2,599	B1 U0 G1	3,135	B1 U0 G1	2,386	B1 U0 G1	3,200	B1 U0 G1		N/A
04	5,198	B1 U0 G1	6,270	B2 U0 G1	4,772	B1 U0 G1	6,401	B2 U0 G1		N/A
06	7,708	B2 U0 G2	9,297	B2 U0 G2	7,076	B2 U0 G2	9,492	B2 U0 G2		N/A
08	10,278	B2 U0 G2	12,396	B2 U0 G2	9,434	B2 U0 G2	12,656	B2 U0 G2		N/A
10	12,817	B2 U0 G2	15,458	B3 U0 G2	11,764	B2 U0 G2	15,782	B3 U0 G2		N/A
12	15,380	B3 U0 G2	18,549	B3 U0 G2	14,117	B2 U0 G2	18,938	B3 U0 G3		N/A
14	17,830	B3 U0 G2	21,504	B3 U0 G3	16,366	B3 U0 G2	21,954	B3 U0 G3		N/A
16	20,377	B3 U0 G3	24,576	B3 U0 G3	18,704	B3 U0 G3	25,091	B3 U0 G3		N/A
700mA										
02	3,066	B1 U0 G1	3,700	B1 U0 G1	2,814	B1 U0 G1	3,775	B1 U0 G1		N/A
04	6,132	B2 U0 G1	7,400	B2 U0 G2	5,628	B1 U0 G1	7,550	B2 U0 G2		N/A
06	9,092	B2 U0 G2	10,973	B2 U0 G2	8,346	B2 U0 G2	11,196	B2 U0 G2		N/A

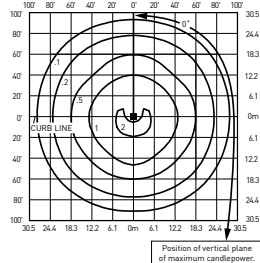
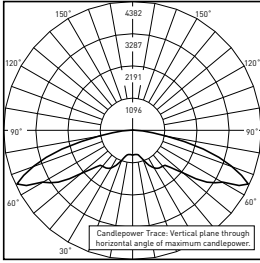
* Initial delivered lumens at 25°C (77°F). Actual production yield may vary between -10 and +10% of initial delivered lumens
 ** For more information on the IES BUG (Backlight-Uplight-Glare) Rating visit: <https://www.ies.org/wp-content/uploads/2017/03/TM-15-11BUGRatingsAddendum.pdf>

THE EDGE® LED Area/Flood Luminaire

Photometry

All published luminaire photometric testing performed to IES LM-79-08 standards. To obtain an IES file specific to your project consult: <http://creelighting.com/products/outdoor/area/cree-edge-series-1>

5M



RESTL Test Report #: PL09285-001
ARE-EDG-5M-**-06-E-UL-700-40K
Initial Delivered Lumens: 13,136

ARE-EDG-5M-**-10-E-UL-525-40K
Mounting Height: 25' (7.6m) A.F.G.
Initial Delivered Lumens: 18,413
Initial FC at grade

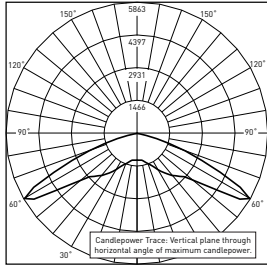
Type V Medium Distribution										
LED Count (x10)	3000K		4000K		5000K		5700K		TRL	
	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11
350mA										
02	2,179	B2 U0 G1	2,631	B2 U0 G1	2,000	B1 U0 G1	2,683	B2 U0 G1	859	B1 U0 G1
04	4,358	B3 U0 G1	5,262	B3 U0 G1	4,001	B2 U0 G1	5,367	B3 U0 G1	1,717	B1 U0 G1
06	6,463	B3 U0 G1	7,804	B3 U0 G2	5,932	B3 U0 G1	7,958	B3 U0 G2	2,547	B2 U0 G1
08	8,617	B3 U0 G2	10,405	B4 U0 G2	7,910	B3 U0 G2	10,611	B4 U0 G2	3,395	B2 U0 G1
10	10,746	B4 U0 G2	12,975	B4 U0 G2	9,864	B3 U0 G2	13,232	B4 U0 G2	4,234	B3 U0 G1
12	12,895	B4 U0 G2	15,570	B4 U0 G3	11,836	B4 U0 G2	15,878	B4 U0 G3	5,081	B3 U0 G1
14	14,949	B4 U0 G3	18,049	B4 U0 G3	13,722	B4 U0 G2	18,407	B4 U0 G3	5,890	B3 U0 G1
16	17,085	B4 U0 G3	20,628	B5 U0 G3	15,682	B4 U0 G3	21,037	B5 U0 G3	6,732	B3 U0 G2
525mA										
02	3,096	B2 U0 G1	3,734	B3 U0 G1	2,842	B2 U0 G1	3,812	B3 U0 G1		N/A
04	6,192	B3 U0 G1	7,468	B3 U0 G2	5,684	B3 U0 G1	7,625	B3 U0 G2		N/A
06	9,182	B3 U0 G2	11,074	B4 U0 G2	8,428	B3 U0 G2	11,306	B4 U0 G2		N/A
08	12,243	B4 U0 G2	14,766	B4 U0 G2	11,238	B4 U0 G2	15,075	B4 U0 G3		N/A
10	15,267	B4 U0 G3	18,413	B4 U0 G3	14,014	B4 U0 G2	18,799	B4 U0 G3		N/A
12	18,320	B4 U0 G3	22,096	B5 U0 G3	16,816	B4 U0 G3	22,558	B5 U0 G3		N/A
14	21,238	B5 U0 G3	25,615	B5 U0 G3	19,495	B4 U0 G3	26,151	B5 U0 G3		N/A
16	24,272	B5 U0 G3	29,274	B5 U0 G3	22,280	B5 U0 G3	29,887	B5 U0 G3		N/A
700mA										
02	3,652	B3 U0 G1	4,407	B3 U0 G1	3,352	B2 U0 G1	4,497	B3 U0 G1		N/A
04	7,304	B3 U0 G2	8,814	B3 U0 G2	6,704	B3 U0 G2	8,993	B3 U0 G2		N/A
06	10,831	B4 U0 G2	13,070	B4 U0 G2	9,941	B3 U0 G2	13,336	B4 U0 G2		N/A

* Initial delivered lumens at 25°C (77°F). Actual production yield may vary between -10 and +10% of initial delivered lumens
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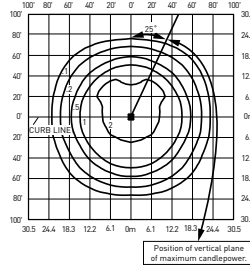
Photometry

All published luminaire photometric testing performed to IES LM-79-08 standards. To obtain an IES file specific to your project consult: <http://creelighting.com/products/outdoor/area/cree-edge-series-1>

55



RESTL Test Report #: PL09286-001A
 ARE-EDG-5S-**-06-E-UL-700-40K
 Initial Delivered Lumens: 14,123



ARE-EDG-5S-**-10-E-UL-525-40K
 Mounting Height: 25' (7.6m) A.F.G.
 Initial Delivered Lumens: 20,459
 Initial FC at grade

Type V Short Distribution										
LED Count (x10)	3000K		4000K		5000K		5700K		TRL	
	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11
350mA										
02	2,421	B1 U0 G0	2,924	B2 U0 G0	2,223	B1 U0 G0	2,982	B2 U0 G0	954	B1 U0 G0
04	4,843	B2 U0 G1	5,847	B3 U0 G1	4,445	B2 U0 G1	5,963	B3 U0 G1	1,908	B1 U0 G0
06	7,181	B3 U0 G1	8,671	B3 U0 G1	6,592	B3 U0 G1	8,842	B3 U0 G1	2,830	B2 U0 G0
08	9,575	B3 U0 G1	11,561	B3 U0 G2	8,789	B3 U0 G1	11,790	B3 U0 G2	3,773	B2 U0 G1
10	11,940	B3 U0 G2	14,416	B4 U0 G2	10,960	B3 U0 G2	14,702	B4 U0 G2	4,705	B2 U0 G1
12	14,328	B4 U0 G2	17,300	B4 U0 G2	13,152	B3 U0 G2	17,642	B4 U0 G2	5,646	B3 U0 G1
14	16,610	B4 U0 G2	20,055	B4 U0 G2	15,246	B4 U0 G2	20,453	B4 U0 G2	6,545	B3 U0 G1
16	18,983	B4 U0 G2	22,920	B4 U0 G2	17,424	B4 U0 G2	23,374	B4 U0 G2	7,480	B3 U0 G1
525mA										
02	3,440	B2 U0 G0	4,149	B2 U0 G1	3,158	B2 U0 G0	4,236	B2 U0 G1		N/A
04	6,880	B3 U0 G1	8,298	B3 U0 G1	6,315	B3 U0 G1	8,472	B3 U0 G1		N/A
06	10,202	B3 U0 G2	12,305	B3 U0 G2	9,365	B3 U0 G1	12,563	B3 U0 G2		N/A
08	13,603	B3 U0 G2	16,406	B4 U0 G2	12,486	B3 U0 G2	16,750	B4 U0 G2		N/A
10	16,963	B4 U0 G2	20,459	B4 U0 G2	15,571	B4 U0 G2	20,887	B4 U0 G2		N/A
12	20,356	B4 U0 G2	24,551	B4 U0 G2	18,685	B4 U0 G2	25,065	B4 U0 G2		N/A
14	23,598	B4 U0 G2	28,461	B5 U0 G3	21,661	B4 U0 G2	29,057	B5 U0 G3		N/A
16	26,969	B4 U0 G2	32,527	B5 U0 G3	24,755	B4 U0 G2	33,208	B5 U0 G3		N/A
700mA										
02	4,058	B2 U0 G1	4,897	B2 U0 G1	3,725	B2 U0 G1	4,996	B2 U0 G1		N/A
04	8,115	B3 U0 G1	9,793	B3 U0 G1	7,449	B3 U0 G1	9,993	B3 U0 G2		N/A
06	12,034	B3 U0 G2	14,523	B4 U0 G2	11,046	B3 U0 G2	14,818	B4 U0 G2		N/A

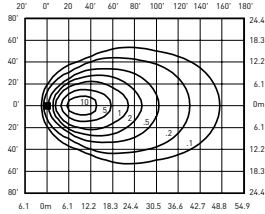
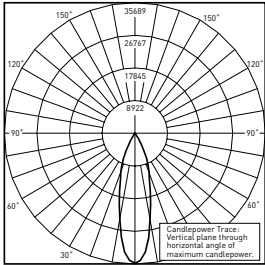
* Initial delivered lumens at 25°C (77°F). Actual production yield may vary between -10 and +10% of initial delivered lumens
 ** For more information on the IES BUG (Backlight-Uplight-Glare) Rating visit: <https://www.ies.org/wp-content/uploads/2017/03/TM-15-11BUGRatingsAddendum.pdf>

THE EDGE® LED Area/Flood Luminaire

Photometry

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25°



RESTL Test Report #: PL09832-003B
 FLD-EDG-25-**-06-E-UL-700-40K
 Initial Delivered Lumens: 14,998

FLD-EDG-25-**-10-E-UL-525-40K
 Mounting Height: 25' (7.6m) A.F.G., 60° Tilt
 Initial Delivered Lumens: 20,913
 Initial FC at grade

25° Flood Distribution					
LED Count (x10)	3000K	4000K	5000K	5700K	TRL
	Initial Delivered Lumens*	Initial Delivered Lumens*	Initial Delivered Lumens*	Initial Delivered Lumens*	Initial Delivered Lumens*
350mA					
02	2,475	2,989	2,272	3,048	975
04	4,950	5,977	4,544	6,096	1,951
06	7,341	8,863	6,738	9,039	2,892
08	9,788	11,818	8,984	12,052	3,857
10	12,205	14,737	11,203	15,029	4,809
12	14,646	17,684	13,444	18,035	5,771
14	16,979	20,501	15,585	20,907	6,690
16	19,405	23,429	17,812	23,894	7,646
525mA					
02	3,516	4,241	3,228	4,330	N/A
04	7,033	8,482	6,456	8,660	N/A
06	10,429	12,578	9,573	12,842	N/A
08	13,905	16,771	12,764	17,122	N/A
10	17,340	20,913	15,917	21,352	N/A
12	20,808	25,096	19,100	25,622	N/A
14	24,122	29,093	22,142	29,703	N/A
16	27,568	33,250	25,305	33,946	N/A
700mA					
02	4,148	5,006	3,807	5,107	N/A
04	8,296	10,011	7,615	10,215	N/A
06	12,301	14,845	11,292	15,147	N/A

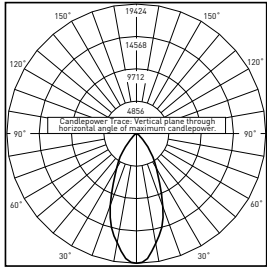
* Initial delivered lumens at 25°C (77°F). Actual production yield may vary between -10 and +10% of initial delivered lumens

THE EDGE® LED Area/Flood Luminaire

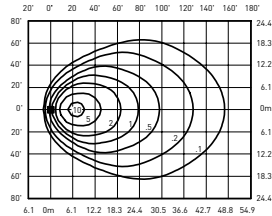
Photometry

All published luminaire photometric testing performed to IES LM-79-08 standards. To obtain an IES file specific to your project consult: <http://creelighting.com/products/outdoor/area/cree-edge-series-1>

40°



RESTL Test Report #: PL09832-002B
 FLD-EDG-40-**-06-E-UL-700-40K
 Initial Delivered Lumens: 13,808



FLD-EDG-40-**-10-E-UL-525-40K
 Mounting Height: 25' (7.6m) A.F.G., 60° Tilt
 Initial Delivered Lumens: 20,459
 Initial FC at grade

40° Flood Distribution					
LED Count (x10)	3000K	4000K	5000K	5700K	TRL
	Initial Delivered Lumens*	Initial Delivered Lumens*	Initial Delivered Lumens*	Initial Delivered Lumens*	Initial Delivered Lumens*
350mA					
02	2,421	2,924	2,223	2,982	954
04	4,843	5,847	4,445	5,963	1,908
06	7,181	8,671	6,592	8,842	2,830
08	9,575	11,561	8,789	11,790	3,773
10	11,940	14,416	10,960	14,702	4,705
12	14,328	17,300	13,152	17,642	5,646
14	16,610	20,055	15,246	20,453	6,545
16	18,983	22,920	17,424	23,374	7,480
525mA					
02	3,440	4,149	3,158	4,236	N/A
04	6,880	8,298	6,315	8,472	N/A
06	10,202	12,305	9,365	12,563	N/A
08	13,603	16,406	12,486	16,750	N/A
10	16,963	20,459	15,571	20,887	N/A
12	20,356	24,551	18,685	25,065	N/A
14	23,598	28,461	21,661	29,057	N/A
16	26,969	32,527	24,755	33,208	N/A
700mA					
02	4,058	4,897	3,725	4,996	N/A
04	8,115	9,793	7,449	9,993	N/A
06	12,034	14,523	11,046	14,818	N/A

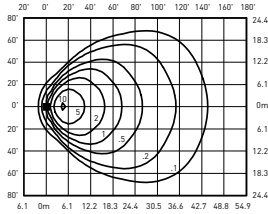
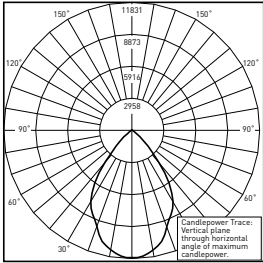
* Initial delivered lumens at 25°C (77°F). Actual production yield may vary between -10 and +10% of initial delivered lumens

THE EDGE® LED Area/Flood Luminaire

Photometry

All published luminaire photometric testing performed to IES LM-79-08 standards. To obtain an IES file specific to your project consult: <http://creelighting.com/products/outdoor/area/cree-edge-series-1>

70°



RECTL Test Report #: PL09832-001B
 FLD-EDG-70-**-06-E-UL-700-40K
 Initial Delivered Lumens: 13,888

FLD-EDG-70-**-10-E-UL-525-40K
 Mounting Height: 25' (7.6m) A.F.G., 60° Tilt
 Initial Delivered Lumens: 18,640
 Initial FC at grade

70° Flood Distribution					
LED Count (x10)	3000K Initial Delivered Lumens*	4000K Initial Delivered Lumens*	5000K Initial Delivered Lumens*	5700K Initial Delivered Lumens*	TRL Initial Delivered Lumens*
350mA					
02	2,206	2,664	2,025	2,716	869
04	4,412	5,327	4,050	5,433	1,739
06	6,543	7,900	6,006	8,056	2,578
08	8,724	10,533	8,008	10,742	3,437
10	10,879	13,135	9,986	13,395	4,286
12	13,054	15,762	11,983	16,074	5,144
14	15,133	18,272	13,891	18,635	5,963
16	17,295	20,883	15,876	21,297	6,815
525mA					
02	3,134	3,780	2,877	3,859	N/A
04	6,269	7,560	5,754	7,719	N/A
06	9,295	11,211	8,532	11,446	N/A
08	12,394	14,948	11,377	15,261	N/A
10	15,455	18,640	14,187	19,031	N/A
12	18,546	22,368	17,024	22,837	N/A
14	21,500	25,931	19,735	26,474	N/A
16	24,572	29,636	22,555	30,256	N/A
700mA					
02	3,697	4,461	3,393	4,552	N/A
04	7,394	8,923	6,787	9,104	N/A
06	10,964	13,232	10,064	13,501	N/A

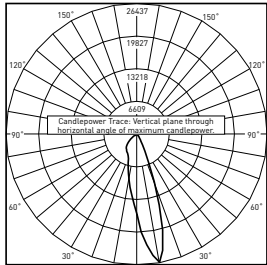
* Initial delivered lumens at 25°C (77°F). Actual production yield may vary between -10 and +10% of initial delivered lumens

THE EDGE® LED Area/Flood Luminaire

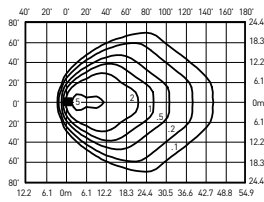
Photometry

All published luminaire photometric testing performed to IES LM-79-08 standards. To obtain an IES file specific to your project consult: <http://creelighting.com/products/outdoor/area/cree-edge-series-1>

SN



RESTL Test Report #: PL10142-001B
 FLD-EDG-SN-**-06-E-UL-700-40K
 Initial Delivered Lumens: 13,701



FLD-EDG-SN-**-10-E-UL-525-40K
 Mounting Height: 25' (7.6m) A.F.G., 60° Tilt
 Initial Delivered Lumens: 18,868
 Initial FC at grade

SN Flood Distribution					
LED Count (x10)	3000K	4000K	5000K	5700K	TRL
	Initial Delivered Lumens*	Initial Delivered Lumens*	Initial Delivered Lumens*	Initial Delivered Lumens*	Initial Delivered Lumens*
350mA					
02	2,233	2,696	2,050	2,750	880
04	4,466	5,392	4,099	5,499	1,760
06	6,623	7,996	6,079	8,155	2,609
08	8,830	10,662	8,105	10,873	3,479
10	11,011	13,295	10,107	13,559	4,339
12	13,213	15,954	12,129	16,270	5,206
14	15,318	18,495	14,061	18,862	6,036
16	17,506	21,137	16,069	21,556	6,898
525mA					
02	3,172	3,826	2,912	3,906	N/A
04	6,345	7,653	5,824	7,813	N/A
06	9,409	11,348	8,636	11,585	N/A
08	12,545	15,130	11,515	15,447	N/A
10	15,644	18,868	14,360	19,263	N/A
12	18,773	22,641	17,231	23,115	N/A
14	21,763	26,247	19,976	26,797	N/A
16	24,871	29,997	22,830	30,625	N/A
700mA					
02	3,742	4,516	3,435	4,608	N/A
04	7,484	9,032	6,870	9,215	N/A
06	11,098	13,393	10,187	13,665	N/A

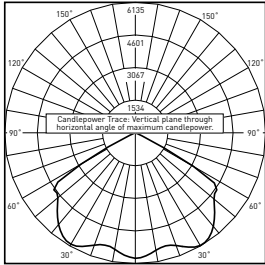
* Initial delivered lumens at 25°C (77°F). Actual production yield may vary between -10 and +10% of initial delivered lumens

THE EDGE® LED Area/Flood Luminaire

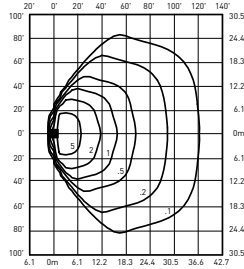
Photometry

All published luminaire photometric testing performed to IES LM-79-08 standards. To obtain an IES file specific to your project consult: <http://creelighting.com/products/outdoor/area/cree-edge-series-1>

N6



RESTL Test Report #: PL09832-004B
 FLD-EDG-N6-**-D6-E-UL-700-40K
 Initial Delivered Lumens: 15,251









FLD-EDG-N6-**-10-E-UL-525-40K
 Mounting Height: 25' (7.6m) A.F.G., 60° Tilt
 Initial Delivered Lumens: 20,913
 Initial FC at grade

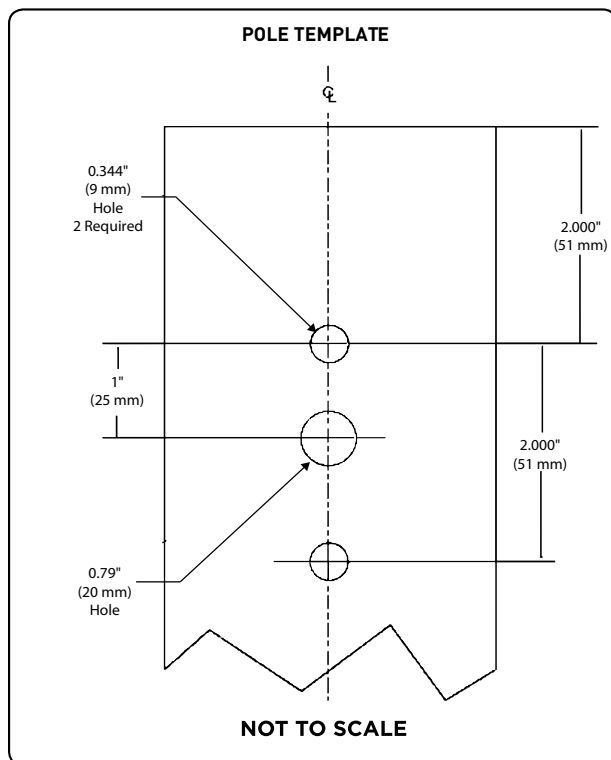
NEMA® 6 Flood Distribution					
LED Count (x10)	3000K	4000K	5000K	5700K	TRL
	Initial Delivered Lumens*	Initial Delivered Lumens*	Initial Delivered Lumens*	Initial Delivered Lumens*	Initial Delivered Lumens*
350mA					
02	2,475	2,989	2,272	3,048	975
04	4,950	5,977	4,544	6,096	1,951
06	7,341	8,863	6,738	9,039	2,892
08	9,788	11,818	8,984	12,052	3,857
10	12,205	14,737	11,203	15,029	4,809
12	14,646	17,684	13,444	18,035	5,771
14	16,979	20,501	15,585	20,907	6,690
16	19,405	23,429	17,812	23,894	7,646
525mA					
02	3,516	4,241	3,228	4,330	N/A
04	7,033	8,482	6,456	8,660	N/A
06	10,429	12,578	9,573	12,842	N/A
08	13,905	16,771	12,764	17,122	N/A
10	17,340	20,913	15,917	21,352	N/A
12	20,808	25,096	19,100	25,622	N/A
14	24,122	29,093	22,142	29,703	N/A
16	27,568	33,250	25,305	33,946	N/A
700mA					
02	4,148	5,006	3,807	5,107	N/A
04	8,296	10,011	7,615	10,215	N/A
06	12,301	14,845	11,292	15,147	N/A

* Initial delivered lumens at 25°C (77°F). Actual production yield may vary between -10 and +10% of initial delivered lumens










Luminaire EPA

Fixed Arm Mount – ARE-EDG-DA						
LED Count (x10)	Single	2 @ 90°	2 @ 180°	3 @ 90°	3 @ 120°	4 @ 90°
						
02	0.60	0.87	1.20	1.47	1.47	1.75
04	0.60	0.87	1.20	1.47	1.47	1.75
06	0.60	0.92	1.20	1.51	1.51	1.83
08	0.60	0.96 N/A with 3" poles	1.20	1.55 N/A with 3" poles	1.55	1.91 N/A with 3" poles
10	0.60	1.00 N/A with 3" poles	1.20	1.60 N/A with 3" poles	1.60	2.00 N/A with 3" poles
12	0.60	1.04 N/A with 3" poles	1.20	1.64 N/A with 3" poles	1.64	2.08 N/A with 3" poles
14	0.60	1.08 N/A with 3" or 4" poles	1.20	1.68 N/A with 3" or 4" poles	1.68	2.16 N/A with 3" or 4" poles
16	0.60	1.12 N/A with 3" or 4" poles	1.20	1.72 N/A with 3" or 4" poles	1.72	2.24 N/A with 3" or 4" poles
Fixed Arm Mount – ARE-EDG-DL						
02	0.75	1.02	1.50	1.77	1.77	1.91
04	0.75	1.02	1.50	1.77	1.77	1.91
06	0.75	1.07	1.50	1.82	1.82	1.98
08	0.75	1.11	1.50	1.86	1.86	2.04
10	0.75	1.15	1.50	1.90	1.90	2.10
12	0.75	1.19	1.50	1.94	1.94	2.16
14	0.75	1.23	1.50	1.98	1.98	2.22
16	0.75	1.27	1.50	2.02	2.02	2.28

Fixture Mounting Drill Pattern for DA and DL Mounts












Luminaire EPA

Adjustable Arm Mount – ARE-EDG-AA/FLD-EDG-AA/SA									
LED Count (x10)	Single	2 @ 90°	2 @ 180°	In-Line 2 @ 180°	3 @ 90°	3 @ 120°	In-Line 3 @ 180°	4 @ 90°	In-Line 4 @ 180°
Tenon Configuration If used with Cree Lighting tenons, please add tenon EPA with Luminaire EPA									
									
	Vertical: PB-1A*; PT-1; PW-1A3** Horizontal: By others	Vertical: PB-2A*; PB-2R2.375; PW-2A3** Horizontal: PD-2A4(90); PT-2(90)	Vertical: PB-2A*; PB-2R2.375; PW-2A3** Horizontal: PD-2A4(180); PT-2(180)	Vertical: PB-2A*; PB-2R2.375	Vertical: PB-3A*; PB-3R2.375 Horizontal: PD-3A4(90); PT-3(90)	Vertical: PB-3A*; PB-3R2.375 Horizontal: PT-3(120)	Vertical: PB-3A*; PB-3R2.375	Vertical: PB-4A*(90); PB-4R2.375 Horizontal: PD-4A4(90) PT-4(90)	Vertical: PB-4A*(180); PB-4R2.375
0° Tilt									
02	0.66	0.98	1.32	1.32	1.77	1.64	1.98	1.91	2.64
04	0.66	0.98	1.32	1.32	1.64	1.64	1.98	1.97	2.64
06	0.66	1.02	1.32	1.32	1.68	1.68	1.98	2.05	2.64
08	0.66	1.07	1.32	1.32	1.80	1.72	1.98	2.29	2.64
10	0.66	1.11	1.32	1.32	1.76	1.76	1.98	2.21	2.64
12	0.66	1.15	1.32	1.32	1.80	1.80	1.98	2.29	2.64
14	0.66	1.19	1.32	1.32	1.84	1.84	1.98	2.38	2.64
16	0.66	1.23	1.32	N/A	1.89	1.89	N/A	2.46	N/A
30° Tilt									
02	0.71	1.37	1.42	1.42	2.08	2.08	2.13	2.73	2.84
04	0.71	1.37	1.42	1.42	2.08	2.08	2.13	2.73	2.84
06	0.82	1.48	1.64	1.64	2.30	2.30	2.46	2.95	3.28
08	0.93	1.59	1.86	1.86	2.52	2.52	2.79	3.17	3.72
10	1.04	1.70	2.08	2.08	2.74	2.74	3.12	3.40	4.16
12	1.15	1.81	2.30	2.30	2.96	2.96	3.45	3.62	4.60
14	1.26	1.92	2.52	2.52	3.18	3.18	3.78	3.84	5.04
16	1.37	2.03	2.74	N/A	3.40	3.40	N/A	4.06	N/A
45° Tilt									
02	0.89	1.55	1.78	1.78	2.45	2.45	2.67	3.10	3.56
04	0.89	1.55	1.78	1.78	2.45	2.45	2.67	3.10	3.56
06	1.03	1.69	2.06	2.06	2.72	2.72	3.09	3.38	4.12
08	1.17	1.83	2.34	2.34	3.00	3.00	3.51	3.66	4.68
10	1.31	1.97	2.62	2.62	3.28	3.28	3.93	3.94	5.24
12	1.45	2.11	2.90	2.90	3.56	3.56	4.35	4.21	5.80
14	1.59	2.25	3.18	3.18	3.83	3.83	4.77	4.49	6.36
16	1.73	2.38	3.46	N/A	4.11	4.11	N/A	4.77	N/A
60° Tilt									
02	1.20	1.86	2.40	2.40	3.06	3.06	3.60	3.72	4.80
04	1.20	1.86	2.40	2.40	3.06	3.06	3.60	3.72	4.80
06	1.39	2.05	2.78	2.78	3.44	3.44	4.17	4.10	5.56
08	1.58	2.23	3.16	3.16	3.81	3.81	4.74	4.47	6.32
10	1.77	2.42	3.54	3.54	4.19	4.19	5.31	4.84	7.08
12	1.95	2.61	3.90	3.90	4.56	4.56	5.85	5.22	7.80
14	2.14	2.80	4.28	4.28	4.94	4.94	6.42	5.59	8.56
16	2.33	2.98	4.66	N/A	5.31	5.31	N/A	5.97	N/A

* Specify pole size: 3 [3"], 4 [4"], 5 [5"], or 6 [6"] for single, double or triple luminaire orientation or 4 [4"], 5 [5"], or 6 [6"] for quad luminaire orientation
 ** These EPA values must be multiplied by the following ratio: Fixture Mounting Height/Total Pole Height. Specify pole size: 3 [3"], 4 [4"], 5 [5"], or 6 [6"]

THE EDGE® LED Area/Flood Luminaire

Luminaire EPA

Adjustable Arm Mount – ARE-EDG-AA/FLD-EDG-AA/SA									
LED Count (x10)	Single	2 @ 90°	2 @ 180°	In-Line 2 @ 180°	3 @ 90°	3 @ 120°	In-Line 3 @ 180°	4 @ 90°	In-Line 4 @ 180°
Tenon Configuration If used with Cree Lighting tenons, please add tenon EPA with Luminaire EPA									
									
	Vertical: PB-1A*; PT-1; PW-1A3** Horizontal: By others	Vertical: PB-2A*; PB-2R2.375; PW-2A3** Horizontal: PD-2A4(90); PT-2(90)	Vertical: PB-2A*; PB-2R2.375; PW-2A3** Horizontal: PD-2A4(180); PT-2(180)	Vertical: PB-2A*; PB-2R2.375	Vertical: PB-3A*; PB-3R2.375 Horizontal: PD-3A4(90); PT-3(90)	Vertical: PB-3A*; PB-3R2.375 Horizontal: PT-3(120)	Vertical: PB-3A*; PB-3R2.375	Vertical: PB-4A*(90); PB-4R2.375 Horizontal: PD-4A4(90) PT-4(90)	Vertical: PB-4A*(180); PB-4R2.375
90° Tilt									
02	1.85	2.51	3.70	3.64	4.36	4.36	5.55	5.02	7.40
04	1.85	2.51	3.70	3.64	4.36	4.36	5.55	5.02	7.40
06	2.14	2.80	4.28	4.22	4.94	4.94	6.42	5.59	8.56
08	2.43	3.09	4.86	4.78	5.51	5.51	7.29	6.17 N/A with horizontal tenon	9.72
10	2.71	3.37	5.42	5.34	6.08	6.08	8.13	6.74 N/A with horizontal tenon	10.84
12	3.00	3.66	6.00	5.90	6.66	6.66	9.00	7.31 N/A with horizontal tenon	12.00
14	3.29	3.95 N/A with PW-2A3**	6.58	6.48	7.23	7.23	9.87	7.89 N/A with horizontal tenon	13.16
16	3.57	4.23 N/A with PW-2A3**	7.14	N/A	7.81	7.81	N/A	8.46 N/A with horizontal tenon	N/A

* Specify pole size: 3 [3"], 4 [4"], 5 [5"], or 6 [6"] for single, double or triple luminaire orientation or 4 [4"], 5 [5"], or 6 [6"] for quad luminaire orientation
 ** These EPA values must be multiplied by the following ratio: Fixture Mounting Height/Total Pole Height. Specify pole size: 3 [3"], 4 [4"], 5 [5"], or 6 [6"]

Tenon EPA

Part Number	EPA
PB-1A*	None
PB-2A*	0.82
PB-3A*	1.52
PB-4A*(180)	2.22
PB-4A*(90)	1.11
PB-2R2.375	0.92
PB-3R2.375	1.62
PB-4R2.375	2.32
PD Series Tenons	0.09
PT Series Tenons	0.10
PW-1A3**	0.47
PW-2A3**	0.94
WM-2	0.08
WM-4	0.25
WM-DM	None

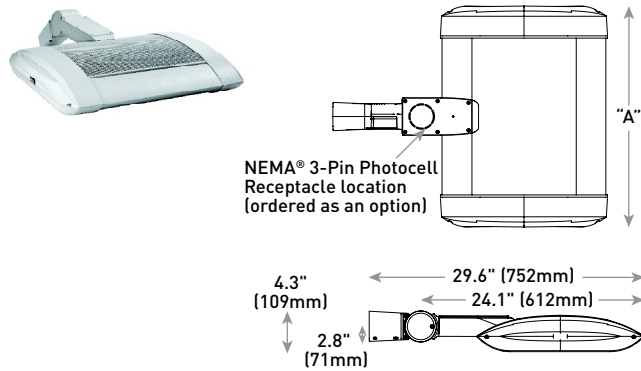
* Specify pole size: 3 [3"], 4 [4"], 5 [5"], or 6 [6"] for single, double or triple luminaire orientation or 4 [4"], 5 [5"], or 6 [6"] for quad luminaire orientation
 ** These EPA values must be multiplied by the following ratio: Fixture Mounting Height/Total Pole Height. Specify pole size: 3 [3"], 4 [4"], 5 [5"], or 6 [6"]

Tenons and Brackets [†] (must specify color)	
<p>Square Internal Mount Vertical Tenons (Steel) - Mounts to 3-6" (76-152mm) square aluminum or steel poles PB-1A* – Single PB-4A*(90) – 90° Quad PB-2A* – 180° Twin PB-4A*(180) – 180° Quad PB-3A* – 180° Triple</p> <p>Square Internal Mount Horizontal Tenons (Aluminum) - Mounts to 4" (102mm) square aluminum or steel poles PD-2A4(90) – 90° Twin PD-3A4(90) – 90° Triple PD-2A4(180) – 180° Twin PD-4A4(90) – 90° Quad</p> <p>Wall Mount Brackets - Mounts to wall or roof WM-2 – Horizontal for AA and SA mounts WM-4 – L-Shape for AA and SA mounts WM-DM – Plate for DA and DL mounts</p>	<p>Round External Mount Vertical Tenons (Steel) - Mounts to 2.375" (60mm) O.D. round aluminum or steel poles or tenons PB-2R2.375 – Twin PB-4R2.375 – Quad PB-3R2.375 – Triple</p> <p>Round External Mount Horizontal Tenons (Aluminum) - Mounts to 2.375" (60mm) O.D. round aluminum or steel poles or tenons - Mounts to square pole with PB-1A* tenon PT-1 – Single (Vertical) PT-3(90) – 90° Triple PT-2(90) – 90° Twin PT-3(120) – 120° Triple PT-2(180) – 180° Twin PT-4(90) – 90° Quad</p> <p>Mid-Pole Bracket - Mounts to square pole PW-1A3** – Single PW-2A3** – Double</p> <p>Ground Mount Post - For ground mounted flood luminaires PGM-1 - For use with AA and SA mounts</p>

[†] Refer to the [Bracket and Tenons spec sheet](#) for more details

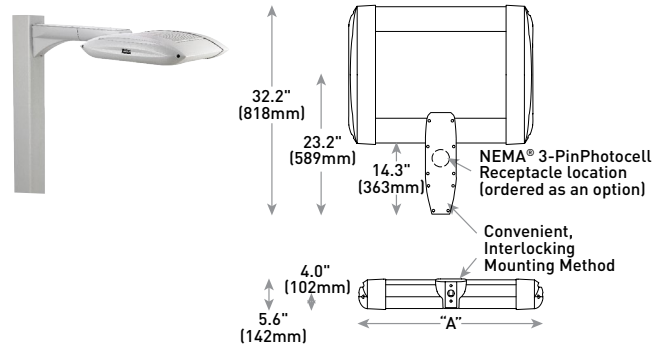
THE EDGE® LED Area/Flood Luminaire

AA Mount



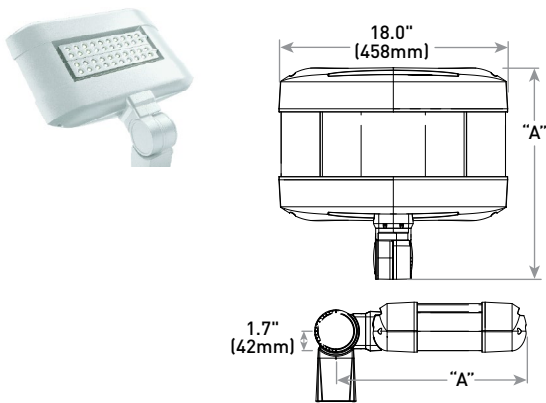
LED Count (x10)	Dim. "A"	Weight
02	12.1" (306mm)	21 lbs. (10kg)
04	12.1" (306mm)	24 lbs. (11kg)
06	14.1" (357mm)	27 lbs. (12kg)
08	16.1" (408mm)	28 lbs. (13kg)
10	18.1" (459mm)	32 lbs. (15kg)
12	20.1" (510mm)	34 lbs. (15kg)
14	22.1" (560mm)	37 lbs. (17kg)
16	24.1" (611mm)	41 lbs. (19kg)

DL Mount



LED Count (x10)	Dim. "A"	Weight
02	12.1" (306mm)	23 lbs. (10kg)
04	12.1" (306mm)	26 lbs. (12kg)
06	14.1" (357mm)	29 lbs. (13kg)
08	16.1" (408mm)	30 lbs. (14kg)
10	18.1" (459mm)	34 lbs. (15kg)
12	20.1" (510mm)	36 lbs. (16kg)
14	22.1" (560mm)	42 lbs. (19kg)
16	24.1" (611mm)	44 lbs. (20kg)

SA Mount



LED Count (x10)	Dim. "A"	Weight
02	16.0" (406mm)	25 lbs. (11kg)
04	18.0" (457mm)	26 lbs. (12kg)
06	20.0" (508mm)	28 lbs. (13kg)

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OSQ Series

OSQ™ LED Area/Flood Luminaire featuring Patented NanoComfort™ Technology – Version C

Rev. Date: V3 04/17/2023

GC TO SEE NOTES BELOW

Product Description

The OSQ™ Area/Flood luminaire blends extreme optical control, advanced thermal management and modern, clean aesthetics. Built to last, the housing is rugged cast aluminum with an integral, weathertight LED driver compartment. Versatile mounting configurations offer simple installation. Its slim, low-profile design minimizes wind load requirements and blends seamlessly into the site providing even, quality illumination. Medium is suitable upgrade for HID applications up to 400 Watts. Large is suitable upgrade for HID applications up to 1000 Watts. Extra Large is suitable upgrade for HID applications up to multiple 1000 Watts.

Applications: Parking lots, walkways, campuses, car dealerships, office complexes, high-mast and internal roadways

Performance Summary

Utilizes Patented NanoComfort™ Technology

Utilizes Cree TrueWhite® Technology on 5000K Luminaires

Assembled in the USA by Cree Lighting from US and imported parts

Initial Delivered Lumens: 4,000 - 75,000

Efficacy: Up to 171 LPW

CRI: Minimum 70 CRI (3000K, 4000K & 5700K); 90 CRI (5000K)

CCT: 3000K, 4000K, 5000K, 5700K

Limited Warranty*: 10 years for luminaire; 10 years for Colorfast DeltaGuard® finish; 5 years for BML sensor; up to 5 years for Synapse® accessories; 1 year for luminaire accessories

*See <http://creelighting.com/warranty> for warranty terms. For Synapse accessories, consult Synapse spec sheets for details on warranty terms.

Ordering Information

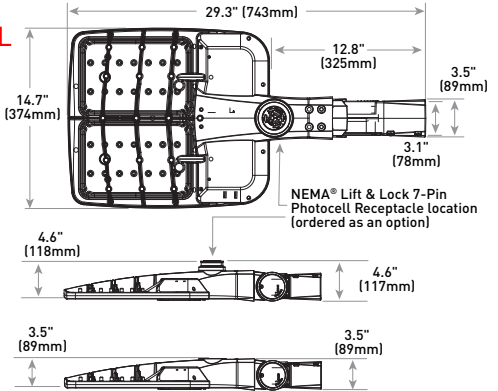
Fully assembled luminaire is composed of two components that must be ordered separately:

Example: **Mount:** OSQ-ML-C-AA-BK + **Luminaire:** OSQM-C-4L-30K7-2M-UL-NM-BK

Mount (Luminaire must be ordered separately)*			
OSQ-			
Medium/Large Mounts	Extra Large Mounts	Color Options:	SV Silver BZ Bronze WH White
OSQ-ML-C-AA Adjustable Arm	OSQ-X-C-AA Adjustable Arm		
OSQ-ML-C-DA Direct Arm	OSQ-X-C-DA Direct Arm		
OSQ-ML-C-TM Trunnion Mount			

* Reference fixture mounting drill pattern, EPA, and pole configuration suitability data beginning on page 14.

OSQM - AA Mount



Luminaire	Weight
OSQM	19.3 lbs. (8.8kg)

Note: For OSQL, OSQX and additional mounts, refer to drawings beginning on page 26.

GC TO REFERENCE PLANS FOR COLOR DESIGNATION

Luminaire (Mount must be ordered separately)														
OSQ	C													
Family	Size	Series	Lumen Package ¹	CCT/ CRI	Optic	Voltage	Mount	Color Options	Controls*	Options				
OSQ	M Medium L Large X Extra Large	C	Medium 4L 4,000 Lumens 40K7 4000K, 70 CRI 6L 6,000 Lumens 50K9 5000K, 90 CRI 9L 9,000 Lumens 57K7 5700K, 70 CRI 11L 11,000 Lumens 16L 16,000 Lumens	30K7 3000K, 70 CRI 40K7 4000K, 70 CRI 50K9 5000K, 90 CRI 57K7 5700K, 70 CRI	Asymmetric 2M Type II Mid 2B Type II Mid w/ Factory-Installed Backlight Shield 3M Type III Mid 3B Type III Mid w/ Factory-Installed Backlight Shield 4M Type IV Mid	4B Type IV Mid w/ Factory-Installed Backlight Shield AF Automotive FrontlineOptic™ AB Automotive-FrontlineOptic™ w/Factory-Installed Backlight Shield	UL Universal 120-277V UH Universal 347-480V - Not available with 4L, 40L or 75L lumen packages UE Universal 277-480V - Available only with 40L and 75L lumen packages	NM No Mount - Must specify mount from table above - Mount ships separately	BK Black BZ Bronze SV Silver WH White	BML Bluetooth® Technology Enabled Multi-Level Sensor - Utilizes a multifunction sensor - Refer to BML spec sheet for details - 20-40° sensor lens installed on luminaire; 8-20° sensor lens and aisle shroud included - Intended for downlight applications at 0° tilt - Not available with Q or X options or Synapse TL7-B2 or TL7-HVG accessories Q9/Q8/Q7/Q6/Q5/Q4/Q3/Q2/Q1 Field Adjustable Output - Must select Q9, Q8, Q7, Q6, Q5, Q4, Q3, Q2, or Q1 - Offers full range adjustability - Refer to pages 15-25 for power and lumen values - Not available with BML or X options or Synapse TL7-B2 or TL7-HVG accessories X8/X7/X6/X5/X4/X3/X2/X1 Locked Lumen Output - Must select X8, X7, X6, X5, X4, X3, X2, or X1 - Not available with BML or Q options - X1 option not available with the following lumen package/voltage offerings: 9L/UL, 16L/UL, 16L/UH, 30L/UL, 30L/UH, 65L/UL, 65L/UH - X2 option not available 9L/UL lumen package/voltage - Lumen output is permanently locked to the setting selected - Refer to pages 15-25 for power and lumen values	20KV 20kV/10KA Surge Suppression - Replaces standard 10kV/5kA surge protection F Fuse - Compatible with 120V, 277V or 347V (phase to neutral) - Consult factory if fusing is required for 208V, 240V or 480V (phase to phase) N Utility Label and NEMA® Lift & Lock 7-Pin Photocell Receptacle - External utility label per ANSI C136.15-2020 - 7-pin receptacle per ANSI C136.41 - Available only with OSQM & OSQL luminaires - Intended for downlight applications with maximum 45° tilt - Factory connected 0-10V dim leads - Requires photocell or shorting cap by others R NEMA® Lift & Lock 7-Pin Photocell Receptacle - 7-pin receptacle per ANSI C136.41 - Intended for downlight applications with maximum 45° tilt - Factory connected 0-10V dim leads - Requires photocell or shorting cap by others - Refer to page 2 for compatible Synapse control offerings RL Rotate Left - LED and optic are rotated to the left - Refer to RR/RL configuration diagram on page 26 for optic directionality - Not for use with symmetric optics RR Rotate Right - LED and optic are rotated to the right - Refer to RR/RL configuration diagram on page 26 for optic directionality - Not for use with symmetric optics			
												Large 22L 22,000 Lumens 30L 30,000 Lumens 40L 40,000 Lumens Extra Large 50L 50,000 Lumens 65L 65,000 Lumens 75L 75,000 Lumens	Symmetric 5M Type V Mid 5N Type V Narrow	33 NEMA® 3x3 44 NEMA® 4x4 55 NEMA® 5x5 66 NEMA® 6x6 75 NEMA® 7x5

GC TO VERIFY AND SPECIFY IF NOT UL

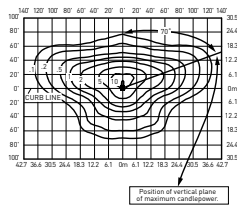
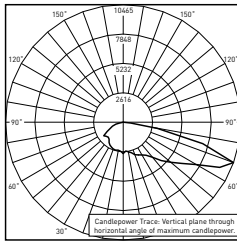
¹ Lumen Package codes identify approximate light output only. Actual lumen output levels vary by CCT and optic selection. Refer to Initial Delivered Lumen tables for specific lumen values

* Luminaire comes standard with 0-10V dimming

Photometry

All published luminaire photometric testing performed to IES LM-79 standards. To obtain an IES file specific to your project consult: <https://creelighting.com/products/outdoor/area/osq-series>

2M



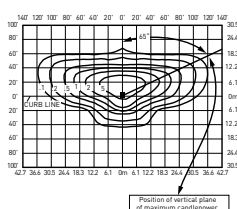
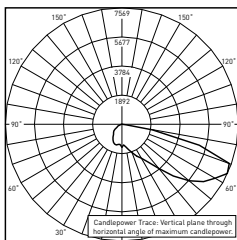
PRELIMINARY RESTL Test Report
OSQ Luminaire w/2M Optic
Initial Delivered Lumens: 15,560

OSQL-C-40L-40K7-2M-UL
Mounting Height: 25' (7.6m) A.F.G.
Initial Delivered Lumens: 38,000
Initial FC at grade

Type II Mid Distribution								
Lumen Package	3000K (70 CRI)		4000K (70 CRI)		5000K (90 CRI)		5700K (70 CRI)	
	Initial Delivered Lumens*	BUG Ratings** Per TM-15-20	Initial Delivered Lumens*	BUG Ratings** Per TM-15-20	Initial Delivered Lumens*	BUG Ratings** Per TM-15-20	Initial Delivered Lumens*	BUG Ratings** Per TM-15-20
4L	3,650	B1 U1 G1	3,800	B1 U1 G1	2,590	B1 U1 G1	3,800	B1 U1 G1
6L	5,475	B1 U1 G1	5,700	B1 U1 G1	3,880	B1 U1 G1	5,700	B1 U1 G1
9L	8,225	B2 U1 G2	8,550	B2 U1 G2	5,825	B1 U1 G1	8,550	B2 U1 G2
11L	10,025	B2 U1 G2	10,450	B2 U1 G2	7,100	B2 U1 G2	10,450	B2 U1 G2
16L	14,650	B3 U1 G3	15,200	B3 U1 G3	10,325	B2 U1 G2	15,200	B3 U1 G3
22L	20,100	B3 U1 G3	20,900	B3 U1 G3	14,200	B3 U1 G3	20,900	B3 U1 G3
30L	27,400	B3 U1 G3	28,500	B3 U1 G3	19,400	B3 U1 G3	28,500	B3 U1 G3
40L	36,500	B4 U1 G4	38,000	B4 U1 G4	25,900	B3 U1 G3	38,000	B4 U1 G4
50L	45,600	B4 U1 G5	47,500	B4 U1 G5	32,300	B3 U1 G4	47,500	B4 U1 G5
65L	59,300	B4 U1 G5	61,800	B4 U1 G5	42,000	B4 U1 G4	61,800	B4 U1 G5
75L	68,400	B5 U1 G5	71,300	B5 U1 G5	48,500	B4 U1 G5	71,300	B5 U1 G5

* Initial delivered lumens at 25°C (77°F). Actual production yield may vary between -10 and +10% of initial delivered lumens
** For more information on the IES BUG (Backlight-Uplight-Glare) Rating visit: <https://www.ies.org/wp-content/uploads/2017/03/TM-15-11BUGRatingsAddendum.pdf>. Valid with no tilt

2B



PRELIMINARY RESTL Test Report
OSQ Luminaire w/2B Optic
Initial Delivered Lumens: 10,422

OSQL-C-40L-40K7-2B-UL
Mounting Height: 25' (7.6m) A.F.G.
Initial Delivered Lumens: 26,200
Initial FC at grade

Type II Mid w/BLS Distribution								
Lumen Package	3000K (70 CRI)		4000K (70 CRI)		5000K (90 CRI)		5700K (70 CRI)	
	Initial Delivered Lumens*	BUG Ratings** Per TM-15-20	Initial Delivered Lumens*	BUG Ratings** Per TM-15-20	Initial Delivered Lumens*	BUG Ratings** Per TM-15-20	Initial Delivered Lumens*	BUG Ratings** Per TM-15-20
4L	2,510	B1 U1 G1	2,620	B1 U1 G1	1,780	B0 U1 G1	2,620	B1 U1 G1
6L	3,760	B1 U1 G1	3,920	B1 U1 G1	2,670	B1 U1 G1	3,920	B1 U1 G1
9L	5,650	B1 U1 G1	5,875	B1 U1 G1	4,000	B1 U1 G1	5,875	B1 U1 G1
11L	6,900	B1 U1 G2	7,200	B1 U1 G2	4,890	B1 U1 G1	7,200	B1 U1 G2
16L	10,075	B2 U1 G2	10,450	B2 U1 G2	7,100	B1 U1 G2	10,450	B2 U1 G2
22L	13,800	B2 U1 G2	14,375	B2 U1 G2	9,775	B1 U1 G2	14,375	B2 U1 G2
30L	18,800	B2 U1 G3	19,600	B2 U1 G3	13,350	B2 U1 G2	19,600	B2 U1 G3
40L	25,100	B3 U1 G3	26,200	B3 U1 G3	17,800	B2 U1 G3	26,200	B3 U1 G3
50L	31,400	B3 U1 G4	32,700	B3 U1 G4	22,200	B3 U1 G3	32,700	B3 U1 G4
65L	40,800	B3 U1 G4	42,500	B3 U1 G4	28,900	B3 U1 G3	42,500	B3 U1 G4
75L	47,100	B3 U1 G4	49,000	B3 U1 G5	33,300	B3 U1 G4	49,000	B3 U1 G5

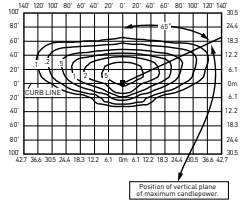
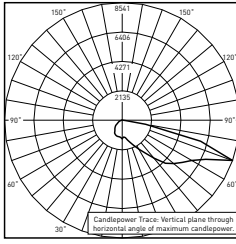
* Initial delivered lumens at 25°C (77°F). Actual production yield may vary between -10 and +10% of initial delivered lumens
** For more information on the IES BUG (Backlight-Uplight-Glare) Rating visit: <https://www.ies.org/wp-content/uploads/2017/03/TM-15-11BUGRatingsAddendum.pdf>. Valid with no tilt

Photometry

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<https://creelighting.com/products/outdoor/area/osq-series>

2M W/OSQ-*C-BLSF



PRELIMINARY RESTL Test Report
OSQ Luminaire w/2M Optic w/OSQ-M-C-BLSF
Initial Delivered Lumens: 9,579

OSQL-C-40L-40K7-2M-UL w/OSQ-L-C-BLSF
Mounting Height: 25' (7.6m) A.F.G.
Initial Delivered Lumens: 26,200
Initial FC at grade

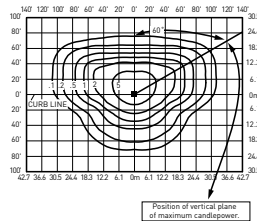
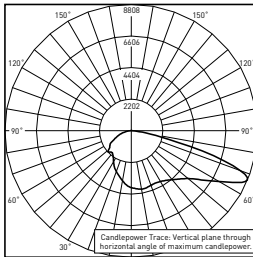
Type II Mid Distribution w/OSQ-*C-BLSF

Lumen Package	3000K (70 CRI)		4000K (70 CRI)		5000K (90 CRI)		5700K (70 CRI)	
	Initial Delivered Lumens*	BUG Ratings** Per TM-15-20	Initial Delivered Lumens*	BUG Ratings** Per TM-15-20	Initial Delivered Lumens*	BUG Ratings** Per TM-15-20	Initial Delivered Lumens*	BUG Ratings** Per TM-15-20
4L	2,510	B1 U1 G1	2,620	B1 U1 G1	1,780	B0 U1 G1	2,620	B1 U1 G1
6L	3,760	B1 U1 G1	3,920	B1 U1 G1	2,670	B1 U1 G1	3,920	B1 U1 G1
9L	5,650	B1 U1 G1	5,875	B1 U1 G1	4,000	B1 U1 G1	5,875	B1 U1 G1
11L	6,900	B1 U1 G2	7,200	B1 U1 G2	4,890	B1 U1 G2	7,200	B1 U1 G2
16L	10,075	B1 U1 G2	10,450	B1 U1 G2	7,100	B1 U1 G2	10,450	B1 U1 G2
22L	13,800	B2 U1 G2	14,375	B2 U1 G2	9,775	B1 U1 G2	14,375	B2 U1 G2
30L	18,800	B2 U1 G3	19,600	B2 U1 G3	13,350	B2 U1 G2	19,600	B2 U1 G3
40L	25,100	B3 U1 G3	26,200	B3 U1 G4	17,800	B2 U1 G3	26,200	B3 U1 G4
50L	31,400	B3 U1 G4	32,700	B3 U1 G4	22,200	B3 U1 G3	32,700	B3 U1 G4
65L	40,800	B3 U1 G4	42,500	B3 U1 G5	28,900	B3 U1 G4	42,500	B3 U1 G5
75L	47,100	B3 U1 G5	49,000	B3 U1 G5	33,300	B3 U1 G4	49,000	B3 U1 G5

* Initial delivered lumens at 25°C (77°F). Actual production yield may vary between -10 and +10% of initial delivered lumens

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3M



RESTL Test Report #: PL17240-001A
OSQM-C-16L-57K7-3M-UL-NM-WH
Initial Delivered Lumens: 15,444

OSQL-C-40L-40K7-3M-UL
Mounting Height: 25' (7.6m) A.F.G.
Initial Delivered Lumens: 38,000
Initial FC at grade

Type III Mid Distribution

Lumen Package	3000K (70 CRI)		4000K (70 CRI)		5000K (90 CRI)		5700K (70 CRI)	
	Initial Delivered Lumens*	BUG Ratings** Per TM-15-20	Initial Delivered Lumens*	BUG Ratings** Per TM-15-20	Initial Delivered Lumens*	BUG Ratings** Per TM-15-20	Initial Delivered Lumens*	BUG Ratings** Per TM-15-20
4L	3,650	B1 U0 G1	3,800	B1 U0 G1	2,590	B1 U0 G1	3,800	B1 U0 G1
6L	5,475	B1 U0 G1	5,700	B1 U0 G1	3,880	B1 U0 G1	5,700	B1 U0 G1
9L	8,225	B2 U0 G2	8,550	B2 U0 G2	5,825	B1 U0 G1	8,550	B2 U0 G2
11L	10,025	B2 U0 G2	10,450	B2 U0 G2	7,100	B2 U0 G2	10,450	B2 U0 G2
16L	14,650	B3 U0 G3	15,200	B3 U0 G3	10,325	B2 U0 G2	15,200	B3 U0 G3
22L	20,100	B3 U0 G3	20,900	B3 U0 G3	14,200	B3 U0 G3	20,900	B3 U0 G3
30L	27,400	B3 U0 G3	28,500	B3 U0 G3	19,400	B3 U0 G3	28,500	B3 U0 G3
40L	36,500	B4 U0 G4	38,000	B4 U0 G4	25,900	B3 U0 G3	38,000	B4 U0 G4
50L	45,600	B4 U0 G4	47,500	B4 U0 G4	32,300	B3 U0 G4	47,500	B4 U0 G4
65L	59,300	B5 U0 G5	61,800	B5 U0 G5	42,000	B4 U0 G4	61,800	B5 U0 G5
75L	68,400	B5 U0 G5	71,300	B5 U0 G5	48,500	B4 U0 G4	71,300	B5 U0 G5

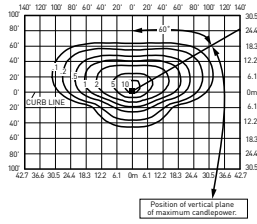
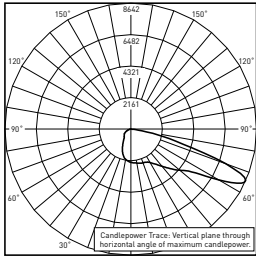
* Initial delivered lumens at 25°C (77°F). Actual production yield may vary between -10 and +10% of initial delivered lumens

** For more information on the IES BUG (Backlight-Uplight-Glare) Rating visit: <https://www.ies.org/wp-content/uploads/2017/03/TM-15-11BUGRatingsAddendum.pdf>. Valid with no tilt

Photometry

All published luminaire photometric testing performed to IES LM-79 standards. To obtain an IES file specific to your project consult: <https://creelighting.com/products/outdoor/area/osq-series>

3B



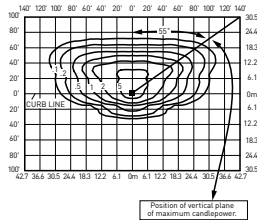
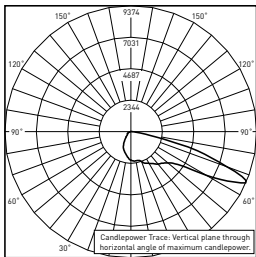
RESSL Test Report #: PL17366-001A
OSQM-C-16L-57K7-3B-UL-NM-WH
Initial Delivered Lumens: 10,081

OSQL-C-40L-40K7-3B-UL
Mounting Height: 25' (7.6m) A.F.G.
Initial Delivered Lumens: 26,200
Initial FC at grade

Type III Mid w/BLS Distribution								
Lumen Package	3000K (70 CRI)		4000K (70 CRI)		5000K (90 CRI)		5700K (70 CRI)	
	Initial Delivered Lumens*	BUG Ratings** Per TM-15-20	Initial Delivered Lumens*	BUG Ratings** Per TM-15-20	Initial Delivered Lumens*	BUG Ratings** Per TM-15-20	Initial Delivered Lumens*	BUG Ratings** Per TM-15-20
4L	2,510	B1 U0 G1	2,620	B1 U0 G1	1,780	B0 U0 G1	2,620	B1 U0 G1
6L	3,760	B1 U0 G1	3,920	B1 U0 G1	2,670	B1 U0 G1	3,920	B1 U0 G1
9L	5,650	B1 U0 G1	5,875	B1 U0 G1	4,000	B1 U0 G1	5,875	B1 U0 G1
11L	6,900	B1 U0 G2	7,200	B1 U0 G2	4,890	B1 U0 G1	7,200	B1 U0 G2
16L	10,075	B2 U0 G2	10,450	B2 U0 G2	7,100	B1 U0 G2	10,450	B2 U0 G2
22L	13,800	B2 U0 G2	14,375	B2 U0 G2	9,775	B2 U0 G2	14,375	B2 U0 G2
30L	18,800	B3 U0 G3	19,600	B3 U0 G3	13,350	B2 U0 G2	19,600	B3 U0 G3
40L	25,100	B3 U0 G3	26,200	B3 U0 G3	17,800	B3 U0 G3	26,200	B3 U0 G3
50L	31,400	B3 U0 G4	32,700	B3 U0 G4	22,200	B3 U0 G3	32,700	B3 U0 G4
65L	40,800	B3 U0 G4	42,500	B4 U0 G4	28,900	B3 U0 G4	42,500	B4 U0 G4
75L	47,100	B4 U0 G5	49,000	B4 U0 G5	33,300	B3 U0 G4	49,000	B4 U0 G5

* Initial delivered lumens at 25°C (77°F). Actual production yield may vary between -10 and +10% of initial delivered lumens
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3M W/OSQ-*-C-BLSF



RESSL Test Report#: PL17054-001A
OSQM-C-16L-57K7-3M-UL-NM-WH-R w/
OSQ-M-C-BLSF
Initial Delivered Lumens: 10,227

OSQL-C-40L-40K7-3M-UL w/OSQ-L-C-BLSF
Mounting Height: 25' (7.6m) A.F.G.
Initial Delivered Lumens: 26,200
Initial FC at grade

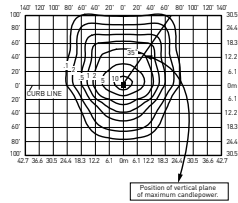
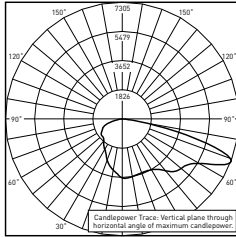
Type III Mid Distribution w/OSQ-*-C-BLSF								
Lumen Package	3000K (70 CRI)		4000K (70 CRI)		5000K (90 CRI)		5700K (70 CRI)	
	Initial Delivered Lumens*	BUG Ratings** Per TM-15-20	Initial Delivered Lumens*	BUG Ratings** Per TM-15-20	Initial Delivered Lumens*	BUG Ratings** Per TM-15-20	Initial Delivered Lumens*	BUG Ratings** Per TM-15-20
4L	2,510	B1 U1 G1	2,620	B1 U1 G1	1,780	B0 U1 G1	2,620	B1 U1 G1
6L	3,760	B1 U1 G1	3,920	B1 U1 G1	2,670	B1 U1 G1	3,920	B1 U1 G1
9L	5,650	B1 U1 G1	5,875	B1 U1 G1	4,000	B1 U1 G1	5,875	B1 U1 G2
11L	6,900	B1 U1 G2	7,200	B1 U1 G2	4,890	B1 U1 G1	7,200	B1 U1 G2
16L	10,075	B2 U1 G2	10,450	B2 U1 G2	7,100	B1 U1 G2	10,450	B2 U1 G2
22L	13,800	B2 U2 G2	14,375	B2 U2 G2	9,775	B2 U1 G2	14,375	B2 U2 G2
30L	18,800	B3 U2 G3	19,600	B3 U2 G3	13,350	B2 U2 G2	19,600	B3 U2 G3
40L	25,100	B3 U2 G4	26,200	B3 U2 G4	17,800	B3 U2 G3	26,200	B3 U2 G4
50L	31,400	B3 U2 G4	32,700	B3 U2 G4	22,200	B3 U2 G3	32,700	B3 U2 G4
65L	40,800	B3 U2 G5	42,500	B3 U2 G5	28,900	B3 U2 G4	42,500	B3 U2 G5
75L	47,100	B4 U2 G5	49,000	B4 U2 G5	33,300	B3 U2 G4	49,000	B4 U2 G5

* Initial delivered lumens at 25°C (77°F). Actual production yield may vary between -10 and +10% of initial delivered lumens
** For more information on the IES BUG (Backlight-Uplight-Glare) Rating visit: <https://www.ies.org/wp-content/uploads/2017/03/TM-15-11BUGRatingsAddendum.pdf>. Valid with no tilt

Photometry

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4M



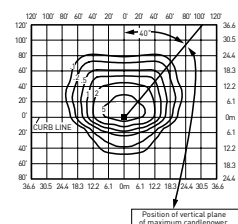
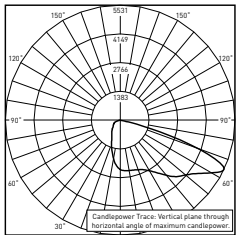
RESTL Test Report #: PL17299-001A
OSQM-C-16L-57K7-4M-UL-NM-WH
Initial Delivered Lumens: 15,584

OSQL-C-40L-40K7-4M-UL
Mounting Height: 25' (7.6m) A.F.G.
Initial Delivered Lumens: 38,000
Initial FC at grade

Type IV Mid Distribution								
Lumen Package	3000K (70 CRI)		4000K (70 CRI)		5000K (90 CRI)		5700K (70 CRI)	
	Initial Delivered Lumens*	BUG Ratings** Per TM-15-20	Initial Delivered Lumens*	BUG Ratings** Per TM-15-20	Initial Delivered Lumens*	BUG Ratings** Per TM-15-20	Initial Delivered Lumens*	BUG Ratings** Per TM-15-20
4L	3,650	B1 U0 G1	3,800	B1 U0 G1	2,590	B1 U0 G1	3,800	B1 U0 G1
6L	5,475	B1 U0 G1	5,700	B1 U0 G1	3,880	B1 U0 G1	5,700	B1 U0 G1
9L	8,225	B2 U0 G2	8,550	B2 U0 G2	5,825	B1 U0 G1	8,550	B2 U0 G2
11L	10,025	B2 U0 G2	10,450	B2 U0 G2	7,100	B2 U0 G1	10,450	B2 U0 G2
16L	14,650	B3 U0 G2	15,200	B3 U0 G2	10,325	B2 U0 G2	15,200	B3 U0 G2
22L	20,100	B3 U0 G3	20,900	B3 U0 G3	14,200	B3 U0 G2	20,900	B3 U0 G3
30L	27,400	B3 U0 G3	28,500	B3 U0 G3	19,400	B3 U0 G3	28,500	B3 U0 G3
40L	36,500	B4 U0 G4	38,000	B4 U0 G4	25,900	B3 U0 G3	38,000	B4 U0 G4
50L	45,600	B4 U0 G4	47,500	B4 U0 G4	32,300	B4 U0 G3	47,500	B4 U0 G4
65L	59,300	B5 U0 G5	61,800	B5 U0 G5	42,000	B4 U0 G4	61,800	B5 U0 G5
75L	68,400	B5 U0 G5	71,300	B5 U0 G5	48,500	B4 U0 G4	71,300	B5 U0 G5

* Initial delivered lumens at 25°C (77°F). Actual production yield may vary between -10 and +10% of initial delivered lumens
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4B



RESTL Test Report #: PL17367-001A
OSQM-C-16L-57K7-4B-UL-NM-WH
Initial Delivered Lumens: 9,812

OSQL-C-40L-40K7-4B-UL
Mounting Height: 25' (7.6m) A.F.G.
Initial Delivered Lumens: 24,000
Initial FC at grade

Type IV Mid w/BLS Distribution								
Lumen Package	3000K (70 CRI)		4000K (70 CRI)		5000K (90 CRI)		5700K (70 CRI)	
	Initial Delivered Lumens*	BUG Ratings** Per TM-15-20	Initial Delivered Lumens*	BUG Ratings** Per TM-15-20	Initial Delivered Lumens*	BUG Ratings** Per TM-15-20	Initial Delivered Lumens*	BUG Ratings** Per TM-15-20
4L	2,300	B1 U0 G0	2,400	B1 U0 G0	1,630	B0 U0 G0	2,400	B1 U0 G0
6L	3,440	B1 U0 G1	3,590	B1 U0 G1	2,440	B1 U0 G0	3,590	B1 U0 G1
9L	5,175	B1 U0 G1	5,400	B1 U0 G1	3,670	B1 U0 G1	5,400	B1 U0 G1
11L	6,325	B1 U0 G1	6,600	B1 U0 G1	4,480	B1 U0 G1	6,600	B1 U0 G1
16L	9,225	B2 U0 G2	9,575	B2 U0 G2	6,525	B1 U0 G1	9,575	B2 U0 G2
22L	12,625	B2 U0 G2	13,175	B2 U0 G2	8,950	B2 U0 G2	13,175	B2 U0 G2
30L	17,200	B3 U0 G2	18,000	B3 U0 G2	12,225	B2 U0 G2	18,000	B3 U0 G2
40L	23,000	B3 U0 G3	24,000	B3 U0 G3	16,300	B3 U0 G2	24,000	B3 U0 G3
50L	28,700	B3 U0 G3	29,900	B3 U0 G3	20,400	B3 U0 G2	29,900	B3 U0 G3
65L	37,400	B3 U0 G4	38,900	B3 U0 G4	26,500	B3 U0 G3	38,900	B3 U0 G4
75L	43,100	B4 U0 G4	44,900	B4 U0 G4	30,500	B3 U0 G3	44,900	B4 U0 G4

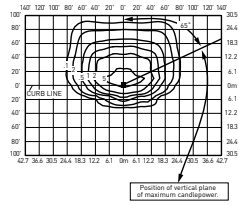
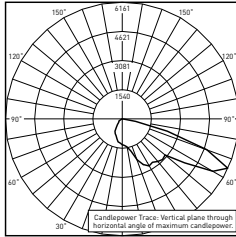
* Initial delivered lumens at 25°C (77°F). Actual production yield may vary between -10 and +10% of initial delivered lumens
** For more information on the IES BUG (Backlight-Uplight-Glare) Rating visit: <https://www.ies.org/wp-content/uploads/2017/03/TM-15-11BUGRatingsAddendum.pdf>. Valid with no tilt

Photometry

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<https://creelighting.com/products/outdoor/area/osq-series>

4M W/OSQ*-C-BLSF



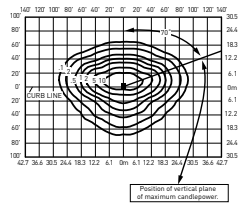
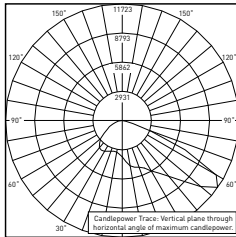
PRELIMINARY RESTL Test Report
OSQ Luminaire w/4M Optic w/OSQ-M-C-BLSF
Initial Delivered Lumens: 9,345

OSQL-C-40L-40K7-4M-UL w/OSQ-L-C-BLSF
Mounting Height: 25' (7.6m) A.F.G.
Initial Delivered Lumens: 24,000
Initial FC at grade

Type IV Mid Distribution w/OSQ*-C-BLSF								
Lumen Package	3000K (70 CRI)		4000K (70 CRI)		5000K (90 CRI)		5700K (70 CRI)	
	Initial Delivered Lumens*	BUG Ratings** Per TM-15-20	Initial Delivered Lumens*	BUG Ratings** Per TM-15-20	Initial Delivered Lumens*	BUG Ratings** Per TM-15-20	Initial Delivered Lumens*	BUG Ratings** Per TM-15-20
4L	2,300	B0 U1 G1	2,400	B1 U1 G1	1,630	B0 U1 G1	2,400	B1 U1 G1
6L	3,440	B1 U1 G1	3,590	B1 U1 G1	2,440	B1 U1 G1	3,590	B1 U1 G1
9L	5,175	B1 U1 G1	5,400	B1 U1 G1	3,670	B1 U1 G1	5,400	B1 U1 G1
11L	6,325	B1 U1 G2	6,600	B1 U1 G2	4,480	B1 U1 G1	6,600	B1 U1 G2
16L	9,225	B1 U1 G2	9,575	B1 U1 G2	6,525	B1 U1 G2	9,575	B1 U1 G2
22L	12,625	B2 U1 G2	13,175	B2 U1 G2	8,950	B1 U1 G2	13,175	B2 U1 G2
30L	17,200	B2 U1 G3	18,000	B2 U1 G3	12,225	B2 U1 G2	18,000	B2 U1 G3
40L	23,000	B3 U1 G3	24,000	B3 U1 G3	16,300	B2 U1 G2	24,000	B3 U1 G3
50L	28,700	B3 U1 G4	29,900	B3 U1 G4	20,400	B2 U1 G3	29,900	B3 U1 G4
65L	37,400	B3 U1 G4	38,900	B3 U1 G4	26,500	B3 U1 G4	38,900	B3 U1 G4
75L	43,100	B3 U1 G5	44,900	B3 U1 G5	30,500	B3 U1 G4	44,900	B3 U1 G5

* Initial delivered lumens at 25°C (77°F). Actual production yield may vary between -10 and +10% of initial delivered lumens
** For more information on the IES BUG (Backlight-Uplight-Glare) Rating visit: <https://www.ies.org/wp-content/uploads/2017/03/TM-15-11BUGRatingsAddendum.pdf>. Valid with no tilt

AF



PRELIMINARY RESTL Test Report
OSQ Luminaire w/AF Optic
Initial Delivered Lumens: 15,866

OSQL-C-40L-40K7-AF-UL
Mounting Height: 25' (7.6m) A.F.G.
Initial Delivered Lumens: 38,000
Initial FC at grade

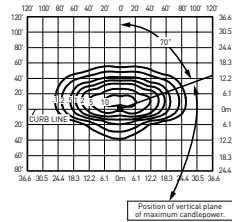
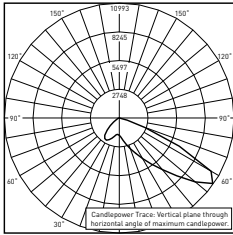
Automotive FrontLineOptic™ Distribution								
Lumen Package	3000K (70 CRI)		4000K (70 CRI)		5000K (90 CRI)		5700K (70 CRI)	
	Initial Delivered Lumens*	BUG Ratings** Per TM-15-20	Initial Delivered Lumens*	BUG Ratings** Per TM-15-20	Initial Delivered Lumens*	BUG Ratings** Per TM-15-20	Initial Delivered Lumens*	BUG Ratings** Per TM-15-20
4L	3,650	B1 U1 G1	3,800	B1 U1 G1	2,590	B1 U1 G1	3,800	B1 U1 G1
6L	5,475	B1 U1 G1	5,700	B1 U1 G1	3,880	B1 U1 G1	5,700	B1 U1 G1
9L	8,225	B2 U1 G1	8,550	B2 U1 G1	5,825	B1 U1 G1	8,550	B2 U1 G1
11L	10,025	B2 U1 G2	10,450	B2 U1 G2	7,100	B2 U1 G1	10,450	B2 U1 G2
16L	14,650	B3 U1 G2	15,200	B3 U1 G2	10,325	B2 U1 G2	15,200	B3 U1 G2
22L	20,100	B3 U1 G3	20,900	B3 U1 G3	14,200	B2 U1 G2	20,900	B3 U1 G3
30L	27,400	B3 U1 G3	28,500	B3 U1 G3	19,400	B3 U1 G3	28,500	B3 U1 G3
40L	36,500	B4 U1 G3	38,000	B4 U1 G3	25,900	B3 U1 G3	38,000	B4 U1 G3
50L	45,600	B4 U1 G4	47,500	B4 U1 G4	32,300	B3 U1 G3	47,500	B4 U1 G4
65L	59,300	B5 U1 G4	61,800	B5 U1 G4	42,000	B4 U1 G3	61,800	B5 U1 G4
75L	68,400	B5 U1 G4	71,300	B5 U1 G4	48,500	B4 U1 G4	71,300	B5 U1 G4

* Initial delivered lumens at 25°C (77°F). Actual production yield may vary between -10 and +10% of initial delivered lumens
** For more information on the IES BUG (Backlight-Uplight-Glare) Rating visit: <https://www.ies.org/wp-content/uploads/2017/03/TM-15-11BUGRatingsAddendum.pdf>. Valid with no tilt

Photometry

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AB



PRELIMINARY RESTL Test Report
OSQ Luminaire w/AB Optic
Initial Delivered Lumens: 11,393

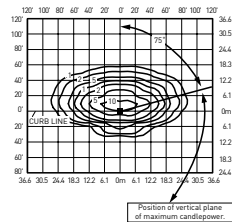
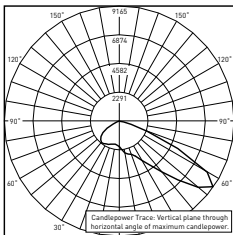
OSQ-L-C-40L-40K7-AB-UL
Mounting Height: 25' (7.6m) A.F.G.
Initial Delivered Lumens: 26,200
Initial FC at grade

Automotive FrontLineOptic™ w/BLS Distribution

Lumen Package	3000K (70 CRI)		4000K (70 CRI)		5000K (90 CRI)		5700K (70 CRI)	
	Initial Delivered Lumens*	BUG Ratings** Per TM-15-20	Initial Delivered Lumens*	BUG Ratings** Per TM-15-20	Initial Delivered Lumens*	BUG Ratings** Per TM-15-20	Initial Delivered Lumens*	BUG Ratings** Per TM-15-20
4L	2,510	B1 U1 G0	2,620	B1 U1 G0	1,780	B0 U1 G0	2,620	B1 U1 G0
6L	3,760	B1 U1 G0	3,920	B1 U1 G1	2,670	B1 U1 G0	3,920	B1 U1 G1
9L	5,650	B1 U1 G1	5,875	B1 U1 G1	4,000	B1 U1 G1	5,875	B1 U1 G1
11L	6,900	B1 U1 G1	7,200	B1 U1 G1	4,890	B1 U1 G1	7,200	B1 U1 G1
16L	10,075	B2 U1 G1	10,450	B2 U1 G1	7,100	B1 U1 G1	10,450	B2 U1 G1
22L	13,800	B2 U1 G2	14,375	B2 U1 G2	9,775	B2 U1 G1	14,375	B2 U1 G2
30L	18,800	B2 U1 G2	19,600	B2 U1 G2	13,350	B2 U1 G2	19,600	B2 U1 G2
40L	25,100	B3 U1 G2	26,200	B3 U1 G2	17,800	B2 U1 G2	26,200	B3 U1 G2
50L	31,400	B3 U1 G2	32,700	B3 U1 G2	22,200	B3 U1 G2	32,700	B3 U1 G2
65L	40,800	B3 U1 G3	42,500	B3 U1 G3	28,900	B3 U1 G2	42,500	B3 U1 G3
75L	47,100	B3 U1 G3	49,000	B4 U1 G3	33,300	B3 U1 G2	49,000	B4 U1 G3

* Initial delivered lumens at 25°C (77°F). Actual production yield may vary between -10 and +10% of initial delivered lumens
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AF W/OSQ*-C-BLSF



PRELIMINARY RESTL Test Report
OSQ Luminaire w/AF Optic w/OSQ-M-C-BLSF
Initial Delivered Lumens: 9,783

OSQ-L-C-40L-40K7-AF-UL w/OSQ-L-C-BLSF
Mounting Height: 25' (7.6m) A.F.G.
Initial Delivered Lumens: 26,200
Initial FC at grade

Automotive FrontLineOptic™ w/OSQ*-C-BLSF

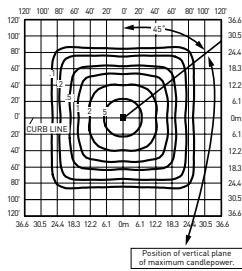
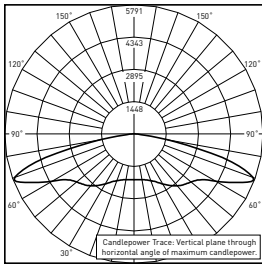
Lumen Package	3000K (70 CRI)		4000K (70 CRI)		5000K (90 CRI)		5700K (70 CRI)	
	Initial Delivered Lumens*	BUG Ratings** Per TM-15-20	Initial Delivered Lumens*	BUG Ratings** Per TM-15-20	Initial Delivered Lumens*	BUG Ratings** Per TM-15-20	Initial Delivered Lumens*	BUG Ratings** Per TM-15-20
4L	2,510	B1 U1 G0	2,620	B1 U1 G0	1,780	B0 U1 G0	2,620	B1 U1 G0
6L	3,760	B1 U1 G0	3,920	B1 U1 G1	2,670	B1 U1 G0	3,920	B1 U1 G1
9L	5,650	B1 U1 G1	5,875	B1 U1 G1	4,000	B1 U1 G1	5,875	B1 U1 G1
11L	6,900	B1 U1 G1	7,200	B1 U1 G1	4,890	B1 U1 G1	7,200	B1 U1 G1
16L	10,075	B2 U1 G1	10,450	B2 U1 G1	7,100	B1 U1 G1	10,450	B2 U1 G1
22L	13,800	B2 U1 G2	14,375	B2 U1 G2	9,775	B2 U1 G1	14,375	B2 U1 G2
30L	18,800	B3 U1 G2	19,600	B3 U1 G2	13,350	B2 U1 G2	19,600	B3 U1 G2
40L	25,100	B3 U1 G2	26,200	B3 U1 G2	17,800	B2 U1 G2	26,200	B3 U1 G2
50L	31,400	B3 U1 G2	32,700	B3 U1 G2	22,200	B3 U1 G2	32,700	B3 U1 G2
65L	40,800	B3 U1 G3	42,500	B3 U1 G3	28,900	B3 U1 G2	42,500	B3 U1 G3
75L	47,100	B4 U1 G3	49,000	B4 U1 G3	33,300	B3 U1 G2	49,000	B4 U1 G3

* Initial delivered lumens at 25°C (77°F). Actual production yield may vary between -10 and +10% of initial delivered lumens
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Photometry

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5M



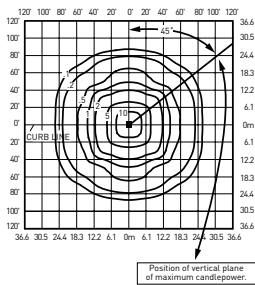
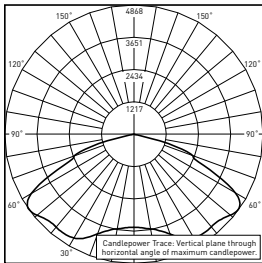
RESTL Test Report #: PL17290-002A
OSQM-C-16L-57K7-5M-UL-NM-WH
Initial Delivered Lumens: 15,567

OSQL-C-40L-40K7-5M-UL
Mounting Height: 25' (7.6m) A.F.G.
Initial Delivered Lumens: 40,000
Initial FC at grade

Type V Mid Distribution								
Lumen Package	3000K (70 CRI)		4000K (70 CRI)		5000K (90 CRI)		5700K (70 CRI)	
	Initial Delivered Lumens*	BUG Ratings** Per TM-15-20	Initial Delivered Lumens*	BUG Ratings** Per TM-15-20	Initial Delivered Lumens*	BUG Ratings** Per TM-15-20	Initial Delivered Lumens*	BUG Ratings** Per TM-15-20
4L	3,840	B2 U0 G1	4,000	B2 U0 G1	2,720	B2 U0 G1	4,000	B2 U0 G1
6L	5,750	B3 U0 G1	6,000	B3 U0 G1	4,080	B2 U0 G1	6,000	B3 U0 G1
9L	8,650	B3 U0 G1	9,000	B3 U0 G1	6,125	B3 U0 G1	9,000	B3 U0 G1
11L	10,550	B3 U0 G2	11,000	B3 U0 G2	7,475	B3 U0 G1	11,000	B3 U0 G2
16L	15,400	B4 U0 G2	16,000	B4 U0 G2	10,875	B3 U0 G2	16,000	B4 U0 G2
22L	21,100	B4 U0 G2	22,000	B4 U0 G2	14,950	B4 U0 G2	22,000	B4 U0 G2
30L	28,800	B5 U0 G3	30,000	B5 U0 G3	20,400	B4 U0 G2	30,000	B5 U0 G3
40L	38,400	B5 U0 G3	40,000	B5 U0 G4	27,200	B5 U0 G3	40,000	B5 U0 G4
50L	48,000	B5 U0 G4	50,000	B5 U0 G4	34,000	B5 U0 G3	50,000	B5 U0 G4
65L	62,400	B5 U0 G5	65,000	B5 U0 G5	44,200	B5 U0 G4	65,000	B5 U0 G5
75L	72,000	B5 U0 G5	75,000	B5 U0 G5	51,000	B5 U0 G4	75,000	B5 U0 G5

* Initial delivered lumens at 25°C (77°F). Actual production yield may vary between -10 and +10% of initial delivered lumens
** For more information on the IES BUG (Backlight-Uplight-Glare) Rating visit: <https://www.ies.org/wp-content/uploads/2017/03/TM-15-11BUGRatingsAddendum.pdf>. Valid with no tilt

5N



RESTL Test Report #: PL17333-002A
OSQM-C-16L-57K7-5N-UL-NM-WH
Initial Delivered Lumens: 16,299

OSQL-C-40L-40K7-5N-UL
Mounting Height: 25' (7.6m) A.F.G.
Initial Delivered Lumens: 40,000
Initial FC at grade

Type V Narrow Distribution								
Lumen Package	3000K (70 CRI)		4000K (70 CRI)		5000K (90 CRI)		5700K (70 CRI)	
	Initial Delivered Lumens*	BUG Ratings** Per TM-15-20	Initial Delivered Lumens*	BUG Ratings** Per TM-15-20	Initial Delivered Lumens*	BUG Ratings** Per TM-15-20	Initial Delivered Lumens*	BUG Ratings** Per TM-15-20
4L	3,840	B2 U0 G0	4,000	B2 U0 G0	2,720	B1 U0 G0	4,000	B2 U0 G0
6L	5,750	B2 U0 G0	6,000	B2 U0 G1	4,080	B2 U0 G0	6,000	B2 U0 G1
9L	8,650	B2 U0 G1	9,000	B3 U0 G1	6,125	B2 U0 G1	9,000	B3 U0 G1
11L	10,550	B3 U0 G1	11,000	B3 U0 G1	7,475	B2 U0 G1	11,000	B3 U0 G1
16L	15,400	B3 U0 G1	16,000	B3 U0 G2	10,875	B3 U0 G1	16,000	B3 U0 G2
22L	21,100	B4 U0 G2	22,000	B4 U0 G2	14,950	B3 U0 G1	22,000	B4 U0 G2
30L	28,800	B4 U0 G2	30,000	B5 U0 G2	20,400	B4 U0 G2	30,000	B5 U0 G2
40L	38,400	B5 U0 G2	40,000	B5 U0 G2	27,200	B4 U0 G2	40,000	B5 U0 G2
50L	48,000	B5 U0 G3	50,000	B5 U0 G3	34,000	B5 U0 G2	50,000	B5 U0 G3
65L	62,400	B5 U0 G3	65,000	B5 U0 G3	44,200	B5 U0 G2	65,000	B5 U0 G3
75L	72,000	B5 U0 G4	75,000	B5 U0 G4	51,000	B5 U0 G3	75,000	B5 U0 G4

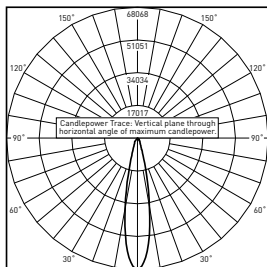
* Initial delivered lumens at 25°C (77°F). Actual production yield may vary between -10 and +10% of initial delivered lumens
** For more information on the IES BUG (Backlight-Uplight-Glare) Rating visit: <https://www.ies.org/wp-content/uploads/2017/03/TM-15-11BUGRatingsAddendum.pdf>. Valid with no tilt

Photometry

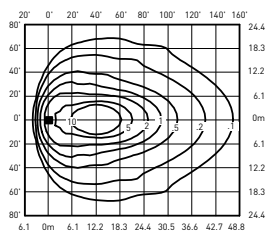
All published luminaire photometric testing performed to IES LM-79 standards. To obtain an IES file specific to your project consult:

<https://creelighting.com/products/outdoor/area/osq-series>

33



RESTL Test Report #: PL17338-001A
OSQM-C-16L-57K7-33-UL-NM-WH
Initial Delivered Lumens: 16,127

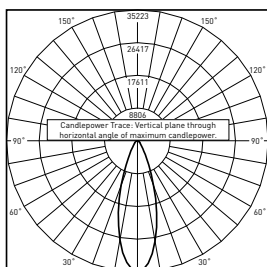


OSQL-C-40L-40K7-33-UL
Mounting Height: 25' (7.6m) A.F.G., 60° Tilt
Initial Delivered Lumens: 40,000
Initial FC at grade

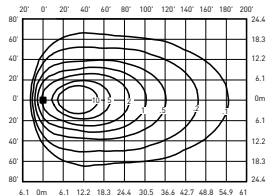
NEMA® 3x3 Distribution				
Lumen Package	3000K (70 CRI)	4000K (70 CRI)	5000K (90CRI)	5700K (70 CRI)
	Initial Delivered Lumens*	Initial Delivered Lumens*	Initial Delivered Lumens*	Initial Delivered Lumens*
4L	3,840	4,000	2,720	4,000
6L	5,750	6,000	4,080	6,000
9L	8,650	9,000	6,125	9,000
11L	10,550	11,000	7,475	11,000
16L	15,400	16,000	10,875	16,000
22L	21,100	22,000	14,950	22,000
30L	28,800	30,000	20,400	30,000
40L	38,400	40,000	27,200	40,000
50L	48,000	50,000	34,000	50,000
65L	62,400	65,000	44,200	65,000
75L	72,000	75,000	51,000	75,000

* Initial delivered lumens at 25°C (77°F). Actual production yield may vary between -10 and +10% of initial delivered lumens

44



PRELIMINARY RESTL Test Report
OSQ Luminaire w/44 Optic
Initial Delivered Lumens: 16,001



OSQL-C-40L-40K7-44-UL
Mounting Height: 25' (7.6m) A.F.G., 60° Tilt
Initial Delivered Lumens: 40,000
Initial FC at grade

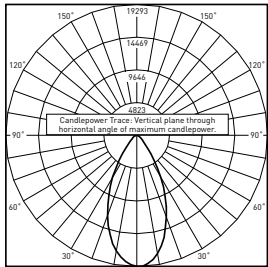
NEMA® 4x4 Distribution				
Lumen Package	3000K (70 CRI)	4000K (70 CRI)	5000K (90CRI)	5700K (70 CRI)
	Initial Delivered Lumens*	Initial Delivered Lumens*	Initial Delivered Lumens*	Initial Delivered Lumens*
4L	3,840	4,000	2,720	4,000
6L	5,750	6,000	4,080	6,000
9L	8,650	9,000	6,125	9,000
11L	10,550	11,000	7,475	11,000
16L	15,400	16,000	10,875	16,000
22L	21,100	22,000	14,950	22,000
30L	28,800	30,000	20,400	30,000
40L	38,400	40,000	27,200	40,000
50L	48,000	50,000	34,000	50,000
65L	62,400	65,000	44,200	65,000
75L	72,000	75,000	51,000	75,000

* Initial delivered lumens at 25°C (77°F). Actual production yield may vary between -10 and +10% of initial delivered lumens

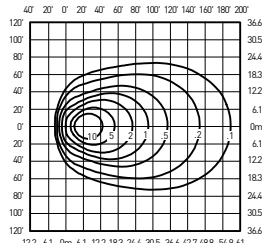
Photometry

All published luminaire photometric testing performed to IES LM-79 standards. To obtain an IES file specific to your project consult: <https://creelighting.com/products/outdoor/area/osq-series>

55



PRELIMINARY RESTL Test Report
OSQ Luminaire w/55 Optic
Initial Delivered Lumens: 15,967

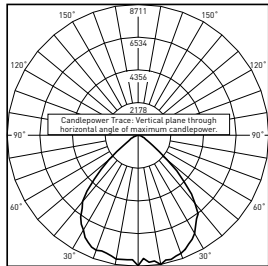


OSQ-L-C-40L-40K7-55-UL
Mounting Height: 25' (7.6m) A.F.G., 60° Tilt
Initial Delivered Lumens: 40,000
Initial FC at grade

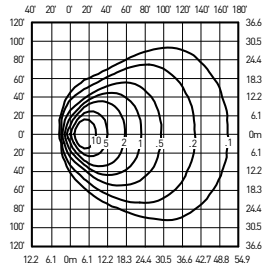
NEMA® 5x5 Distribution				
Lumen Package	3000K (70 CRI)	4000K (70 CRI)	5000K (90CRI)	5700K (70 CRI)
	Initial Delivered Lumens*	Initial Delivered Lumens*	Initial Delivered Lumens*	Initial Delivered Lumens*
4L	3,840	4,000	2,720	4,000
6L	5,750	6,000	4,080	6,000
9L	8,650	9,000	6,125	9,000
11L	10,550	11,000	7,475	11,000
16L	15,400	16,000	10,875	16,000
22L	21,100	22,000	14,950	22,000
30L	28,800	30,000	20,400	30,000
40L	38,400	40,000	27,200	40,000
50L	48,000	50,000	34,000	50,000
65L	62,400	65,000	44,200	65,000
75L	72,000	75,000	51,000	75,000

* Initial delivered lumens at 25°C (77°F). Actual production yield may vary between -10 and +10% of initial delivered lumens

66



PRELIMINARY RESTL Test Report
OSQ Luminaire w/66 Optic
Initial Delivered Lumens: 15,952



OSQ-L-C-40L-40K7-66-UL
Mounting Height: 25' (7.6m) A.F.G., 60° Tilt
Initial Delivered Lumens: 40,000
Initial FC at grade

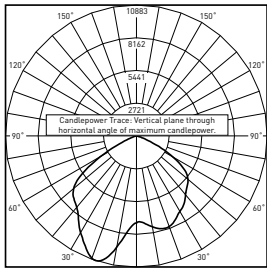
NEMA® 6x6 Distribution				
Lumen Package	3000K (70 CRI)	4000K (70 CRI)	5000K (90CRI)	5700K (70 CRI)
	Initial Delivered Lumens*	Initial Delivered Lumens*	Initial Delivered Lumens*	Initial Delivered Lumens*
4L	3,840	4,000	2,720	4,000
6L	5,750	6,000	4,080	6,000
9L	8,650	9,000	6,125	9,000
11L	10,550	11,000	7,475	11,000
16L	15,400	16,000	10,875	16,000
22L	21,100	22,000	14,950	22,000
30L	28,800	30,000	20,400	30,000
40L	38,400	40,000	27,200	40,000
50L	48,000	50,000	34,000	50,000
65L	62,400	65,000	44,200	65,000
75L	72,000	75,000	51,000	75,000

* Initial delivered lumens at 25°C (77°F). Actual production yield may vary between -10 and +10% of initial delivered lumens

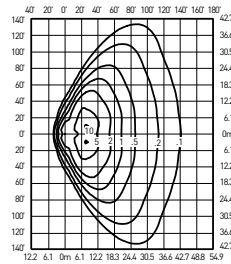
Photometry

All published luminaire photometric testing performed to IES LM-79 standards. To obtain an IES file specific to your project consult: <https://creelighting.com/products/outdoor/area/osq-series>

75



RESTL Test Report #: PL17352-001A
OSQM-C-16L-57K7-75-UL-NM-WH
Initial Delivered Lumens: 16,120



OSQL-C-40L-40K7-75-UL
Mounting Height: 25' (7.6m) A.F.G., 60° Tilt
Initial Delivered Lumens: 40,000
Initial FC at grade

NEMA® 7x5 Distribution				
Lumen Package	3000K (70 CRI)	4000K (70 CRI)	5000K (90CRI)	5700K (70 CRI)
	Initial Delivered Lumens*	Initial Delivered Lumens*	Initial Delivered Lumens*	Initial Delivered Lumens*
4L	3,840	4,000	2,720	4,000
6L	5,750	6,000	4,080	6,000
9L	8,650	9,000	6,125	9,000
11L	10,550	11,000	7,475	11,000
16L	15,400	16,000	10,875	16,000
22L	21,100	22,000	14,950	22,000
30L	28,800	30,000	20,400	30,000
40L	38,400	40,000	27,200	40,000
50L	48,000	50,000	34,000	50,000
65L	62,400	65,000	44,200	65,000
75L	72,000	75,000	51,000	75,000

* Initial delivered lumens at 25°C (77°F). Actual production yield may vary between -10 and +10% of initial delivered lumens

Luminaire EPA

Adjustable Arm Mount – OSQ-ML-C-AA Weight: Medium - 19.3 lbs. [8.8kg]; Large - 28.4 lbs. [12.9kg]; OSQ-X-C-DA Weight: Extra Large - 48.6 lbs. [22kg]								
	Single	2 @ 180°	2 @ 90°	3 @ 90°	3 @ 120°	3 @ 180°	4 @ 180°	4 @ 90°
Luminaire	Tenon Configuration [0° - 90° Tilt]; If used with Cree Lighting tenons, please add tenon EPA with Luminaire EPA							
	PB-1A*; PT-1*; PW-1A3**	PB-2A*; PB-2R2.375; PD-2A4(180)*; PT-2(180)*; PW-2A3**	PB-2A*; PB-2R2.375; PD-2A4(90)*; PT-2(90)*; PW-2A3**	PB-3A*; PB-3R2.375; PD-3A4(90)*; PT-3(90)*	PB-3A*; PB-3R2.375; PT-3(120)*	PB-3A*; PB-3R2.375	PB-4A*(180); PB-4R2.375	PB-4A*(90); PB-4R2.375; PD-4A4(90)*; PT-4(90)*
	0° Tilt							
OSQM	0.69	1.38	1.11	1.80	2.01	1.38	1.73	2.22
OSQL	0.78	1.55	1.30	2.07	2.33	1.55	1.94	2.60
OSQX	0.98	1.95	1.65	2.63	2.97	1.95	2.44	3.31
	45° Tilt							
OSQM	1.41	2.81	2.10	3.50	4.23	4.22	5.63	4.19
OSQL	2.62	5.23	3.39	6.01	6.91	7.85	10.46	6.79
OSQX	4.35	8.70	5.33	9.68	9.65	13.05	17.40	10.66
	90° Tilt***							
OSQM	1.89	3.79	2.58	4.48	5.56	5.68	7.57	5.17
OSQL	3.52	7.03	4.29	7.81	9.14	10.55	14.07	8.59
OSQX	5.84	11.68	6.82	12.66	12.78	17.52	23.36	13.63

* Specify pole size: 3 [3"], 4 [4"], 5 [5"], or 6 [6"] for single, double or triple luminaire orientation or 4 [4"], 5 [5"], or 6 [6"] for quad luminaire orientation
 ** These EPA values must be multiplied by the following ratio: Fixture Mounting Height/Total Pole Height. Specify pole size: 3 [3"], 4 [4"], 5 [5"], or 6 [6"]
 *** PD-2A4(90), PT-2(90), PD-3A4(90), PT-3(90), PD-4A4(90), PT-4(90) are not compatible with 90 degree tilt
 + PT & PD aluminum tenons are not suitable for use with OSQX luminaires.

Tenon EPA

Part Number	EPA
PB-1A*	None
PB-2A*	0.82
PB-3A*	1.52
PB-4A*(180)	2.22
PB-4A*(90)	1.11
PB-2R2.375	0.92
PB-3R2.375	1.62
PB-4R2.375	2.32
PD Series Tenons	0.09
PT Series Tenons	0.10
PW-1A3**	0.47
PW-2A3**	0.94
WM-2	0.08
WM-4	0.25
WM-DM	None

* Specify pole size: 3 [3"], 4 [4"], 5 [5"], or 6 [6"] for single, double or triple luminaire orientation or 4 [4"], 5 [5"], or 6 [6"] for quad luminaire orientation
 ** These EPA values must be multiplied by the following ratio: Fixture Mounting Height/Total Pole Height. Specify pole size: 3 [3"], 4 [4"], 5 [5"], or 6 [6"]

Tenons and Brackets [†] (must specify color)	
<p>Square Internal Mount Vertical Tenons (Steel) - Mounts to 3-6" (76-152mm) square aluminum or steel poles</p> <p>PB-1A* – Single PB-2A* – 180° Twin PB-3A* – 180° Triple</p> <p>PB-4A*(90) – 90° Quad PB-4A*(180) – 180° Quad</p>	<p>Round External Mount Vertical Tenons (Steel) - Mounts to 2.375" (60mm) O.D. round aluminum or steel poles or tenons</p> <p>PB-2R2.375 – Twin PB-3R2.375 – Triple PB-4R2.375 – Quad</p>
<p>Square Internal Mount Horizontal Tenons (Aluminum) - Mounts to 4" (102mm) square aluminum or steel poles - Not for use with OSQX luminaires</p> <p>PD-2A4(90) – 90° Twin PD-2A4(180) – 180° Twin PD-3A4(90) – 90° Triple PD-4A4(90) – 90° Quad</p>	<p>Round External Mount Horizontal Tenons (Aluminum) - Mounts to 2.375" (60mm) O.D. round aluminum or steel poles or tenons - Mounts to square pole with PB-1A* tenon - Not for use with OSQX luminaires</p> <p>PT-1 – Single (Vertical) PT-2(90) – 90° Twin PT-2(180) – 180° Twin PT-3(90) – 90° Triple PT-3(120) – 120° Triple PT-4(90) – 90° Quad</p>
<p>Wall Mount Brackets - Mounts to wall or roof</p> <p>WM-2 – Horizontal for OSQ-ML-C-AA or OSQ-X-C-AA mounts WM-4 – L-Shape for OSQ-ML-C-AA or OSQ-X-C-AA mounts WM-DM – Plate for OSQ-ML-C-DA or OSQ-X-C-DA mounts</p>	<p>Mid-Pole Bracket - Mounts to square pole</p> <p>PW-1A3** – Single PW-2A3** – Double</p>
	<p>Ground Mount Post - For ground-mounted flood luminaires</p> <p>PGM-1 - for OSQ-ML-C-AA or OSQ-X-C-AA mounts</p>

[†] Refer to the [Bracket and Tenons spec sheet](#) for more details

Luminaire EPA

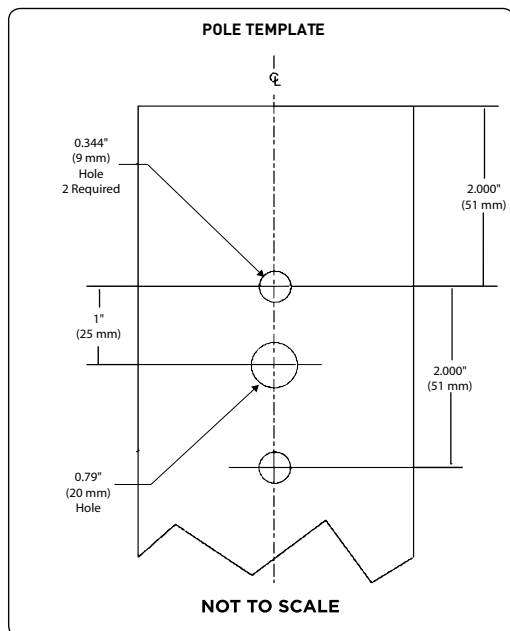
Direct Arm Mount – OSQ-ML-C-DA Weight: Medium - 19.7 lbs. (8.9kg); Large - 28.8 lbs. (13.1kg); OSQ-X-C-DA Weight: Extra Large - 45.8 lbs. (20.8kg)						
Luminaire	Single	2 @ 180°	2 @ 90°	3 @ 90°	3 @ 120°	4 @ 90°
OSQM	0.63	1.26	0.98	1.61	1.79	1.97
OSQL	0.72	1.45	1.24	1.97	2.23	2.49
OSQX	0.91	1.83	1.52	2.43	2.74	3.04

Direct Mount Configurations

Compatibility with Direct Mount Brackets					
Size	2 @ 90°	2 @ 180°	3 @ 90°	3 @ 120°	4 @ 90°
3" Square					
Medium/Large	✓	✓	✓	N/A	✓
Extra Large	N/A	✓	N/A	N/A	N/A
3" Round					
Medium/Large	N/A	✓	N/A	✓	N/A
Extra Large	N/A	N/A	N/A	N/A	N/A
4" Square					
Medium/Large	✓	✓	✓	N/A	✓
Extra Large	✓	✓	✓	N/A	✓
4" Round					
Medium/Large	✓	✓	✓	✓	✓
Extra Large	✓	✓	✓	✓	✓
5" Square					
Medium/Large	✓	✓	✓	N/A	✓
Extra Large	✓	✓	✓	N/A	✓
5" Round					
Medium/Large	✓	✓	✓	✓	✓
Extra Large	✓	✓	✓	✓	✓
6" + Square					
Medium/Large	✓	✓	✓	N/A	✓
Extra Large	✓	✓	✓	N/A	✓
6" + Round					
Medium/Large	✓	✓	✓	✓	✓
Extra Large	✓	✓	✓	✓	✓

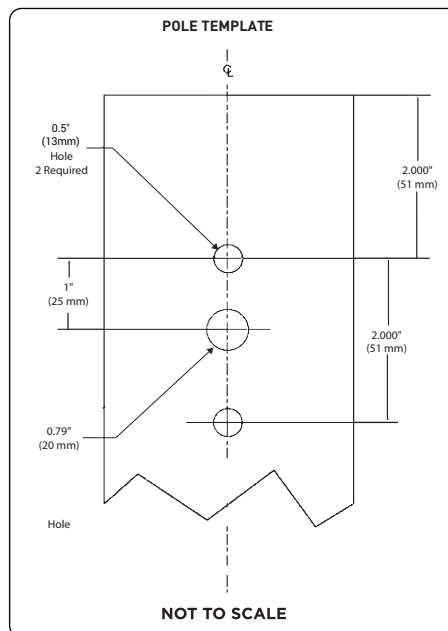
Fixture Mounting Drill Pattern for OSQ-ML-C-DA Mount

Note: When using with Cree Lighting poles, order the BLANK Fixture Mounting Drill Pattern.



Fixture Mounting Drill Pattern for OSQ-X-C-DA

Note: When using with Cree Lighting poles, order the Q Fixture Mounting Drill Pattern.



Luminaire EPA

Trunnion Mount – OSQ-ML-C-TM Weight:	
Medium - 23.2 lbs. (10.5kg);	
Large - 32.3 lbs. (14.7kg)	
Single	
Medium	Large
0° Tilt	
0.69	0.78
45° Tilt	
1.41	2.62
90° Tilt	
1.89	3.52

Field Adjustable Output (Q9/Q8/Q7/Q6/Q5/Q4/Q3/Q2/Q1) Option Description:

The Field Adjustable Output option enables the OSQ area luminaires to be tuned to the exact needs of a particular application through multiple levels of adjustment. When ordered with the Q option, the luminaire will be shipped from the factory at the selected Q setting and will be fully adjustable between the nine settings. When ordered with the N option, the luminaire will include an ANSI C136.15-2020 utility label that indicates the wattage (rounded to nearest 10W), the lumen output (rounded to nearest 1000 lumens), and the CCT of the luminaire at the selected lumen output. Additional dimming functionality is available when a dimming control (by others) is used in the 7-Pin receptacle.

Locked Lumen Output (X8/X7/X6/X5/X4/X3/X2/X1) Option Description:

The Locked Lumen Output option on this page permanently locks the lumen output on the OSQ area luminaire to the setting selected. When ordered with the X option, the luminaire will be shipped from the factory at the lumen output setting selected and will only be able to be adjusted down in the field through a dimming control (by others). When ordered with the N option, the luminaire will include a utility label that indicates the wattage, lumen output, and CCT of the setting selected.

Q & X Option Power & Lumen Data – 4L Lumen Package

Q/X Option Setting	CCT/CRI	System Watts 120-277V	Lumen Values				Utility Label Wattage	Utility Label Lumens			
			Asymmetric	Symmetric	2M, 3M, AF w/BLS	4M w/BLS		Asymmetric	Symmetric	2M, 3M, AF w/BLS	4M w/BLS
Q9 (Full Power)	30K (70 CRI)	26	3,650	3,840	2,510	2,300	30	4000 L	4000 L	3000 L	2000 L
	40K (70 CRI)		3,800	4,000	2,620	2,400		4000 L	4000 L	3000 L	2000 L
	50K (90 CRI)		2,590	2,720	1,780	1,630		3000 L	3000 L	2000 L	2000 L
	57K (70 CRI)		3,800	4,000	2,620	2,400		4000 L	4000 L	3000 L	2000 L
Q8/X8	30K (70 CRI)	24	3,480	3,660	2,390	2,190	20	3000 L	4000 L	2000 L	2000 L
	40K (70 CRI)		3,630	3,820	2,500	2,290		4000 L	4000 L	3000 L	2000 L
	50K (90 CRI)		2,460	2,590	1,690	1,550		2000 L	3000 L	2000 L	2000 L
	57K (70 CRI)		3,630	3,820	2,500	2,290		4000 L	4000 L	3000 L	2000 L
Q7/X7	30K (70 CRI)	23	3,340	3,510	2,300	2,100	20	3000 L	4000 L	2000 L	2000 L
	40K (70 CRI)		3,480	3,660	2,390	2,190		3000 L	4000 L	2000 L	2000 L
	50K (90 CRI)		2,370	2,490	1,630	1,490		2000 L	2000 L	2000 L	1000 L
	57K (70 CRI)		3,480	3,660	2,390	2,190		3000 L	4000 L	2000 L	2000 L
Q6/X6	30K (70 CRI)	22	3,220	3,390	2,220	2,030	20	3000 L	3000 L	2000 L	2000 L
	40K (70 CRI)		3,360	3,540	2,310	2,120		3000 L	4000 L	2000 L	2000 L
	50K (90 CRI)		2,280	2,400	1,570	1,440		2000 L	2000 L	2000 L	1000 L
	57K (70 CRI)		3,360	3,540	2,310	2,120		3000 L	4000 L	2000 L	2000 L
Q5/X5	30K (70 CRI)	20	2,950	3,100	2,030	1,860	20	3000 L	3000 L	2000 L	2000 L
	40K (70 CRI)		3,070	3,230	2,110	1,930		3000 L	3000 L	2000 L	2000 L
	50K (90 CRI)		2,090	2,200	1,440	1,320		2000 L	2000 L	1000 L	1000 L
	57K (70 CRI)		3,070	3,230	2,110	1,930		3000 L	3000 L	2000 L	2000 L
Q4/X4	30K (70 CRI)	18	2,680	2,820	1,840	1,690	20	3000 L	3000 L	2000 L	2000 L
	40K (70 CRI)		2,790	2,940	1,920	1,760		3000 L	3000 L	2000 L	2000 L
	50K (90 CRI)		1,900	2,000	1,310	1,200		2000 L	2000 L	1000 L	1000 L
	57K (70 CRI)		2,790	2,940	1,920	1,760		3000 L	3000 L	2000 L	2000 L
Q3/X3	30K (70 CRI)	16	2,470	2,600	1,700	1,560	20	2000 L	3000 L	2000 L	2000 L
	40K (70 CRI)		2,580	2,710	1,770	1,620		3000 L	3000 L	2000 L	2000 L
	50K (90 CRI)		1,750	1,840	1,200	1,100		2000 L	2000 L	1000 L	1000 L
	57K (70 CRI)		2,580	2,710	1,770	1,620		3000 L	3000 L	2000 L	2000 L
Q2/X2	30K (70 CRI)	15	2,220	2,340	1,530	1,400	20	2000 L	2000 L	2000 L	1000 L
	40K (70 CRI)		2,320	2,440	1,600	1,460		2000 L	2000 L	2000 L	1000 L
	50K (90 CRI)		1,580	1,660	1,090	990		2000 L	2000 L	1000 L	1000 L
	57K (70 CRI)		2,320	2,440	1,600	1,460		2000 L	2000 L	2000 L	1000 L
Q1/X1	30K (70 CRI)	13	1,970	2,070	1,350	1,240	10	2000 L	2000 L	1000 L	1000 L
	40K (70 CRI)		2,050	2,160	1,410	1,290		2000 L	2000 L	1000 L	1000 L
	50K (90 CRI)		1,400	1,470	960	880		1000 L	1000 L	1000 L	1000 L
	57K (70 CRI)		2,050	2,160	1,410	1,290		2000 L	2000 L	1000 L	1000 L

Field Adjustable Output (Q9/Q8/Q7/Q6/Q5/Q4/Q3/Q2/Q1) Option Description:

The Field Adjustable Output option enables the OSQ area luminaires to be tuned to the exact needs of a particular application through multiple levels of adjustment. When ordered with the Q option, the luminaire will be shipped from the factory at the selected Q setting and will be fully adjustable between the nine settings. When ordered with the N option, the luminaire will include an ANSI C136.15-2020 utility label that indicates the wattage (rounded to nearest 10W), the lumen output (rounded to nearest 1000 lumens), and the CCT of the luminaire at the selected lumen output. Additional dimming functionality is available when a dimming control (by others) is used in the 7-Pin receptacle.

Locked Lumen Output (X8/X7/X6/X5/X4/X3/X2/X1) Option Description:

The Locked Lumen Output option on this page permanently locks the lumen output on the OSQ area luminaire to the setting selected. When ordered with the X option, the luminaire will be shipped from the factory at the lumen output setting selected and will only be able to be adjusted down in the field through a dimming control (by others). When ordered with the N option, the luminaire will include a utility label that indicates the wattage, lumen output, and CCT of the setting selected.

Q & X Option Power & Lumen Data – 6L Lumen Package

Q/X Option Setting	CCT/CRI	System Watts 120-480V	Lumen Values				Utility Label Wattage	Utility Label Lumens			
			Asymmetric	Symmetric	2M, 3M, AF w/BLS	4M w/BLS		Asymmetric	Symmetric	2M, 3M, AF w/BLS	4M w/BLS
Q9 (Full Power)	30K (70 CRI)	37	5,475	5,750	3,760	3,440	40	5000 L	6000 L	4000 L	3000 L
	40K (70 CRI)		5,700	6,000	3,920	3,590		6000 L	6000 L	4000 L	4000 L
	50K (90 CRI)		3,880	4,080	2,670	2,440		4000 L	4000 L	3000 L	2000 L
	57K (70 CRI)		5,700	6,000	3,920	3,590		6000 L	6000 L	4000 L	4000 L
Q8/X8	30K (70 CRI)	34	5,200	5,475	3,580	3,280	30	5000 L	5000 L	4000 L	3000 L
	40K (70 CRI)		5,450	5,725	3,740	3,430		5000 L	6000 L	4000 L	3000 L
	50K (90 CRI)		3,700	3,890	2,540	2,330		4000 L	4000 L	3000 L	2000 L
	57K (70 CRI)		5,450	5,725	3,740	3,430		5000 L	6000 L	4000 L	3000 L
Q7/X7	30K (70 CRI)	32	4,990	5,250	3,430	3,140	30	5000 L	5000 L	3000 L	3000 L
	40K (70 CRI)		5,200	5,475	3,580	3,280		5000 L	5000 L	4000 L	3000 L
	50K (90 CRI)		3,550	3,730	2,440	2,230		4000 L	4000 L	2000 L	2000 L
	57K (70 CRI)		5,200	5,475	3,580	3,280		5000 L	5000 L	4000 L	3000 L
Q6/X6	30K (70 CRI)	30	4,820	5,075	3,320	3,040	30	5000 L	5000 L	3000 L	3000 L
	40K (70 CRI)		5,050	5,300	3,470	3,170		5000 L	5000 L	3000 L	3000 L
	50K (90 CRI)		3,430	3,610	2,360	2,160		3000 L	4000 L	2000 L	2000 L
	57K (70 CRI)		5,050	5,300	3,470	3,170		5000 L	5000 L	3000 L	3000 L
Q5/X5	30K (70 CRI)	28	4,420	4,650	3,040	2,780	30	4000 L	5000 L	3000 L	3000 L
	40K (70 CRI)		4,610	4,850	3,170	2,900		5000 L	5000 L	3000 L	3000 L
	50K (90 CRI)		3,140	3,300	2,160	1,980		3000 L	3000 L	2000 L	2000 L
	57K (70 CRI)		4,610	4,850	3,170	2,900		5000 L	5000 L	3000 L	3000 L
Q4/X4	30K (70 CRI)	25	4,010	4,220	2,760	2,530	30	4000 L	4000 L	3000 L	3000 L
	40K (70 CRI)		4,180	4,400	2,880	2,640		4000 L	4000 L	3000 L	3000 L
	50K (90 CRI)		2,840	2,990	1,960	1,790		3000 L	3000 L	2000 L	2000 L
	57K (70 CRI)		4,180	4,400	2,880	2,640		4000 L	4000 L	3000 L	3000 L
Q3/X3	30K (70 CRI)	23	3,710	3,900	2,550	2,340	20	4000 L	4000 L	3000 L	2000 L
	40K (70 CRI)		3,870	4,070	2,660	2,440		4000 L	4000 L	3000 L	2000 L
	50K (90 CRI)		2,630	2,770	1,810	1,660		3000 L	3000 L	2000 L	2000 L
	57K (70 CRI)		3,870	4,070	2,660	2,440		4000 L	4000 L	3000 L	2000 L
Q2/X2	30K (70 CRI)	20	3,340	3,510	2,300	2,100	20	3000 L	4000 L	2000 L	2000 L
	40K (70 CRI)		3,480	3,660	2,390	2,190		3000 L	4000 L	2000 L	2000 L
	50K (90 CRI)		2,370	2,490	1,630	1,490		2000 L	2000 L	2000 L	1000 L
	57K (70 CRI)		3,480	3,660	2,390	2,190		3000 L	4000 L	2000 L	2000 L
Q1/X1	30K (70 CRI)	18	2,950	3,100	2,030	1,860	20	3000 L	3000 L	2000 L	2000 L
	40K (70 CRI)		3,070	3,230	2,110	1,930		3000 L	3000 L	2000 L	2000 L
	50K (90 CRI)		2,090	2,200	1,440	1,320		2000 L	2000 L	1000 L	1000 L
	57K (70 CRI)		3,070	3,230	2,110	1,930		3000 L	3000 L	2000 L	2000 L

Field Adjustable Output (Q9/Q8/Q7/Q6/Q5/Q4/Q3/Q2/Q1) Option Description:

The Field Adjustable Output option enables the OSQ area luminaires to be tuned to the exact needs of a particular application through multiple levels of adjustment. When ordered with the Q option, the luminaire will be shipped from the factory at the selected Q setting and will be fully adjustable between the nine settings. When ordered with the N option, the luminaire will include an ANSI C136.15-2020 utility label that indicates the wattage (rounded to nearest 10W), the lumen output (rounded to nearest 1000 lumens), and the CCT of the luminaire at the selected lumen output. Additional dimming functionality is available when a dimming control (by others) is used in the 7-Pin receptacle.

Locked Lumen Output (X8/X7/X6/X5/X4/X3/X2/X1) Option Description:

The Locked Lumen Output option on this page permanently locks the lumen output on the OSQ area luminaire to the setting selected. When ordered with the X option, the luminaire will be shipped from the factory at the lumen output setting selected and will only be able to be adjusted down in the field through a dimming control (by others). When ordered with the N option, the luminaire will include a utility label that indicates the wattage, lumen output, and CCT of the setting selected.

Q & X Option Power & Lumen Data – 9L Lumen Package

Q/X Option Setting	CCT/CRI	System Watts 120-480V	Lumen Values				Utility Label Wattage	Utility Label Lumens			
			Asymmetric	Symmetric	2M, 3M, AF w/BLS	4M w/BLS		Asymmetric	Symmetric	2M, 3M, AF w/BLS	4M w/BLS
Q9 (Full Power)	30K (70 CRI)	55	8,225	8,650	5,650	5,175	60	8000 L	9000 L	6000 L	5000 L
	40K (70 CRI)		8,550	9,000	5,875	5,400		9000 L	9000 L	6000 L	5000 L
	50K (90 CRI)		5,825	6,125	4,000	3,670		6000 L	6000 L	4000 L	4000 L
	57K (70 CRI)		8,550	9,000	5,875	5,400		9000 L	9000 L	6000 L	5000 L
Q8/X8	30K (70 CRI)	53	7,850	8,250	5,400	4,940	50	8000 L	8000 L	5000 L	5000 L
	40K (70 CRI)		8,150	8,575	5,600	5,125		8000 L	9000 L	6000 L	5000 L
	50K (90 CRI)		5,550	5,850	3,830	3,500		6000 L	6000 L	4000 L	4000 L
	57K (70 CRI)		8,150	8,575	5,600	5,125		8000 L	9000 L	6000 L	5000 L
Q7/X7	30K (70 CRI)	50	7,500	7,900	5,175	4,730	50	8000 L	8000 L	5000 L	5000 L
	40K (70 CRI)		7,825	8,225	5,375	4,930		8000 L	8000 L	5000 L	5000 L
	50K (90 CRI)		5,325	5,600	3,660	3,350		5000 L	6000 L	4000 L	3000 L
	57K (70 CRI)		7,825	8,225	5,375	4,930		8000 L	8000 L	5000 L	5000 L
Q6/X6	30K (70 CRI)	48	7,275	7,650	5,000	4,580	50	7000 L	8000 L	5000 L	5000 L
	40K (70 CRI)		7,550	7,950	5,200	4,760		8000 L	8000 L	5000 L	5000 L
	50K (90 CRI)		5,150	5,425	3,550	3,250		5000 L	5000 L	4000 L	3000 L
	57K (70 CRI)		7,550	7,950	5,200	4,760		8000 L	8000 L	5000 L	5000 L
Q5/X5	30K (70 CRI)	43	6,650	7,000	4,580	4,190	40	7000 L	7000 L	5000 L	4000 L
	40K (70 CRI)		6,925	7,275	4,760	4,360		7000 L	7000 L	5000 L	4000 L
	50K (90 CRI)		4,710	4,950	3,240	2,960		5000 L	5000 L	3000 L	3000 L
	57K (70 CRI)		6,925	7,275	4,760	4,360		7000 L	7000 L	5000 L	4000 L
Q4/X4	30K (70 CRI)	40	6,025	6,350	4,150	3,800	40	6000 L	6000 L	4000 L	4000 L
	40K (70 CRI)		6,275	6,600	4,320	3,950		6000 L	7000 L	4000 L	4000 L
	50K (90 CRI)		4,280	4,500	2,940	2,700		4000 L	5000 L	3000 L	3000 L
	57K (70 CRI)		6,275	6,600	4,320	3,950		6000 L	7000 L	4000 L	4000 L
Q3/X3	30K (70 CRI)	36	5,575	5,875	3,840	3,520	40	6000 L	6000 L	4000 L	4000 L
	40K (70 CRI)		5,800	6,100	3,990	3,650		6000 L	6000 L	4000 L	4000 L
	50K (90 CRI)		3,940	4,150	2,710	2,490		4000 L	4000 L	3000 L	2000 L
	57K (70 CRI)		5,800	6,100	3,990	3,650		6000 L	6000 L	4000 L	4000 L
Q2/X2*	30K (70 CRI)	32	5,025	5,275	3,450	3,160	30	5000 L	5000 L	3000 L	3000 L
	40K (70 CRI)		5,225	5,500	3,600	3,290		5000 L	6000 L	4000 L	3000 L
	50K (90 CRI)		3,560	3,740	2,450	2,240		4000 L	4000 L	2000 L	2000 L
	57K (70 CRI)		5,225	5,500	3,600	3,290		5000 L	6000 L	4000 L	3000 L
Q1/X1*	30K (70 CRI)	29	4,430	4,660	3,050	2,790	30	4000 L	5000 L	3000 L	3000 L
	40K (70 CRI)		4,610	4,850	3,170	2,900		5000 L	5000 L	3000 L	3000 L
	50K (90 CRI)		3,140	3,300	2,160	1,980		3000 L	3000 L	2000 L	2000 L
	57K (70 CRI)		4,610	4,850	3,170	2,900		5000 L	5000 L	3000 L	3000 L

* X2 and X1 options not available with 9L lumen package with UL voltage.

Field Adjustable Output (Q9/Q8/Q7/Q6/Q5/Q4/Q3/Q2/Q1) Option Description:

The Field Adjustable Output option enables the OSQ area luminaires to be tuned to the exact needs of a particular application through multiple levels of adjustment. When ordered with the Q option, the luminaire will be shipped from the factory at the selected Q setting and will be fully adjustable between the nine settings. When ordered with the N option, the luminaire will include an ANSI C136.15-2020 utility label that indicates the wattage (rounded to nearest 10W), the lumen output (rounded to nearest 1000 lumens), and the CCT of the luminaire at the selected lumen output. Additional dimming functionality is available when a dimming control (by others) is used in the 7-Pin receptacle.

Locked Lumen Output (X8/X7/X6/X5/X4/X3/X2/X1) Option Description:

The Locked Lumen Output option on this page permanently locks the lumen output on the OSQ area luminaire to the setting selected. When ordered with the X option, the luminaire will be shipped from the factory at the lumen output setting selected and will only be able to be adjusted down in the field through a dimming control (by others). When ordered with the N option, the luminaire will include a utility label that indicates the wattage, lumen output, and CCT of the setting selected.

Q & X Option Power & Lumen Data – 11L Lumen Package

Q/X Option Setting	CCT/CRI	System Watts 120-480V	Lumen Values				Utility Label Wattage	Utility Label Lumens			
			Asymmetric	Symmetric	2M, 3M, AF w/BLS	4M w/BLS		Asymmetric	Symmetric	2M, 3M, AF w/BLS	4M w/BLS
Q9 (Full Power)	30K (70 CRI)	68	10,025	10,550	6,900	6,325	70	10000 L	11000 L	7000 L	6000 L
	40K (70 CRI)		10,450	11,000	7,200	6,600		10000 L	11000 L	7000 L	7000 L
	50K (90 CRI)		7,100	7,475	4,890	4,480		7000 L	7000 L	5000 L	4000 L
	57K (70 CRI)		10,450	11,000	7,200	6,600		10000 L	11000 L	7000 L	7000 L
Q8/X8	30K (70 CRI)	65	9,575	10,075	6,600	6,025	70	10000 L	10000 L	7000 L	6000 L
	40K (70 CRI)		9,975	10,500	6,875	6,300		10000 L	11000 L	7000 L	6000 L
	50K (90 CRI)		6,775	7,125	4,660	4,270		7000 L	7000 L	5000 L	4000 L
	57K (70 CRI)		9,975	10,500	6,875	6,300		10000 L	11000 L	7000 L	6000 L
Q7/X7	30K (70 CRI)	62	9,175	9,650	6,300	5,775	60	9000 L	10000 L	6000 L	6000 L
	40K (70 CRI)		9,550	10,050	6,575	6,025		10000 L	10000 L	7000 L	6000 L
	50K (90 CRI)		6,500	6,825	4,460	4,090		7000 L	7000 L	4000 L	4000 L
	57K (70 CRI)		9,550	10,050	6,575	6,025		10000 L	10000 L	7000 L	6000 L
Q6/X6	30K (70 CRI)	59	8,875	9,325	6,100	5,575	60	9000 L	9000 L	6000 L	6000 L
	40K (70 CRI)		9,250	9,725	6,350	5,825		9000 L	10000 L	6000 L	6000 L
	50K (90 CRI)		6,275	6,600	4,320	3,950		6000 L	7000 L	4000 L	4000 L
	57K (70 CRI)		9,250	9,725	6,350	5,825		9000 L	10000 L	6000 L	6000 L
Q5/X5	30K (70 CRI)	53	8,100	8,525	5,575	5,100	50	8000 L	9000 L	6000 L	5000 L
	40K (70 CRI)		8,450	8,900	5,825	5,325		8000 L	9000 L	6000 L	5000 L
	50K (90 CRI)		5,750	6,050	3,960	3,620		6000 L	6000 L	4000 L	4000 L
	57K (70 CRI)		8,450	8,900	5,825	5,325		8000 L	9000 L	6000 L	5000 L
Q4/X4	30K (70 CRI)	49	7,375	7,750	5,075	4,640	50	7000 L	8000 L	5000 L	5000 L
	40K (70 CRI)		7,675	8,075	5,275	4,840		8000 L	8000 L	5000 L	5000 L
	50K (90 CRI)		5,200	5,475	3,580	3,280		5000 L	5000 L	4000 L	3000 L
	57K (70 CRI)		7,675	8,075	5,275	4,840		8000 L	8000 L	5000 L	5000 L
Q3/X3	30K (70 CRI)	44	6,800	7,150	4,680	4,280	40	7000 L	7000 L	5000 L	4000 L
	40K (70 CRI)		7,075	7,450	4,870	4,460		7000 L	7000 L	5000 L	4000 L
	50K (90 CRI)		4,820	5,075	3,320	3,040		5000 L	5000 L	3000 L	3000 L
	57K (70 CRI)		7,075	7,450	4,870	4,460		7000 L	7000 L	5000 L	4000 L
Q2/X2	30K (70 CRI)	39	6,100	6,425	4,200	3,850	40	6000 L	6000 L	4000 L	4000 L
	40K (70 CRI)		6,375	6,700	4,380	4,010		6000 L	7000 L	4000 L	4000 L
	50K (90 CRI)		4,330	4,560	2,980	2,730		4000 L	5000 L	3000 L	3000 L
	57K (70 CRI)		6,375	6,700	4,380	4,010		6000 L	7000 L	4000 L	4000 L
Q1/X1	30K (70 CRI)	35	5,400	5,675	3,710	3,400	40	5000 L	6000 L	4000 L	3000 L
	40K (70 CRI)		5,625	5,925	3,870	3,550		6000 L	6000 L	4000 L	4000 L
	50K (90 CRI)		3,830	4,030	2,640	2,410		4000 L	4000 L	3000 L	2000 L
	57K (70 CRI)		5,625	5,925	3,870	3,550		6000 L	6000 L	4000 L	4000 L

Field Adjustable Output (Q9/Q8/Q7/Q6/Q5/Q4/Q3/Q2/Q1) Option Description:

The Field Adjustable Output option enables the OSQ area luminaires to be tuned to the exact needs of a particular application through multiple levels of adjustment. When ordered with the Q option, the luminaire will be shipped from the factory at the selected Q setting and will be fully adjustable between the nine settings. When ordered with the N option, the luminaire will include an ANSI C136.15-2020 utility label that indicates the wattage (rounded to nearest 10W), the lumen output (rounded to nearest 1000 lumens), and the CCT of the luminaire at the selected lumen output. Additional dimming functionality is available when a dimming control (by others) is used in the 7-Pin receptacle.

Locked Lumen Output (X8/X7/X6/X5/X4/X3/X2/X1) Option Description:

The Locked Lumen Output option on this page permanently locks the lumen output on the OSQ area luminaire to the setting selected. When ordered with the X option, the luminaire will be shipped from the factory at the lumen output setting selected and will only be able to be adjusted down in the field through a dimming control (by others). When ordered with the N option, the luminaire will include a utility label that indicates the wattage, lumen output, and CCT of the setting selected.

Q & X Option Power & Lumen Data – 16L Lumen Package

Q/X Option Setting	CCT/CRI	System Watts 120-480V	Lumen Values				Utility Label Wattage	Utility Label Lumens			
			Asymmetric	Symmetric	2M, 3M, AF w/BLS	4M w/BLS		Asymmetric	Symmetric	2M, 3M, AF w/BLS	4M w/BLS
Q9 (Full Power)	30K (70 CRI)	97	14,650	15,400	10,075	9,225	100	15000 L	15000 L	10000 L	9000 L
	40K (70 CRI)		15,200	16,000	10,450	9,575		15000 L	16000 L	10000 L	10000 L
	50K (90 CRI)		10,325	10,875	7,100	6,525		10000 L	11000 L	7000 L	7000 L
	57K (70 CRI)		15,200	16,000	10,450	9,575		15000 L	16000 L	10000 L	10000 L
Q8/X8	30K (70 CRI)	93	13,975	14,700	9,600	8,800	90	14000 L	15000 L	10000 L	9000 L
	40K (70 CRI)		14,550	15,300	10,000	9,175		15000 L	15000 L	10000 L	9000 L
	50K (90 CRI)		9,850	10,375	6,775	6,225		10000 L	10000 L	7000 L	6000 L
	57K (70 CRI)		14,550	15,300	10,000	9,175		15000 L	15000 L	10000 L	9000 L
Q7/X7	30K (70 CRI)	87	13,375	14,075	9,200	8,425	90	13000 L	14000 L	9000 L	8000 L
	40K (70 CRI)		13,900	14,625	9,575	8,750		14000 L	15000 L	10000 L	9000 L
	50K (90 CRI)		9,450	9,950	6,500	5,950		9000 L	10000 L	7000 L	6000 L
	57K (70 CRI)		13,900	14,625	9,575	8,750		14000 L	15000 L	10000 L	9000 L
Q6/X6	30K (70 CRI)	84	12,950	13,625	8,900	8,150	80	13000 L	14000 L	9000 L	8000 L
	40K (70 CRI)		13,450	14,150	9,250	8,475		13000 L	14000 L	9000 L	8000 L
	50K (90 CRI)		9,150	9,625	6,300	5,775		9000 L	10000 L	6000 L	6000 L
	57K (70 CRI)		13,450	14,150	9,250	8,475		13000 L	14000 L	9000 L	8000 L
Q5/X5	30K (70 CRI)	76	11,825	12,450	8,150	7,450	80	12000 L	12000 L	8000 L	7000 L
	40K (70 CRI)		12,275	12,925	8,450	7,750		12000 L	13000 L	8000 L	8000 L
	50K (90 CRI)		8,350	8,775	5,750	5,250		8000 L	9000 L	6000 L	5000 L
	57K (70 CRI)		12,275	12,925	8,450	7,750		12000 L	13000 L	8000 L	8000 L
Q4/X4	30K (70 CRI)	70	10,750	11,300	7,400	6,775	70	11000 L	11000 L	7000 L	7000 L
	40K (70 CRI)		11,175	11,750	7,675	7,025		11000 L	12000 L	8000 L	7000 L
	50K (90 CRI)		7,575	7,975	5,225	4,780		8000 L	8000 L	5000 L	5000 L
	57K (70 CRI)		11,175	11,750	7,675	7,025		11000 L	12000 L	8000 L	7000 L
Q3/X3	30K (70 CRI)	62	9,925	10,450	6,825	6,250	60	10000 L	10000 L	7000 L	6000 L
	40K (70 CRI)		10,325	10,850	7,100	6,500		10000 L	11000 L	7000 L	7000 L
	50K (90 CRI)		7,000	7,375	4,820	4,420		7000 L	7000 L	5000 L	4000 L
	57K (70 CRI)		10,325	10,850	7,100	6,500		10000 L	11000 L	7000 L	7000 L
Q2/X2	30K (70 CRI)	55	8,925	9,400	6,150	5,625	60	9000 L	9000 L	6000 L	6000 L
	40K (70 CRI)		9,275	9,750	6,375	5,850		9000 L	10000 L	6000 L	6000 L
	50K (90 CRI)		6,300	6,625	4,330	3,970		6000 L	7000 L	4000 L	4000 L
	57K (70 CRI)		9,275	9,750	6,375	5,850		9000 L	10000 L	6000 L	6000 L
Q1*	30K (70 CRI)	50	7,900	8,300	5,425	4,970	50	8000 L	8000 L	5000 L	5000 L
	40K (70 CRI)		8,200	8,625	5,650	5,175		8000 L	9000 L	6000 L	5000 L
	50K (90 CRI)		5,550	5,850	3,830	3,500		6000 L	6000 L	4000 L	4000 L
	57K (70 CRI)		8,200	8,625	5,650	5,175		8000 L	9000 L	6000 L	5000 L

* X1 option not available with 16L lumen package.

Field Adjustable Output (Q9/Q8/Q7/Q6/Q5/Q4/Q3/Q2/Q1) Option Description:

The Field Adjustable Output option enables the OSQ area luminaires to be tuned to the exact needs of a particular application through multiple levels of adjustment. When ordered with the Q option, the luminaire will be shipped from the factory at the selected Q setting and will be fully adjustable between the nine settings. When ordered with the N option, the luminaire will include an ANSI C136.15-2020 utility label that indicates the wattage (rounded to nearest 10W), the lumen output (rounded to nearest 1000 lumens), and the CCT of the luminaire at the selected lumen output. Additional dimming functionality is available when a dimming control (by others) is used in the 7-Pin receptacle.

Locked Lumen Output (X8/X7/X6/X5/X4/X3/X2/X1) Option Description:

The Locked Lumen Output option on this page permanently locks the lumen output on the OSQ area luminaire to the setting selected. When ordered with the X option, the luminaire will be shipped from the factory at the lumen output setting selected and will only be able to be adjusted down in the field through a dimming control (by others). When ordered with the N option, the luminaire will include a utility label that indicates the wattage, lumen output, and CCT of the setting selected.

Q & X Option Power & Lumen Data – 22L Lumen Package

Q/X Option Setting	CCT/CRI	System Watts 120-480V	Lumen Values				Utility Label Wattage	Utility Label Lumens			
			Asymmetric	Symmetric	2M, 3M, AF w/BLS	4M w/BLS		Asymmetric	Symmetric	2M, 3M, AF w/BLS	4M w/BLS
Q9 (Full Power)	30K (70 CRI)	131	20,100	21,100	13,800	12,625	130	20000 L	21000 L	14000 L	13000 L
	40K (70 CRI)		20,900	22,000	14,375	13,175		21000 L	22000 L	14000 L	13000 L
	50K (90 CRI)		14,200	14,950	9,775	8,950		14000 L	15000 L	10000 L	9000 L
	57K (70 CRI)		20,900	22,000	14,375	13,175		21000 L	22000 L	14000 L	13000 L
Q8/X8	30K (70 CRI)	126	19,100	20,100	13,150	12,050	130	19000 L	20000 L	13000 L	12000 L
	40K (70 CRI)		20,000	21,000	13,725	12,575		20000 L	21000 L	14000 L	13000 L
	50K (90 CRI)		13,550	14,250	9,325	8,525		14000 L	14000 L	9000 L	9000 L
	57K (70 CRI)		20,000	21,000	13,725	12,575		20000 L	21000 L	14000 L	13000 L
Q7/X7	30K (70 CRI)	119	18,300	19,300	12,625	11,550	120	18000 L	19000 L	13000 L	12000 L
	40K (70 CRI)		19,100	20,100	13,150	12,050		19000 L	20000 L	13000 L	12000 L
	50K (90 CRI)		13,000	13,675	8,950	8,200		13000 L	14000 L	9000 L	8000 L
	57K (70 CRI)		19,100	20,100	13,150	12,050		19000 L	20000 L	13000 L	12000 L
Q6/X6	30K (70 CRI)	114	17,800	18,700	12,225	11,200	110	18000 L	19000 L	12000 L	11000 L
	40K (70 CRI)		18,400	19,400	12,675	11,625		18000 L	19000 L	13000 L	12000 L
	50K (90 CRI)		12,575	13,225	8,650	7,925		13000 L	13000 L	9000 L	8000 L
	57K (70 CRI)		18,400	19,400	12,675	11,625		18000 L	19000 L	13000 L	12000 L
Q5/X5	30K (70 CRI)	103	16,200	17,000	11,125	10,175	100	16000 L	17000 L	11000 L	10000 L
	40K (70 CRI)		16,900	17,800	11,650	10,650		17000 L	18000 L	12000 L	11000 L
	50K (90 CRI)		11,475	12,075	7,900	7,225		11000 L	12000 L	8000 L	7000 L
	57K (70 CRI)		16,900	17,800	11,650	10,650		17000 L	18000 L	12000 L	11000 L
Q4/X4	30K (70 CRI)	95	14,725	15,500	10,125	9,275	100	15000 L	16000 L	10000 L	9000 L
	40K (70 CRI)		15,300	16,100	10,525	9,650		15000 L	16000 L	11000 L	10000 L
	50K (90 CRI)		10,425	10,975	7,175	6,575		10000 L	11000 L	7000 L	7000 L
	57K (70 CRI)		15,300	16,100	10,525	9,650		15000 L	16000 L	11000 L	10000 L
Q3/X3	30K (70 CRI)	84	13,600	14,300	9,350	8,575	80	14000 L	14000 L	9000 L	9000 L
	40K (70 CRI)		14,175	14,925	9,750	8,950		14000 L	15000 L	10000 L	9000 L
	50K (90 CRI)		9,625	10,125	6,625	6,075		10000 L	10000 L	7000 L	6000 L
	57K (70 CRI)		14,175	14,925	9,750	8,950		14000 L	15000 L	10000 L	9000 L
Q2/X2	30K (70 CRI)	75	12,250	12,875	8,425	7,700	80	12000 L	13000 L	8000 L	8000 L
	40K (70 CRI)		12,750	13,425	8,775	8,050		13000 L	13000 L	9000 L	8000 L
	50K (90 CRI)		8,675	9,125	5,975	5,475		9000 L	9000 L	6000 L	5000 L
	57K (70 CRI)		12,750	13,425	8,775	8,050		13000 L	13000 L	9000 L	8000 L
Q1/X1	30K (70 CRI)	68	10,825	11,375	7,450	6,825	70	11000 L	11000 L	7000 L	7000 L
	40K (70 CRI)		11,275	11,850	7,750	7,100		11000 L	12000 L	8000 L	7000 L
	50K (90 CRI)		7,650	8,050	5,275	4,820		8000 L	8000 L	5000 L	5000 L
	57K (70 CRI)		11,275	11,850	7,750	7,100		11000 L	12000 L	8000 L	7000 L

Field Adjustable Output (Q9/Q8/Q7/Q6/Q5/Q4/Q3/Q2/Q1) Option Description:

The Field Adjustable Output option enables the OSQ area luminaires to be tuned to the exact needs of a particular application through multiple levels of adjustment. When ordered with the Q option, the luminaire will be shipped from the factory at the selected Q setting and will be fully adjustable between the nine settings. When ordered with the N option, the luminaire will include an ANSI C136.15-2020 utility label that indicates the wattage (rounded to nearest 10W), the lumen output (<= 24,000 lumens rounded to nearest 1000 lumens, > 24,001 lumens rounded to the nearest 2000 lumens), and the CCT of the luminaire at the selected lumen output. Additional dimming functionality is available when a dimming control (by others) is used in the 7-Pin receptacle.

Locked Lumen Output (X8/X7/X6/X5/X4/X3/X2/X1) Option Description:

The Locked Lumen Output option on this page permanently locks the lumen output on the OSQ area luminaire to the setting selected. When ordered with the X option, the luminaire will be shipped from the factory at the lumen output setting selected and will only be able to be adjusted down in the field through a dimming control (by others). When ordered with the N option, the luminaire will include a utility label that indicates the wattage, lumen output, and CCT of the setting selected.

Q & X Option Power & Lumen Data – 30L Lumen Package

Q/X Option Setting	CCT/CRI	System Watts 120-480V	Lumen Values				Utility Label Wattage	Utility Label Lumens			
			Asymmetric	Symmetric	2M, 3M, AF w/BLS	4M w/BLS		Asymmetric	Symmetric	2M, 3M, AF w/BLS	4M w/BLS
Q9 (Full Power)	30K (70 CRI)	175	27,400	28,800	18,800	17,200	130	28000 L	28000 L	19000 L	17000 L
	40K (70 CRI)		28,500	30,000	19,600	18,000		28000 L	30000 L	20000 L	18000 L
	50K (90 CRI)		19,400	20,400	13,350	12,225		19000 L	20000 L	13000 L	12000 L
	57K (70 CRI)		28,500	30,000	19,600	18,000		28000 L	30000 L	20000 L	18000 L
Q8/X8	30K (70 CRI)	168	26,100	27,500	18,000	16,500	170	26000 L	28000 L	18000 L	17000 L
	40K (70 CRI)		27,200	28,600	18,700	17,100		28000 L	28000 L	19000 L	17000 L
	50K (90 CRI)		18,500	19,500	12,750	11,675		19000 L	20000 L	13000 L	12000 L
	57K (70 CRI)		27,200	28,600	18,700	17,100		28000 L	28000 L	19000 L	17000 L
Q7/X7	30K (70 CRI)	158	25,000	26,300	17,200	15,800	160	26000 L	26000 L	17000 L	16000 L
	40K (70 CRI)		26,000	27,400	17,900	16,400		26000 L	28000 L	18000 L	16000 L
	50K (90 CRI)		17,700	18,600	12,150	11,150		18000 L	19000 L	12000 L	11000 L
	57K (70 CRI)		26,000	27,400	17,900	16,400		26000 L	28000 L	18000 L	16000 L
Q6/X6	30K (70 CRI)	152	24,200	25,500	16,700	15,300	150	24000 L	26000 L	17000 L	15000 L
	40K (70 CRI)		25,200	26,500	17,300	15,900		26000 L	26000 L	17000 L	16000 L
	50K (90 CRI)		17,100	18,000	11,775	10,775		17000 L	18000 L	12000 L	11000 L
	57K (70 CRI)		25,200	26,500	17,300	15,900		26000 L	26000 L	17000 L	16000 L
Q5/X5	30K (70 CRI)	137	22,100	23,300	15,200	13,950	140	22000 L	23000 L	15000 L	14000 L
	40K (70 CRI)		23,000	24,200	15,800	14,500		23000 L	24000 L	16000 L	15000 L
	50K (90 CRI)		15,700	16,500	10,800	9,875		16000 L	17000 L	11000 L	10000 L
	57K (70 CRI)		23,000	24,200	15,800	14,500		23000 L	24000 L	16000 L	15000 L
Q4/X4	30K (70 CRI)	126	20,100	21,100	13,800	12,625	130	20000 L	21000 L	14000 L	13000 L
	40K (70 CRI)		20,900	22,000	14,375	13,175		21000 L	22000 L	14000 L	13000 L
	50K (90 CRI)		14,225	14,975	9,800	8,975		14000 L	15000 L	10000 L	9000 L
	57K (70 CRI)		20,900	22,000	14,375	13,175		21000 L	22000 L	14000 L	13000 L
Q3/X3	30K (70 CRI)	113	18,500	19,500	12,750	11,675	110	19000 L	20000 L	13000 L	12000 L
	40K (70 CRI)		19,300	20,300	13,275	12,150		19000 L	20000 L	13000 L	12000 L
	50K (90 CRI)		13,150	13,825	9,050	8,275		13000 L	14000 L	9000 L	8000 L
	57K (70 CRI)		19,300	20,300	13,275	12,150		19000 L	20000 L	13000 L	12000 L
Q2/X2	30K (70 CRI)	100	16,700	17,600	11,500	10,550	100	17000 L	18000 L	12000 L	11000 L
	40K (70 CRI)		17,400	18,300	11,975	10,950		17000 L	18000 L	12000 L	11000 L
	50K (90 CRI)		11,825	12,450	8,150	7,450		12000 L	12000 L	8000 L	7000 L
	57K (70 CRI)		17,400	18,300	11,975	10,950		17000 L	18000 L	12000 L	11000 L
Q1*	30K (70 CRI)	90	14,725	15,500	10,125	9,275	90	15000 L	16000 L	10000 L	9000 L
	40K (70 CRI)		15,400	16,200	10,600	9,700		15000 L	16000 L	11000 L	10000 L
	50K (90 CRI)		10,450	11,000	7,200	6,600		10000 L	11000 L	7000 L	7000 L
	57K (70 CRI)		15,400	16,200	10,600	9,700		15000 L	16000 L	11000 L	10000 L

* X1 option not available with 30L lumen package.

Field Adjustable Output (Q9/Q8/Q7/Q6/Q5/Q4/Q3/Q2/Q1) Option Description:

The Field Adjustable Output option enables the OSQ area luminaires to be tuned to the exact needs of a particular application through multiple levels of adjustment. When ordered with the Q option, the luminaire will be shipped from the factory at the selected Q setting and will be fully adjustable between the nine settings. When ordered with the N option, the luminaire will include an ANSI C136.15-2020 utility label that indicates the wattage (rounded to nearest 10W), the lumen output (<= 24,000 lumens rounded to nearest 1000 lumens, > 24,001 lumens rounded to the nearest 2000 lumens), and the CCT of the luminaire at the selected lumen output. Additional dimming functionality is available when a dimming control (by others) is used in the 7-Pin receptacle.

Locked Lumen Output (X8/X7/X6/X5/X4/X3/X2/X1) Option Description:

The Locked Lumen Output option on this page permanently locks the lumen output on the OSQ area luminaire to the setting selected. When ordered with the X option, the luminaire will be shipped from the factory at the lumen output setting selected and will only be able to be adjusted down in the field through a dimming control (by others). When ordered with the N option, the luminaire will include a utility label that indicates the wattage, lumen output, and CCT of the setting selected.

Q & X Option Power & Lumen Data – 40L Lumen Package

Q/X Option Setting	CCT/CRI	System Watts 120-480V	Lumen Values				Utility Label Wattage	Utility Label Lumens			
			Asymmetric	Symmetric	2M, 3M, AF w/BLS	4M w/BLS		Asymmetric	Symmetric	2M, 3M, AF w/BLS	4M w/BLS
Q9 (Full Power)	30K (70 CRI)	236	36,500	38,400	25,100	23,000	130	36000 L	38000 L	26000 L	23000 L
	40K (70 CRI)		38,000	40,000	26,200	24,000		38000 L	40000 L	26000 L	24000 L
	50K (90 CRI)		25,900	27,200	17,800	16,300		26000 L	28000 L	18000 L	16000 L
	57K (70 CRI)		38,000	40,000	26,200	24,000		38000 L	40000 L	26000 L	24000 L
Q8/X8	30K (70 CRI)	212	34,800	36,600	23,900	21,900	210	34000 L	36000 L	24000 L	22000 L
	40K (70 CRI)		36,300	38,200	25,000	22,900		36000 L	38000 L	26000 L	23000 L
	50K (90 CRI)		24,600	25,900	16,900	15,500		24000 L	26000 L	17000 L	16000 L
	57K (70 CRI)		36,300	38,200	25,000	22,900		36000 L	38000 L	26000 L	23000 L
Q7/X7	30K (70 CRI)	203	33,400	35,100	23,000	21,000	200	34000 L	36000 L	23000 L	21000 L
	40K (70 CRI)		34,800	36,600	23,900	21,900		34000 L	36000 L	24000 L	22000 L
	50K (90 CRI)		23,700	24,900	16,300	14,925		24000 L	24000 L	16000 L	15000 L
	57K (70 CRI)		34,800	36,600	23,900	21,900		34000 L	36000 L	24000 L	22000 L
Q6/X6	30K (70 CRI)	195	32,200	33,900	22,200	20,300	200	32000 L	34000 L	22000 L	20000 L
	40K (70 CRI)		33,600	35,400	23,100	21,200		34000 L	36000 L	23000 L	21000 L
	50K (90 CRI)		22,800	24,000	15,700	14,375		23000 L	24000 L	16000 L	14000 L
	57K (70 CRI)		33,600	35,400	23,100	21,200		34000 L	36000 L	23000 L	21000 L
Q5/X5	30K (70 CRI)	176	29,500	31,000	20,300	18,600	180	30000 L	32000 L	20000 L	19000 L
	40K (70 CRI)		30,700	32,300	21,100	19,300		30000 L	32000 L	21000 L	19000 L
	50K (90 CRI)		20,900	22,000	14,375	13,175		21000 L	22000 L	14000 L	13000 L
	57K (70 CRI)		30,700	32,300	21,100	19,300		30000 L	32000 L	21000 L	19000 L
Q4/X4	30K (70 CRI)	160	26,800	28,200	18,400	16,900	160	26000 L	28000 L	18000 L	17000 L
	40K (70 CRI)		27,900	29,400	19,200	17,600		28000 L	30000 L	19000 L	18000 L
	50K (90 CRI)		19,000	20,000	13,075	11,975		19000 L	20000 L	13000 L	12000 L
	57K (70 CRI)		27,900	29,400	19,200	17,600		28000 L	30000 L	19000 L	18000 L
Q3/X3	30K (70 CRI)	144	24,700	26,000	17,000	15,600	140	24000 L	26000 L	17000 L	16000 L
	40K (70 CRI)		25,800	27,100	17,700	16,200		26000 L	28000 L	18000 L	16000 L
	50K (90 CRI)		17,500	18,400	12,025	11,025		18000 L	18000 L	12000 L	11000 L
	57K (70 CRI)		25,800	27,100	17,700	16,200		26000 L	28000 L	18000 L	16000 L
Q2/X2	30K (70 CRI)	129	22,200	23,400	15,300	14,025	130	22000 L	23000 L	15000 L	14000 L
	40K (70 CRI)		23,200	24,400	16,000	14,625		23000 L	24000 L	16000 L	15000 L
	50K (90 CRI)		15,800	16,600	10,850	9,950		16000 L	17000 L	11000 L	10000 L
	57K (70 CRI)		23,200	24,400	16,000	14,625		23000 L	24000 L	16000 L	15000 L
Q1/X1	30K (70 CRI)	111	19,700	20,700	13,525	12,400	110	20000 L	21000 L	14000 L	12000 L
	40K (70 CRI)		20,500	21,600	14,125	12,925		21000 L	22000 L	14000 L	13000 L
	50K (90 CRI)		13,925	14,650	9,575	8,775		14000 L	15000 L	10000 L	9000 L
	57K (70 CRI)		20,500	21,600	14,125	12,925		21000 L	22000 L	14000 L	13000 L

Field Adjustable Output (Q9/Q8/Q7/Q6/Q5/Q4/Q3/Q2/Q1) Option Description:

The Field Adjustable Output option enables the OSQ area luminaires to be tuned to the exact needs of a particular application through multiple levels of adjustment. When ordered with the Q option, the luminaire will be shipped from the factory at the selected Q setting and will be fully adjustable between the nine settings.

Locked Lumen Output (X8/X7/X6/X5/X4/X3/X2/X1) Option Description:

The Locked Lumen Output option on this page permanently locks the lumen output on the OSQ area luminaire to the setting selected. When ordered with the X option, the luminaire will be shipped from the factory at the lumen output setting selected and will only be able to be adjusted down in the field through a dimming control [by others].

Q & X Option Power & Lumen Data – 50L Lumen Package

Q/X Option Setting	CCT/CRI	System Watts 120-480V	Lumen Values			
			Asymmetric	Symmetric	2M, 3M, AF w/BLS	4M w/BLS
Q9 (Full Power)	30K (70 CRI)	297	45,600	48,000	31,400	28,700
	40K (70 CRI)		47,500	50,000	32,700	29,900
	50K (90 CRI)		32,300	34,000	22,200	20,400
	57K (70 CRI)		47,500	50,000	32,700	29,900
Q8/X8	30K (70 CRI)	285	43,500	45,800	29,900	27,400
	40K (70 CRI)		45,300	47,700	31,200	28,600
	50K (90 CRI)		30,800	32,400	21,200	19,400
	57K (70 CRI)		45,300	47,700	31,200	28,600
Q7/X7	30K (70 CRI)	269	41,700	43,900	28,700	26,300
	40K (70 CRI)		43,400	45,700	29,900	27,400
	50K (90 CRI)		29,600	31,100	20,300	18,600
	57K (70 CRI)		43,400	45,700	29,900	27,400
Q6/X6	30K (70 CRI)	258	40,300	42,400	27,700	25,400
	40K (70 CRI)		42,000	44,200	28,900	26,500
	50K (90 CRI)		28,600	30,100	19,700	18,000
	57K (70 CRI)		42,000	44,200	28,900	26,500
Q5/X5	30K (70 CRI)	233	36,900	38,800	25,400	23,200
	40K (70 CRI)		38,400	40,400	26,400	24,200
	50K (90 CRI)		26,100	27,500	18,000	16,500
	57K (70 CRI)		38,400	40,400	26,400	24,200
Q4/X4	30K (70 CRI)	215	33,500	35,200	23,000	21,100
	40K (70 CRI)		34,900	36,700	24,000	22,000
	50K (90 CRI)		23,800	25,000	16,300	14,975
	57K (70 CRI)		34,900	36,700	24,000	22,000
Q3/X3	30K (70 CRI)	191	30,900	32,500	21,300	19,500
	40K (70 CRI)		32,200	33,900	22,200	20,300
	50K (90 CRI)		22,000	23,100	15,100	13,825
	57K (70 CRI)		32,200	33,900	22,200	20,300
Q2/X2	30K (70 CRI)	170	27,900	29,300	19,200	17,500
	40K (70 CRI)		29,000	30,500	19,900	18,300
	50K (90 CRI)		19,700	20,700	13,525	12,400
	57K (70 CRI)		29,000	30,500	19,900	18,300
Q1/X1	30K (70 CRI)	153	24,600	25,900	16,900	15,500
	40K (70 CRI)		25,700	27,000	17,700	16,200
	50K (90 CRI)		17,400	18,300	11,975	10,950
	57K (70 CRI)		25,700	27,000	17,700	16,200

Field Adjustable Output (Q9/Q8/Q7/Q6/Q5/Q4/Q3/Q2/Q1) Option Description:

The Field Adjustable Output option enables the OSQ area luminaires to be tuned to the exact needs of a particular application through multiple levels of adjustment. When ordered with the Q option, the luminaire will be shipped from the factory at the selected Q setting and will be fully adjustable between the nine settings.

Locked Lumen Output (X8/X7/X6/X5/X4/X3/X2/X1) Option Description:

The Locked Lumen Output option on this page permanently locks the lumen output on the OSQ area luminaire to the setting selected. When ordered with the X option, the luminaire will be shipped from the factory at the lumen output setting selected and will only be able to be adjusted down in the field through a dimming control [by others].

Q & X Option Power & Lumen Data – 65L Lumen Package

Q/X Option Setting	CCT/CRI	System Watts 120-480V	Lumen Values			
			Asymmetric	Symmetric	2M, 3M, AF w/BLS	4M w/BLS
Q9 (Full Power)	30K (70 CRI)	384	59,300	62,400	40,800	37,400
	40K (70 CRI)		61,800	65,000	42,500	38,900
	50K (90 CRI)		42,000	44,200	28,900	26,500
	57K (70 CRI)		61,800	65,000	42,500	38,900
Q8/X8	30K (70 CRI)	365	56,600	59,500	38,900	35,600
	40K (70 CRI)		58,900	62,000	40,500	37,100
	50K (90 CRI)		40,100	42,200	27,600	25,300
	57K (70 CRI)		58,900	62,000	40,500	37,100
Q7/X7	30K (70 CRI)	347	54,200	57,000	37,300	34,100
	40K (70 CRI)		56,500	59,400	38,800	35,600
	50K (90 CRI)		38,400	40,400	26,400	24,200
	57K (70 CRI)		56,500	59,400	38,800	35,600
Q6/X6	30K (70 CRI)	332	52,500	55,200	36,100	33,100
	40K (70 CRI)		54,700	57,500	37,600	34,400
	50K (90 CRI)		37,200	39,100	25,600	23,400
	57K (70 CRI)		54,700	57,500	37,600	34,400
Q5/X5	30K (70 CRI)	301	47,900	50,400	33,000	30,200
	40K (70 CRI)		49,900	52,500	34,300	31,400
	50K (90 CRI)		33,900	35,700	23,300	21,400
	57K (70 CRI)		49,900	52,500	34,300	31,400
Q4/X4	30K (70 CRI)	276	43,500	45,800	29,900	27,400
	40K (70 CRI)		45,300	47,700	31,200	28,600
	50K (90 CRI)		30,800	32,400	21,200	19,400
	57K (70 CRI)		45,300	47,700	31,200	28,600
Q3/X3	30K (70 CRI)	247	40,200	42,300	27,700	25,300
	40K (70 CRI)		41,900	44,100	28,800	26,400
	50K (90 CRI)		28,500	30,000	19,600	18,000
	57K (70 CRI)		41,900	44,100	28,800	26,400
Q2/X2	30K (70 CRI)	220	36,200	38,100	24,900	22,800
	40K (70 CRI)		37,700	39,700	26,000	23,800
	50K (90 CRI)		25,700	27,000	17,700	16,200
	57K (70 CRI)		37,700	39,700	26,000	23,800
Q1*	30K (70 CRI)	195	31,900	33,600	22,000	20,100
	40K (70 CRI)		33,300	35,000	22,900	21,000
	50K (90 CRI)		22,600	23,800	15,600	14,250
	57K (70 CRI)		33,300	35,000	22,900	21,000

* X1 option not available with 65L lumen package.

Field Adjustable Output (Q9/Q8/Q7/Q6/Q5/Q4/Q3/Q2/Q1) Option Description:

The Field Adjustable Output option enables the OSQ area luminaires to be tuned to the exact needs of a particular application through multiple levels of adjustment. When ordered with the Q option, the luminaire will be shipped from the factory at the selected Q setting and will be fully adjustable between the nine settings.

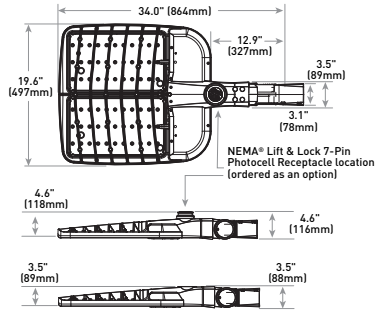
Locked Lumen Output (X8/X7/X6/X5/X4/X3/X2/X1) Option Description:

The Locked Lumen Output option on this page permanently locks the lumen output on the OSQ area luminaire to the setting selected. When ordered with the X option, the luminaire will be shipped from the factory at the lumen output setting selected and will only be able to be adjusted down in the field through a dimming control [by others].

Q & X Option Power & Lumen Data – 75L Lumen Package

Q/X Option Setting	CCT/CRI	System Watts 120-480V	Lumen Values			
			Asymmetric	Symmetric	2M, 3M, AF w/BLS	4M w/BLS
Q9 (Full Power)	30K (70 CRI)	447	68,400	72,000	47,100	43,100
	40K (70 CRI)		71,300	75,000	49,000	44,900
	50K (90 CRI)		48,500	51,000	33,300	30,500
	57K (70 CRI)		71,300	75,000	49,000	44,900
Q8/X8	30K (70 CRI)	426	65,300	68,700	44,900	41,100
	40K (70 CRI)		68,100	71,600	46,800	42,900
	50K (90 CRI)		46,300	48,700	31,800	29,200
	57K (70 CRI)		68,100	71,600	46,800	42,900
Q7/X7	30K (70 CRI)	404	62,500	65,800	43,000	39,400
	40K (70 CRI)		65,200	68,600	44,900	41,100
	50K (90 CRI)		44,300	46,600	30,500	27,900
	57K (70 CRI)		65,200	68,600	44,900	41,100
Q6/X6	30K (70 CRI)	387	60,500	63,600	41,600	38,100
	40K (70 CRI)		63,000	66,300	43,400	39,700
	50K (90 CRI)		42,900	45,100	29,500	27,000
	57K (70 CRI)		63,000	66,300	43,400	39,700
Q5/X5	30K (70 CRI)	350	55,300	58,200	38,100	34,900
	40K (70 CRI)		57,600	60,600	39,600	36,300
	50K (90 CRI)		39,200	41,200	26,900	24,700
	57K (70 CRI)		57,600	60,600	39,600	36,300
Q4/X4	30K (70 CRI)	321	50,200	52,800	34,500	31,600
	40K (70 CRI)		52,400	55,100	36,000	33,000
	50K (90 CRI)		35,600	37,400	24,500	22,400
	57K (70 CRI)		52,400	55,100	36,000	33,000
Q3/X3	30K (70 CRI)	287	46,400	48,800	31,900	29,200
	40K (70 CRI)		48,400	50,900	33,300	30,500
	50K (90 CRI)		32,900	34,600	22,600	20,700
	57K (70 CRI)		48,400	50,900	33,300	30,500
Q2/X2	30K (70 CRI)	256	41,700	43,900	28,700	26,300
	40K (70 CRI)		43,500	45,800	29,900	27,400
	50K (90 CRI)		29,600	31,100	20,300	18,600
	57K (70 CRI)		43,500	45,800	29,900	27,400
Q1/X1	30K (70 CRI)	227	36,900	38,800	25,400	23,200
	40K (70 CRI)		38,400	40,400	26,400	24,200
	50K (90 CRI)		26,100	27,500	18,000	16,500
	57K (70 CRI)		38,400	40,400	26,400	24,200

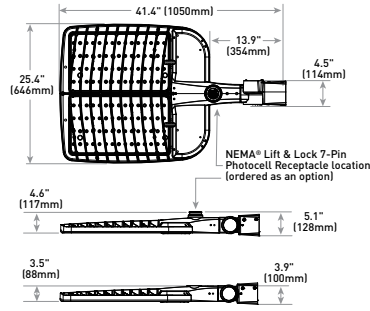
OSQL - AA Mount



Luminaire	Weight
OSQL	28.4 lbs. (12.9kg)

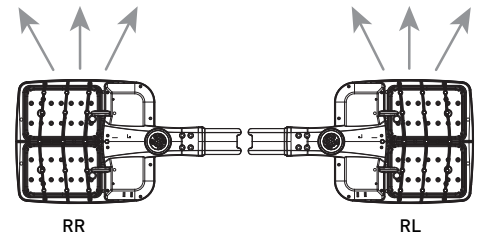
Note: For OSQM w/AA mount, refer to drawing on page 1.

OSQX - AA Mount

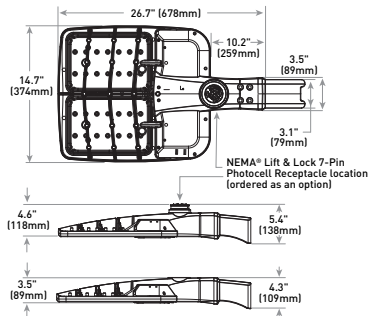


Luminaire	Weight
OSQX	48.6 lbs. (22.0kg)

RR/RL Configuration



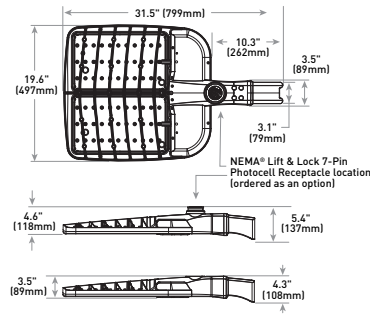
OSQM - DA Mount



Luminaire	Weight
OSQM	19.7 lbs. (8.9kg)

Note: Refer to page 14 for fixture mounting drill pattern.

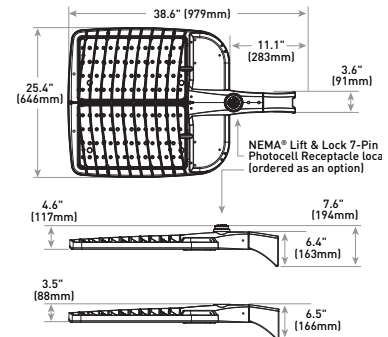
OSQL - DA Mount



Luminaire	Weight
OSQL	28.8 lbs. (13.1kg)

Note: Refer to page 14 for fixture mounting drill pattern.

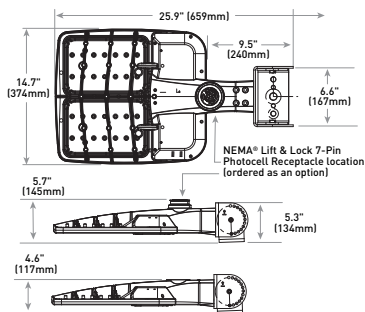
OSQX-DA Mount



Luminaire	Weight
OSQX	45.8 lbs. (20.8kg)

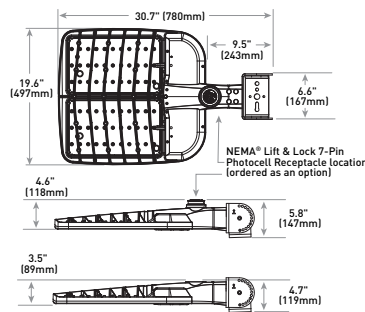
Note: Refer to page 14 for fixture mounting drill pattern.

OSQM - Trunnion Mount



Luminaire	Weight
OSQM	23.2 lbs. (10.5kg)

OSQL - Trunnion Mount



Luminaire	Weight
OSQL	32.3 lbs. (14.7kg)

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Catalog Number
Notes
Type

FEATURES & SPECIFICATIONS

INTENDED USE

Provides years of maintenance-free illumination for outdoor use in residential & commercial applications. Ideal for applications such as lighting walkways and stairways for safety and security.

CONSTRUCTION

Cast-aluminum housing with corrosion-resistant paint in either dark bronze or white finish.

ADA compliant.

OPTICS

4000K CCT LEDs.

Polycarbonate lens protects the LED from moisture, dirt and other contaminants.

LUMEN MAINTENANCE: The LED will deliver 70% of its initial lumens at 50,000 hour average LED life. See Lighting Facts label on page 2 for performance details.

ELECTRICAL

MVOLT driver operates on any line voltage from 120-277V

Operating temperature -30°C to 40°C.

1KV surge protection standard.

INSTALLATION

Surface mounts to universal junction box (provided by others).

LISTINGS

UL Listed to U.S. and Canadian safety standards for wet locations.

Tested in accordance with IESNA LM-79 and LM-80 standards.

WARRANTY — 5-year limited warranty. This is the only warranty provided and no other statements in this specification sheet create any warranty of any kind. All other express and implied warranties are disclaimed. Complete warranty terms located at:

www.acuitybrands.com/support/customer-support/terms-and-conditions

Note: Actual performance may differ as a result of end-user environment and application.

All values are design or typical values, measured under laboratory conditions at 25 °C.

Specifications subject to change without notice.

Outdoor General Purpose

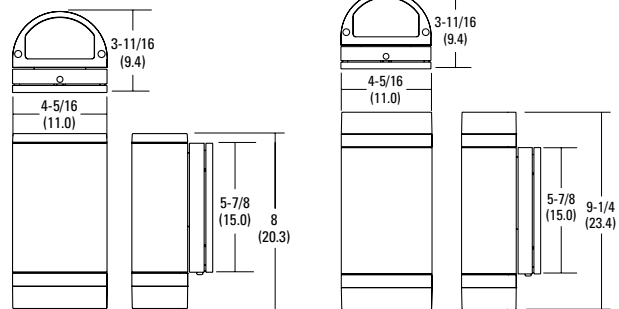
OLLWD & OLLWU

LED WALL CYLINDER LIGHT



Specifications

All dimensions are inches (centimeters)



CONTRACTOR TO VERIFY THAT FIXTURES CAN BE MOUNTED PER PLAN AND ALL NECESSARY HARDWARE IS SPECIFIED FOR INSTALLATION PRIOR TO PURCHASING

ORDERING INFORMATION

For shortest lead times, configure products using **bolded options**.

Example: OLLWD LED P1 40K MVOLT DDB

Series	Performance Package	Color temperature (CCT)	Voltage	Finish
OLLWD LED Downlight	P1	40K 4000K	MVOLT 120V-277V	DDB Dark bronze
OLLWU LED Up & downlight			120 120V ¹	WH White ²

Notes

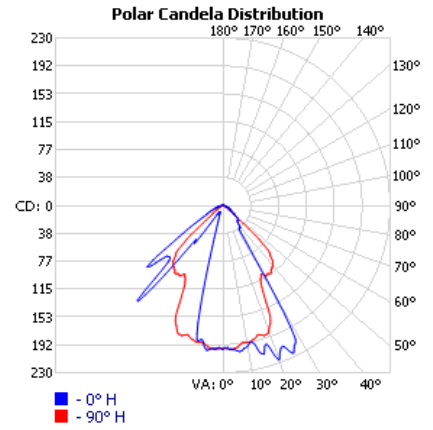
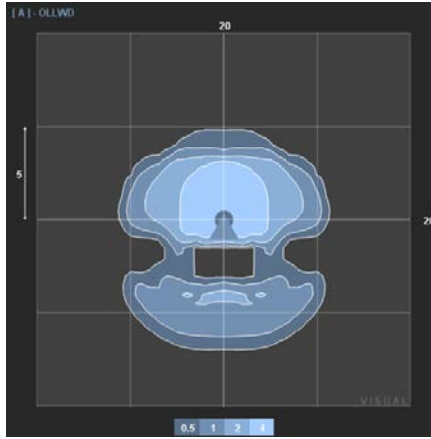
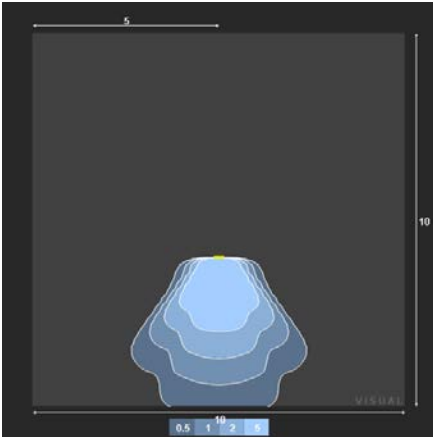
1. Only available with OLLWU and in DDB.
2. Only available with OLLWU.

OLLWD & OLLWU LED Wall Cylinder Light

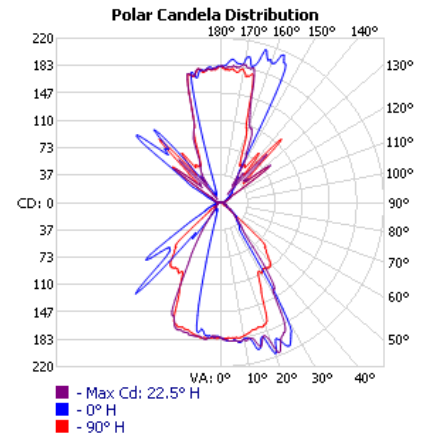
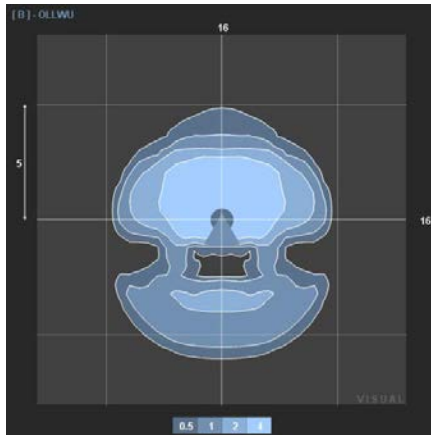
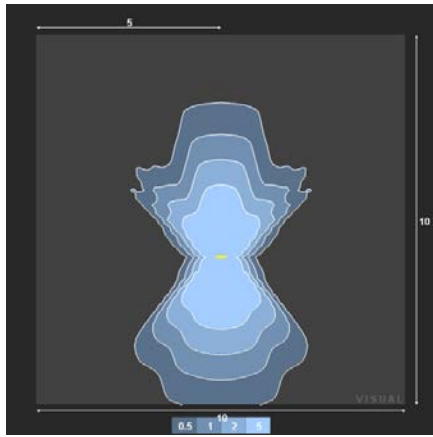
PHOTOMETRICS

To see complete photometric reports or download .ies files for this product, visit Lithonia Lighting's Outdoor LED homepage
 Tested in accordance with IESNA LM-79 and LM-80 standards.

OLLWD



OLLWU



OLLWD

Lithonia Lighting

LED **lighting facts**
A Program of the U.S. DOE

Light Output (Lumens)	533
Watts	9.1
Lumens per Watt (Efficacy)	58.63

Color Accuracy
Color Rendering Index (CRI)

70

Light Color
Correlated Color Temperature (CCT)

4000 (Bright White)

Warm White
2700K

Bright White
3000K

Daylight
4500K

Daylight
6500K

All results are according to IESNA LM-79-2008. Approved Method for the Electrical and Photometric Testing of Solid State Lighting. The U.S. Department of Energy (DOE) verifies product test data and results.

Visit www.lightingfacts.com for the Label Reference Guide.

Registration Number: NJSM-W81YMF (7/22/2018)
 Model Number: OLLWD LED P1 40K XXXXX XXX
 Type: Luminaire - Other

OLLWU

Lithonia Lighting

LED **lighting facts**
A Program of the U.S. DOE

Light Output (Lumens)	947
Watts	14
Lumens per Watt (Efficacy)	67.64

Color Accuracy
Color Rendering Index (CRI)

70

Light Color
Correlated Color Temperature (CCT)

4000 (Bright White)

Warm White
2700K

Bright White
3000K

Daylight
4500K

Daylight
6500K

All results are according to IESNA LM-79-2008. Approved Method for the Electrical and Photometric Testing of Solid State Lighting. The U.S. Department of Energy (DOE) verifies product test data and results.

Visit www.lightingfacts.com for the Label Reference Guide.

Registration Number: NJSM-Y79M8B (7/22/2018)
 Model Number: OLLWU LED P1 40K XXXXX XXX
 Type: Luminaire - Other



CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION CASE MEMO

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Planning and Zoning Commission
DATE: November 14, 2023
APPLICANT: Clay Cristy; *ClayMoore Engineering*
CASE NUMBER: SP2023-038; *Site Plan for HTeaO*

SUMMARY

Discuss and consider a request by Clay Cristy of ClayMoore Engineering on behalf of Staci Bowen of Metroplex Acquisition Fund, LP for the approval of a Site Plan for *Restaurant with Less Than 2,000 SF with a Drive-Through or Drive-In (i.e. HTeaO)* on a 0.93-acre portion of a larger 5.16-acre parcel of land identified as Lot 13, Block A, Stone Creek Retail Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 70 (PD-70) for General Retail (GR) District land uses, situated within North SH-205 Overlay (N. SH-205 OV) District, generally located at the northeast corner of the intersection of N. Goliad Street [SH-205] and Bordeaux Drive, and take any action necessary.

BACKGROUND

The subject property was annexed into the City of Rockwall on May 19, 1986 by *Ordinance No. 86-37*. On December 7, 1993, the City's historic zoning map indicates the subject property was zoned Agricultural (AG) District. On April 2, 2007, the City Council approved a zoning change for the subject property changing the zoning designation from an Agricultural (AG) District to Planned Development District 70 (PD-70) [*i.e. Ordinance No. 07-13*] for limited General Retail (GR) District land uses. On October 5, 2020, the City Council approved a replat [*i.e. Case No. P2020-038*] that replatted the subject property as Lot 11, Block A, Stone Creek Retail Addition. On May 2, 2022, the City Council approved a replat [*i.e. Case No. P2022-013*] that established the subject property as a portion of Lot 13, Block A, Stone Creek Retail Addition. On November 6, 2023, the City Council approved a Specific Use Permit (SUP) [*i.e. Case No. Z2023-048; Ordinance No. 23-62, S-319*] to allow a *Restaurant with less than 2,000 SF with Drive-Through or Drive-In* on the subject property. The subject property is currently vacant.

PURPOSE

On October 20, 2023, the applicant -- *Clay Cristy of ClayMoore Engineering* -- submitted an application requesting the approval of a site plan for the purpose of constructing a *Restaurant Less Than 2,000 SF with a Drive-Through or Drive-In (i.e. HTeaO)* on the subject property.

ADJACENT LAND USES AND ACCESS

The subject property is generally located northeast of the intersection of N. Goliad Street [SH-205] and Bordeaux Drive. The land uses adjacent to the subject property are as follows:

North: Directly north of the subject is a *Restaurant with less than 2,000 SF with a Drive-Through (i.e. Salad-n-Go)*. North of this is a *Restaurant with more than 2,000 SF with a Drive-Through (i.e. McDonald's)*. Beyond this is a *Retail Store with Gasoline Sales (i.e. Tom Thumb Gas Station)*. All of these properties are zoned Planned Development District 70 (PD-70) for limited General Retail (GR) District land uses.

South: Directly south of the subject property is Bordeaux Drive, which is identified as a *A4D (i.e. major arterial, four [4] lane, divided roadway)* on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this is Phase 1 of the Stone Creek Subdivision, which is an 83.57-acre residential subdivision, zoned Planned Development District 70 (PD-70) for Single-Family 10 (SF-10) District land uses.

East: Directly east of the subject property is the remainder of a 5.16-acre parcel of land (*i.e. Lot 13, Block A, Stone Creek Retail Addition*) -- that includes the subject property --, which is currently vacant. East of this is Stone Creek Drive, which is identified as a *Minor Collector* on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this is Phases 2B & 6 of the Stone Creek Subdivision, which are zoned Planned Development District 70 (PD-70) for Single-Family 10 (SF-10) District land uses.

West: Directly west of the subject property is N. Goliad Street [SH-205], which is identified as a A4D (*i.e. major arterial, four [4] lane, divided roadway*) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this are two (2) parcels of land (*i.e. 3069 and 3073 N. Goliad Street*), zoned Single-Family 16 (SF-16) District. Beyond this is Phase 6 of the Shores Subdivision, which consists of 70 lots and is zoned Planned Development District 3 (PD-3) for single-family land uses.

DENSITY AND DIMENSIONAL REQUIREMENTS

According to Section 01, *Land Use Schedule*, of Article 04, *Permissible Uses*, of the Unified Development Code (UDC), a *Restaurant with Less Than 2,000 SF with a Drive-Through or Drive-In* is permitted by Specific Use Permit (SUP) in a General Retail (GR) District. A Specific Use Permit (SUP) [*i.e. Case No. Z2023-048; Ordinance No. 23-62, S-319*] was granted for this land use by the City Council on November 6, 2023. The submitted site plan, landscape plan, photometric plan, and building elevations generally conform to the technical requirements contained within the Unified Development Code (UDC) for a property located within a General Retail (GR) District. A summary of the density and dimensional requirements for the subject property are as follows:

<i>Ordinance Provisions</i>	<i>Zoning District Standards</i>	<i>Conformance to the Standards</i>
<i>Minimum Lot Area</i>	<i>6,000 SF</i>	<i>X=0.81-acres; In Conformance</i>
<i>Minimum Lot frontage</i>	<i>60-Feet</i>	<i>X= 137-feet; In Conformance</i>
<i>Minimum Lot Depth</i>	<i>100-Feet</i>	<i>X=249.46-feet; In Conformance</i>
<i>Minimum Front Yard Setback</i>	<i>15-Feet</i>	<i>x>15-feet; In Conformance</i>
<i>Minimum Rear Yard Setback</i>	<i>10-Feet</i>	<i>x>10-feet; In Conformance</i>
<i>Minimum Side Yard Setback</i>	<i>10-Feet</i>	<i>x=10-feet; In Conformance</i>
<i>Maximum Building Height</i>	<i>36-Feet</i>	<i>X<60-feet; In Conformance</i>
<i>Max Building/Lot Coverage</i>	<i>40%</i>	<i>X=2.22%; In Conformance</i>
<i>Minimum Number of Parking Spaces</i>	<i>1 Parking Space/100 SF (8 Required)</i>	<i>x=8; In Conformance</i>
<i>Minimum Landscaping Percentage</i>	<i>20%</i>	<i>In Conformance</i>
<i>Maximum Impervious Coverage</i>	<i>85-90%</i>	<i>x<85%; In Conformance</i>

TREESCAPE PLAN

There are no trees being removed from the property, therefore no treescape plan is required.

CONFORMANCE WITH THE CITY'S CODES

According to Subsection 02.02(F)(27), *Restaurant with Drive Through or Drive-In*, of Article 13, *Definitions*, of the Unified Development Code (UDC) defines *Restaurants with Drive Through or Drive-In* as “(a) place of business whose primary source of revenue is derived from the sale of prepared food to the general public for consumption on-premise or off-premises and/or in a personal vehicle or where facilities are provided on the premises that encourages the serving and consumption of food in a personal vehicle on or near the restaurant premises.” In this case the applicant is requesting a *Restaurant with Less Than 2,000 SF with Drive-Through or Drive-In*, which conforms to the land use listed in Section 01, *Land Use Schedule*, of Article 04, *Permissible Uses*, of the Unified Development Code (UDC).

The proposed site plan generally conforms to the standards of the *General Overlay District Standards* and the *General Commercial District Standards* as stipulated by Article 05, *District Development Standards*, of the Unified Development Code (UDC), with the exception of the variances being requested as outlined in the *Variances and Exceptions Requested by the Applicant* section of this case memo.

VARIANCES AND EXCEPTIONS BY THE APPLICANT

As stated above, the applicant's request conforms to the majority of the City's codes; however, staff has identified the following exceptions:

(1) Architectural Standards.

- (a) 20% Stone Requirement. According to Subsection 06.02(C)(1)(A)(1), *Stone*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC), "...a minimum of 20% natural or quarried stone is required on all building facades." In this case, the applicant meets this requirement on three (3) of four (4) sides of the building. A *variance* is requested for the building façade that does not meet this requirement.
- (b) 90% Masonry Requirement. According to Subsection 06.02(C)(1), *Materials and Masonry Composition*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC), "...each exterior wall of a building's façade shall consist of a minimum of 90% Primary Materials..." In this case, the applicant meets this requirement on one (1) of the four (4) sides of the building. A variance is requested on three (3) of the four (4) sides of the building.
- (c) Roof Design Standards. According to Subsection 06.02 (C)(3), *Roof Design Standards*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC), states that "(a)ll structures that have a building footprint of less than 6,000 SF shall be constructed with a pitched roof". In this case, the applicant is requesting that this requirement be waived in order to meet their brand standards and match the surrounding buildings. Staff should note that this variance has been granted before for the adjacent restaurant (*i.e. Salad and Go*).
- (d) Four-Sided Architecture. According to Article 05, *General Overlay District Development Standards*, of the Unified Development Code (UDC), "(a)ll buildings shall be architecturally finished on all four (4) sides utilizing the same materials, detailing, articulation and features. In addition, a minimum of one (1) row of trees (*i.e. four [4] or more accent or canopy trees*) shall be planted along perimeter of the subject property to the rear of the building." In this case, the building elevations did not meet the articulation standards or projection standards for all four (4) facades of all buildings proposed and there is not an additional row of trees proposed at the back of the property.

According to Subsection 09.01, *Exceptions to the General Standards*, of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC), "...an applicant may request the Planning and Zoning Commission grant an exception to the provisions contained in the Unified Development Code (UDC), where unique or extraordinary conditions exist or where strict adherence to the technical requirements of the Unified Development Code would create an undue hardship." In addition, the code requires that applicant's provide compensatory measures that directly offset the requested exception. In this case, as compensatory measures the applicant is proposing to [1] increased landscaping (*i.e. six (6) canopy trees around the building and increased landscaping at east and southwest corners of the lot*), [2] additional coverings (*i.e. portico around the front entrance and squared arch openings on either side of portico*), and [3] increased horizontal articulation (*i.e. added cornice design using two-step cornice crowning the top of the walls finished in stucco*). With this being said, requests for exceptions to the general standards are discretionary decisions for the Planning and Zoning Commission. Staff should also note that a supermajority vote (*e.g. six [6] out of the seven [7] commissioners*) -- *with a minimum of four (4) votes in the affirmative* -- is required for the approval of an exception.

CONFORMANCE WITH OURHOMETOWN VISION 2040 COMPREHENSIVE PLAN

The Future Land Use Plan adopted with the OURHometown Vision 2040 Comprehensive Plan identifies the subject property as being situated in the Northwest Residential District. The Northwest Residential District is an established district that is significantly developed with medium-density, suburban housing and many of the subdivisions are not anticipated to change. As a result, the majority of commercial development in the area is anticipated to consist of neighborhood/convenience centers that are compatible in scale with the adjacent residential properties. Strategy #2 in the Northwest Residential District states that "...commercial in this district is intended to support the existing residential subdivisions and should be compatible in scale with the adjacent residential structures." In this case, the applicant's proposal appears to conform with the goals and policies of the Comprehensive Plan.

ARCHITECTURAL REVIEW BOARD (ARB) RECOMMENDATION

The Architectural Review Board (ARB) reviewed the building elevations provided by the applicant on November 1, 2023. The ARB recommended that the applicant revise the elevations to be more consistent with the surrounding buildings (*i.e. Salad and Go*) in terms of projections and building materials. They also asked that the applicants meet the articulation requirements. Before action is taken on the elevations, the ARB wants to see the revised elevations at the November 14, 2023 meeting.

CONDITIONS OF APPROVAL

If the Planning and Zoning Commission chooses to approve the applicant's Site Plan for HTeaO on the *subject property*, then staff would propose the following conditions of approval:

- (1) All staff comments provided by the Planning, Engineering and Fire Department must be addressed prior to the submittal of engineering plans.
- (2) The applicant shall update the Photometric Plan to be in conformance with the Unified Development Code (UDC) before the engineering process.
- (3) Any construction resulting from the approval of this Site Plan shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. _____

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

Please check the appropriate box below to indicate the type of development request [SELECT ONLY ONE BOX]:

Platting Application Fees:

- Master Plat (\$100.00 + \$15.00 Acre) ¹
- Preliminary Plat (\$200.00 + \$15.00 Acre) ¹
- Final Plat (\$300.00 + \$20.00 Acre) ¹
- Replat (\$300.00 + \$20.00 Acre) ¹
- Amending or Minor Plat (\$150.00)
- Plat Reinstatement Request (\$100.00)

Site Plan Application Fees:

- Site Plan (\$250.00 + \$20.00 Acre) ¹
- Amended Site Plan/Elevations/Landscaping Plan (\$100.00)

Zoning Application Fees:

- Zoning Change (\$200.00 + \$15.00 Acre) ¹
- Specific Use Permit (\$200.00 + \$15.00 Acre) ¹
- PD Development Plans (\$200.00 + \$15.00 Acre) ¹

Other Application Fees:

- Tree Removal (\$75.00)
- Variance Request (\$100.00)

Notes:

¹: In determining the fee, please use the exact acreage when multiplying by the per acre amount. For requests on less than one acre, round up to one (1) acre.

PROPERTY INFORMATION [PLEASE PRINT]

Address _____

Subdivision Stone Creek Retail Addition

Lot

12

Block

A

General Location North East Corner of N. Goliad St and Bordeaux Dr.

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

Current Zoning PD-070

Current Use

Undeveloped

Proposed Zoning PD-070

Proposed Use

Retail

Acreage 0.93

Lots [Current] 1

Lots [Proposed] 2

SITE PLANS AND PLATS: By checking this box you acknowledge that due to the passage of HB3167 the City no longer has flexibility with regard to its approval process, and failure to address any of staff's comments by the date provided on the Development Calendar will result in the denial of your case.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

Owner Metroplex Acquisition Fund, LP

Applicant ClayMoore Engineering

Contact Person Staci Bowen

Contact Person Clay Cristy

Address 1717 Woodstead Ct.

Address 1903 Central Dr.

Ste. 207

Ste. 406

City, State & Zip The Woodlands, TX 77380

City, State & Zip Bedford, Texas 76021

Phone 214.343.4477

Phone 817.281.0572

E-Mail sbowen@crestviewcompanies.com

E-Mail Clay@claymooreeng.com

NOTARY VERIFICATION [REQUIRED]

Billy J. Brice III, President of
Metroplex Acquisition Fund, LP

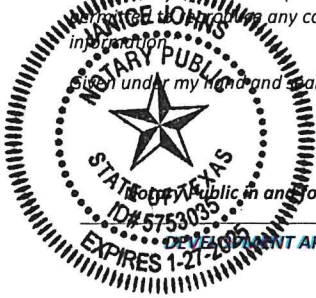
Before me, the undersigned authority, on this day personally appeared _____ [Owner] the undersigned, who stated the information on this application to be true and certified the following:

"I hereby certify that I am the owner for the purpose of this application; all information submitted herein is true and correct; and the application fee of \$ 268.60, to cover the cost of this application, has been paid to the City of Rockwall on this the 14 day of September, 20 23. By signing this application, I agree that the City of Rockwall (i.e. "City") is authorized and permitted to provide information contained within this application to the public. The City is also authorized and permitted to reproduce any copyrighted information submitted in conjunction with this application, if such reproduction is associated or in response to a request for public information.

Signature of undersigned under my hand and seal of office on this the 14th day of September, 20 23

Owner's Signature

My Commission Expires 1-27-2025



Notary Public in and for the State of Texas

SP2023-038: Site Plan for a Restaurant with a Drive-Through



PD-37

205

N GOLIAD ST

SF-16

PD-70

BORDEAUX DR

MIRAMOR DR

AG

Case Location Map =



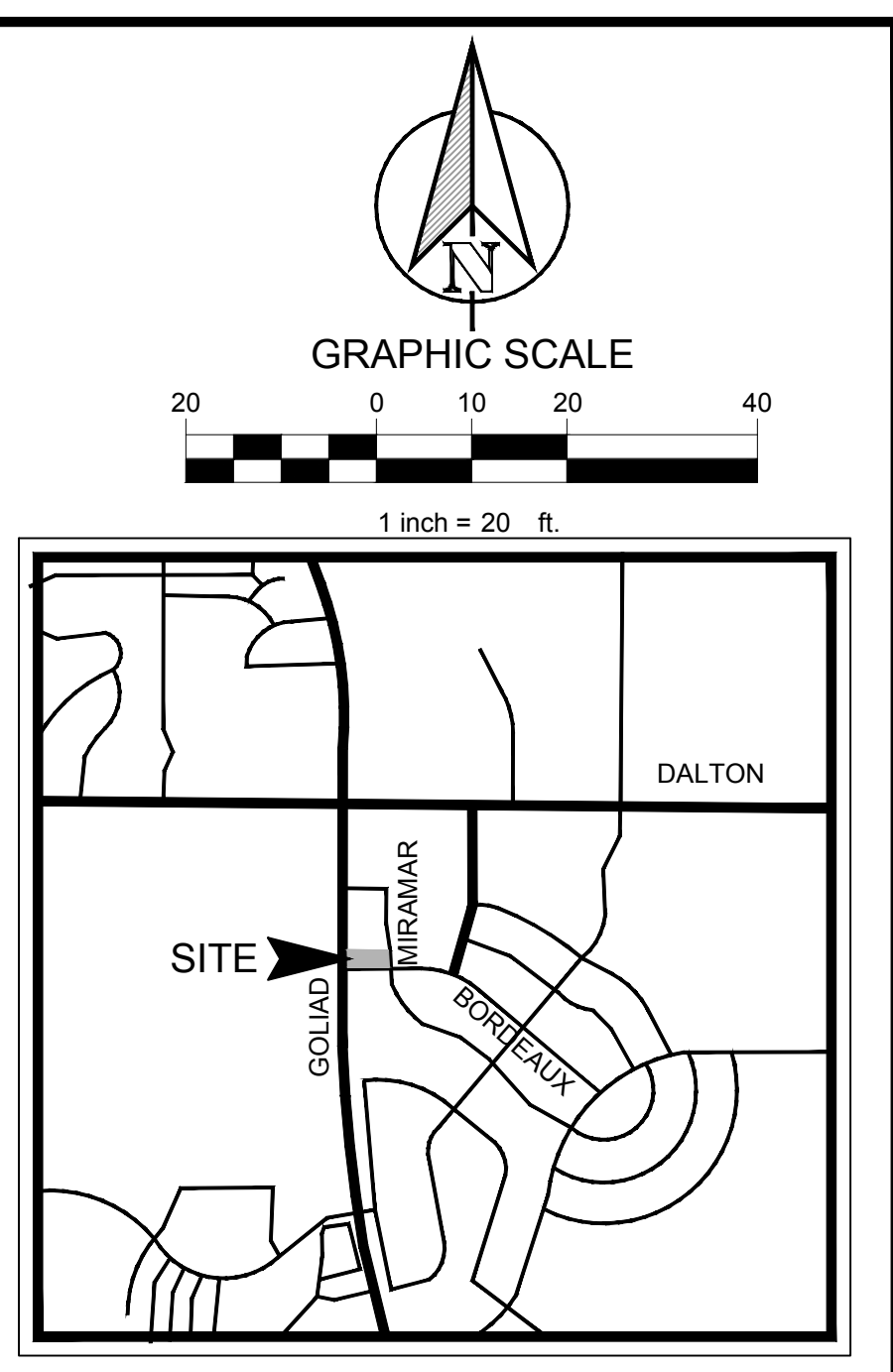
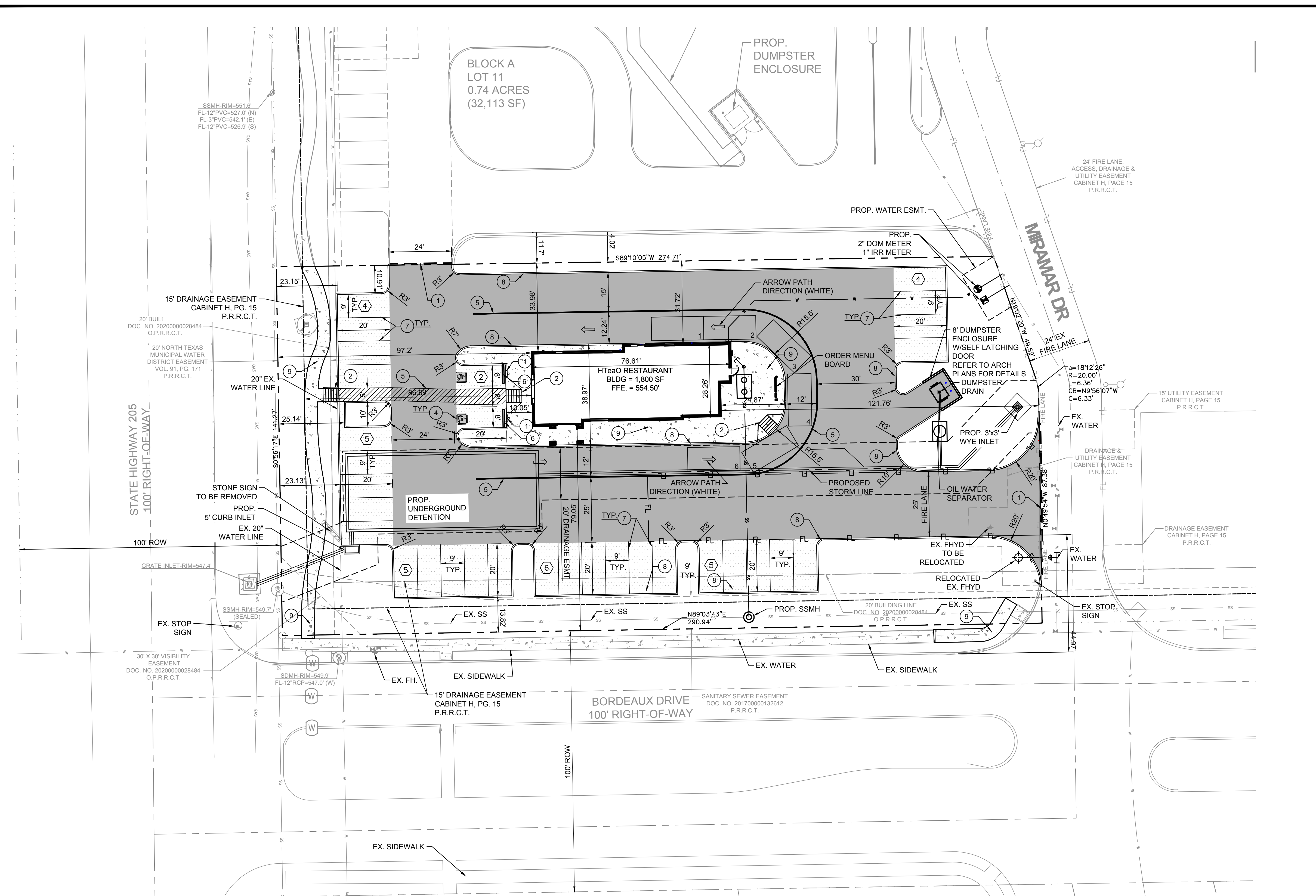
City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

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PLOTTED BY: MAX LANTANO
 PLOT DATE: 10/17/2023 2:33 PM
 LOCATION: Z:\PROJECTS\PROJECTS\2023-110 APPJ MGMT - HTEAO ROCKWALL\CADD\SHEETS\SP-1 SITE PLAN.DWG
 LAST SAVED: 10/17/2023 2:07 PM



VICINITY MAP
N.T.S.

CONSTRUCTION SCHEDULE	
	PROPOSED 5' LIME STABILIZED STANDARD DUTY CONCRETE PAVEMENT
	PROPOSED 6' LIME STABILIZED HEAVY DUTY CONCRETE PAVEMENT
	PROPOSED 5' LIME STABILIZED SIDEWALK CONCRETE PAVEMENT
	PROPERTY LINE
	PROPOSED CONCRETE CURB AND GUTTER
	PROPOSED FIRE LANE, PUBLIC ACCESS AND UTILITY EASEMENT
	PROPOSED SAWCUT
	PARKING COUNT

- NOTES:**
- A SEPARATE SIGNAGE PERMIT IS REQUIRED BY THE CITY OF ROCKWALL.
 - ALL WALLS 3' IN HEIGHT OR GREATER SHALL BE DESIGNED BY AN ENGINEER, LICENSED IN THE STATE OF TEXAS.
 - ALL WALLS MUST BE ROCK OR STONE FACE. NO WALLS SHALL BE SMOOTH CONCRETE.
 - NO TREES SHALL BE PLANTED WITHIN 10' OF NON-STEEL ENCASED PUBLIC UTILITIES.
 - SOD MUST BE LAID WITHIN ALL DISTURBED R.O.W. BEFORE ACCEPTANCE OF PROJECT.
 - PROPERTY OWNER WILL BE RESPONSIBLE FOR MAINTAINING, REPAIR, AND REPLACEMENT OF THE DETENTION/DRAINAGE SYSTEMS

PARKING DATA TABLE	
PARKING REQ.	
DRIVE-THRU RESTAURANT (1,800 SF) 1/ 100 SF	18 SPACES
PARKING PROVIDED	
STANDARD PARKING	29 SPACES
ADA PARKING	2 SPACES
TOTAL	31 SPACES (2 ADA)
TYP. PARKING DIMENSIONS	9'X20'

SITE DATA TABLE	
SITE AREA	0.933 AC (40,627 SF)
ZONING	PD-70
PROPOSED USE	DRIVE-THRU RESTAURANT
BUILDING SIZE	1,800 SF
BUILDING STORIES	1 STORY
TOTAL IMPERVIOUS	28,117 SF (69)

CONSTRUCTION SCHEDULE	
①	HANDICAP SIGN
②	ADA RAMP, 12:1 MAX. SLOPE
③	SAWCUT FULL DEPTH EXISTING PAVEMENT
④	HANDICAP SYMBOL
⑤	PAVEMENT STRIPING
⑥	CURB STOP
⑦	4" PARKING STALL STRIPING COLOR: WHITE
⑧	CURB & GUTTER
⑨	PROPOSED SIDEWALK

ALL RESPONSIBILITY FOR ADEQUACY OF DESIGN REMAINS WITH THE DESIGN ENGINEER. THE CITY OF ROCKWALL, IN REVIEWING AND RELEASING PLANS FOR CONSTRUCTION, ASSUMES NO RESPONSIBILITY FOR ADEQUACY OR ACCURACY OF DESIGN.

OWNER:
 METROPLEX ACQUISITIONS FUND, LP
 1717 WOODSTEAD CT, SUITE 207
 THE WOODLANDS, TX 77380
 CONTACT: STACI BOWEN
 PH: 214.343.447

DEVELOPER:
 APPPJ MANAGEMENT
 740 AVALON DR
 HEATH, TX 75032
 CONTACT: JEFF IVY
 PH: 214-272-4350

HTEAO RESTAURANT	
LEGAL DESCRIPTION AND OR ADDRESS: HWY 205 & BORDEAUX DRIVE ROCKWALL, TX 75087 0.933 AC (40,627 SF)	
APPLICANT: CLAYMOORE ENGINEERING, INC. 1903 CENTRAL DRIVE, SUITE #406 BEDFORD, TX 76021 CONTACT: CLAY CRISTY PH: 817.281.0572	
CASE NUMBER Z2023-046	
I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN FOR A DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE PLANNING AND ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE _____ DAY OF _____.	
WITNESS OUR HANDS THIS _____ DAY OF _____.	
PLANNING AND ZONING COMMISSION, CHAIRMAN	LRR
DIRECTOR OF PLANNING AND ZONING	LRR
	CLC
	DATE: 10/17/2023
SHEET	
SP-1	

TEXAS REGISTRATION #14199
 1903 CENTRAL DRIVE, SUITE #406
 BEDFORD, TX 76021
 WWW.CLAYMOORE.COM
 PHONE: 817.281.0572

CLAYMOORE ENGINEERING

PRELIMINARY
 FOR REVIEW ONLY
 Not for construction purposes.
 CLAYMOORE ENGINEERING
 ENGINEERING AND PLANNING
 CONSULTANTS
 CLAY CRISTY
 Engineer No. 10980 Date 10/17/2023

**HTEAO RESTAURANT
 HWY 205 & BORDEAUX DR
 ROCKWALL, TX 75087**

NO.	DATE	REVISION	BY
1	12/07/2020	STORM REVISION	LRR
2	09/13/2021	STORM REVISION	LRR

SITE PLAN

File No. 2020-021
 CASE # SP2023-000

BUILDING EXTERIOR WALL MATERIAL PERCENTAGES

TOTAL FAÇADE AREAS: **4389 S.F.**

TOTAL FAÇADE AREAS EXCLUDING OPENINGS, WINDOWS AND DOORS: **4111 S.F.**

MAX. BUILDING HEIGHT ALLOWED BY CODE: **40'-0" S.F.** PROPOSED BUILDING HEIGHT: **22'-0" S.F.**

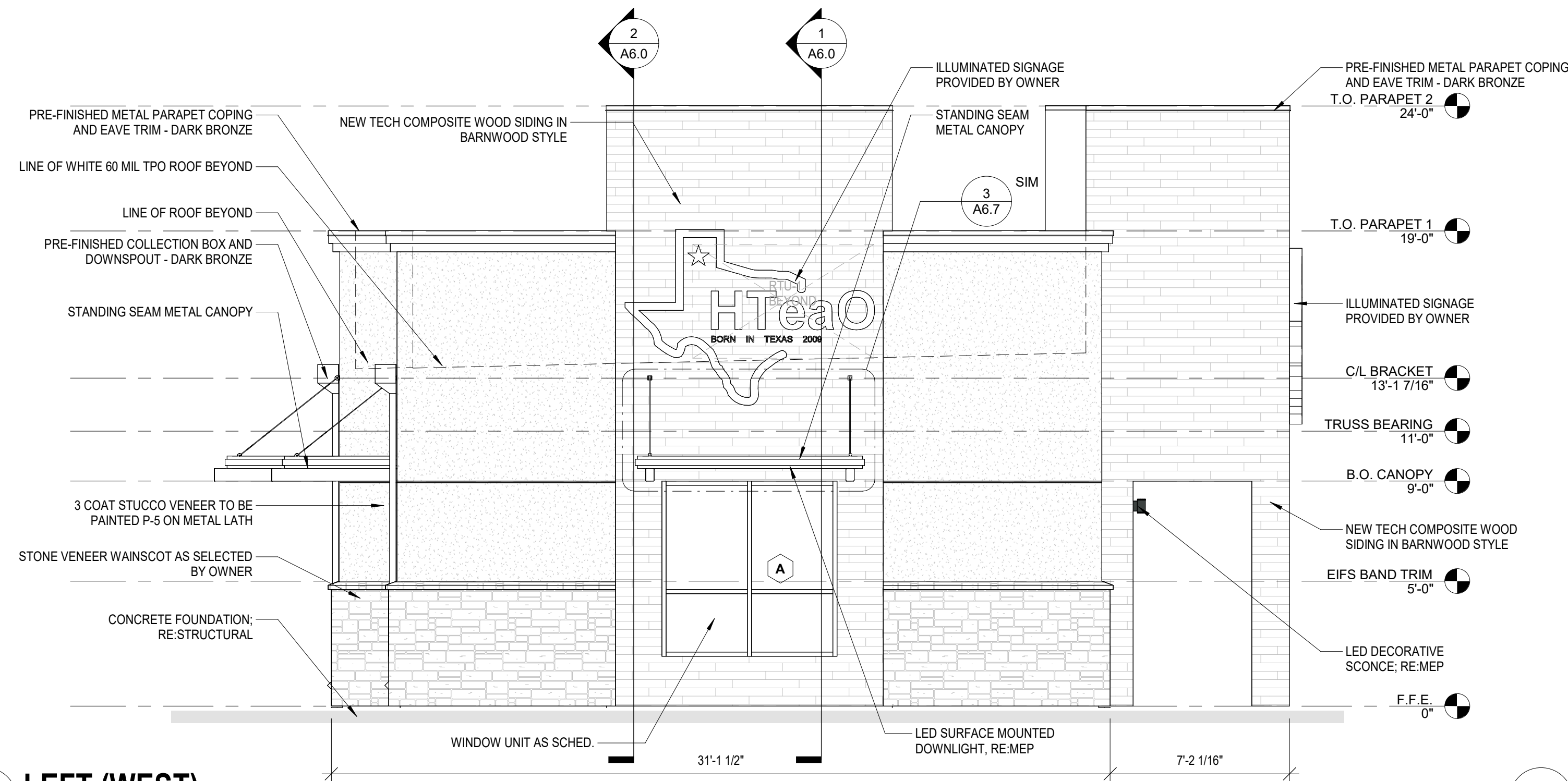
BLDG MATERIAL	NORTH		SOUTH		EAST		WEST		TOTALS	
	S.F.	%	S.F.	%	S.F.	%	S.F.	%	S.F.	%
Stucco	957	66%	800	53%	318	48%	250	33%	2325	53%
Stone	329	23%	297	20%	132	20%	98	13%	856	20%
Wood/Composite	0	0%	250	17%	171	26%	351	46%	772	18%
EIFS	64	4%	54	4%	23	3%	17	2%	158	4%
Windows/Doors	96	7%	112	7%	21	3%	49	6%	278	6%
TOTALS	1446	100%	1513	100%	665	100%	765	100%	4389	100%

GENERAL NOTES

1. CONTRACTOR TO VERIFY ALL FINISHES WITH OWNER BEFORE ORDERING.
2. CONTRACTOR TO VERIFY ALL OPENINGS FOR DOORS AND WINDOWS BEFORE ORDERING
3. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR PROPER PREPARATION OF ALL SURFACES IN SATISFACTORY MANNER. TOUCH-UP AND/OR REFINISH OF SURFACES DAMAGED BY SUBSEQUENT WORK SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR. ALL WORK SHALL BE PERFORMED IN CONFORMANCE WITH THE MANUFACTURER'S RECOMMENDED INSTALLATION METHODS.
4. ALL GLASS SUBJECT TO HUMAN IMPACT SHALL CONFORM TO THE STANDARDS SET FORTH BY CHAPTER 24 OF THE I.B.C.



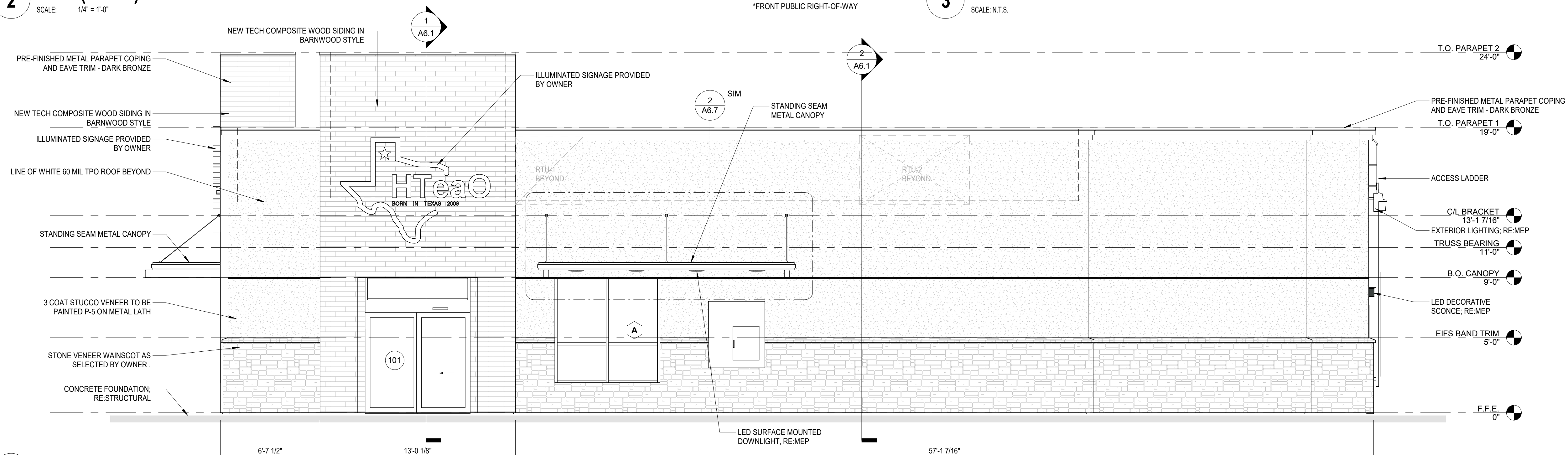
Stephen A. Kramer
ARCHITECTURE DESIGN



2 LEFT (WEST)
SCALE: 1/4" = 1'-0"



3 3D View 2
SCALE: N.T.S.



1 FRONT (SOUTH)
SCALE: 1/4" = 1'-0"

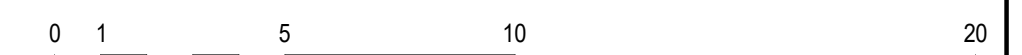
HTEAO ROCKWALL
3060 NORTH GOLIAD STREET
ROCKWALL, TX 75087



Date: 7-24-2023
Dwn: BRZ Chk: SJK
Project No.: 2348
Issue:

Sheet Name:
EXTERIOR ELEVATIONS

A5.0



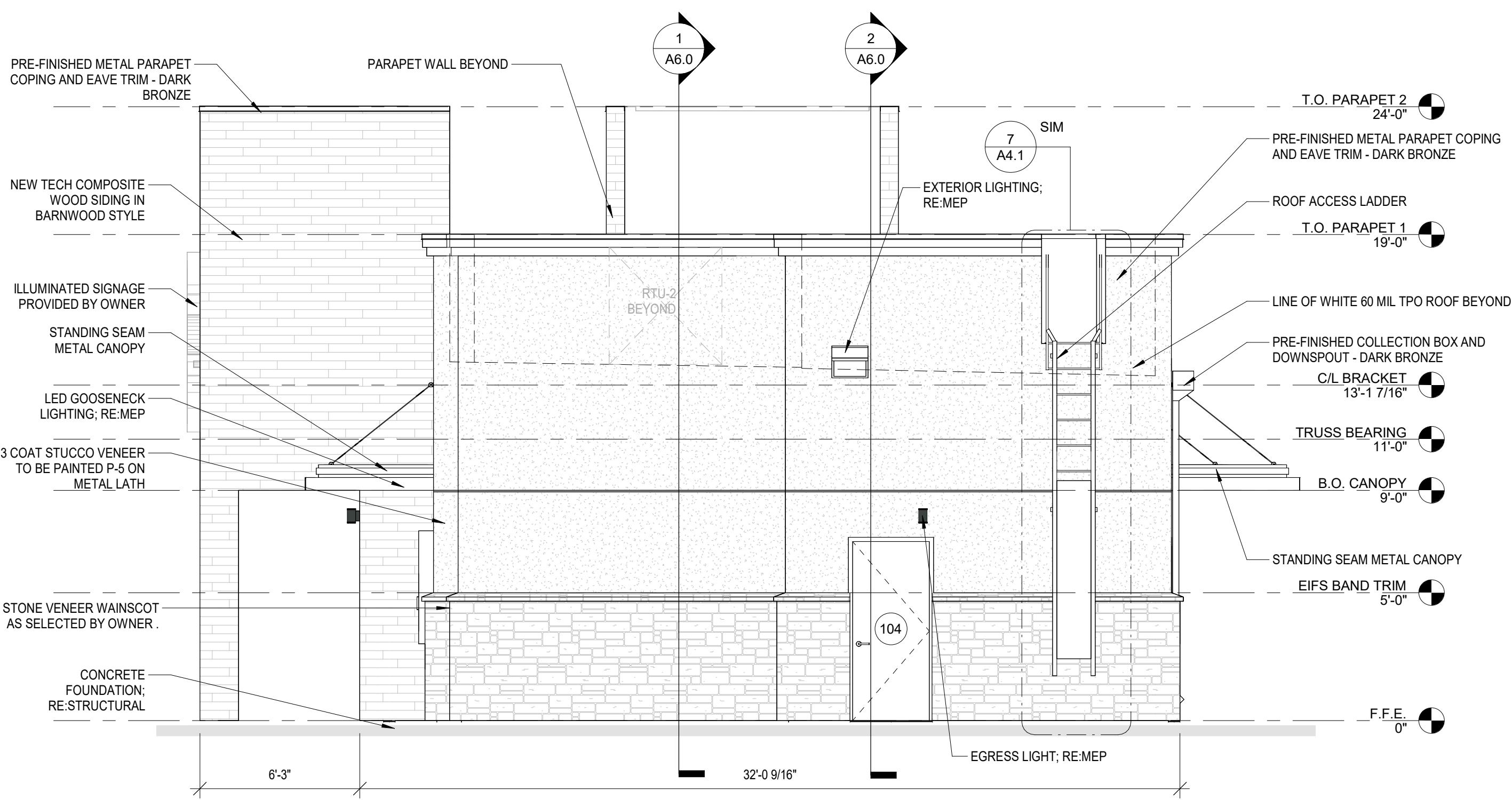
BUILDING EXTERIOR WALL MATERIAL PERCENTAGES

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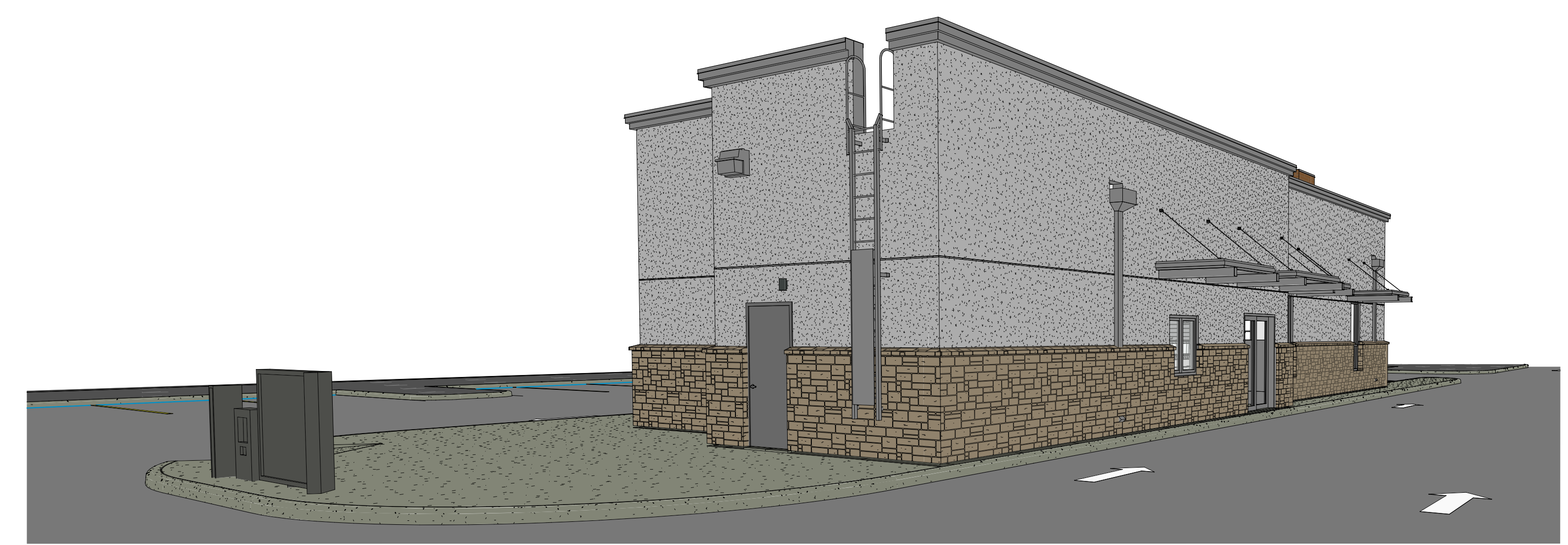
BLDG MATERIAL	NORTH		SOUTH		EAST		WEST		TOTALS	
	S.F.	%	S.F.	%	S.F.	%	S.F.	%	S.F.	%
Stucco	957	66%	800	53%	318	48%	250	33%	2325	53%
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GENERAL NOTES

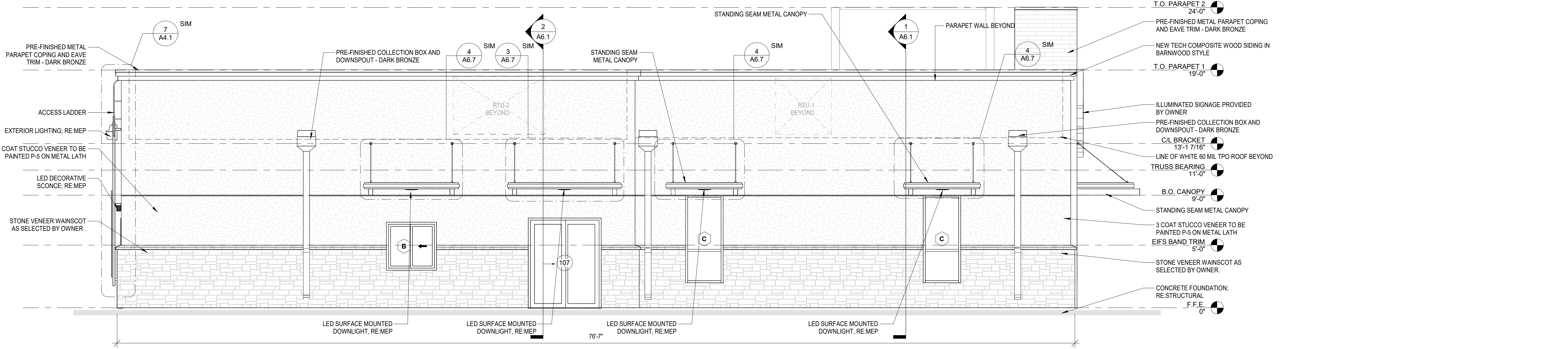
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4. ALL GLASS SUBJECT TO HUMAN IMPACT SHALL CONFORM TO THE STANDARDS SET FORTH BY CHAPTER 24 OF THE I.B.C.



2 RIGHT (EAST)
SCALE: 1/4" = 1'-0"



3 3D View 1
SCALE: N.T.S.



1 REAR (NORTH)
SCALE: 1/4" = 1'-0"

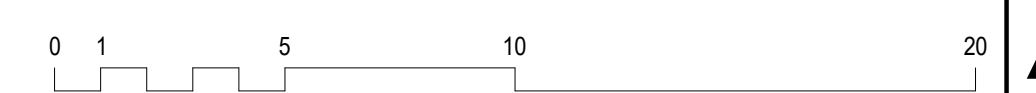
HTEAO ROCKWALL
 3060 NORTH GOLIAD STREET
 ROCKWALL, TX 75087

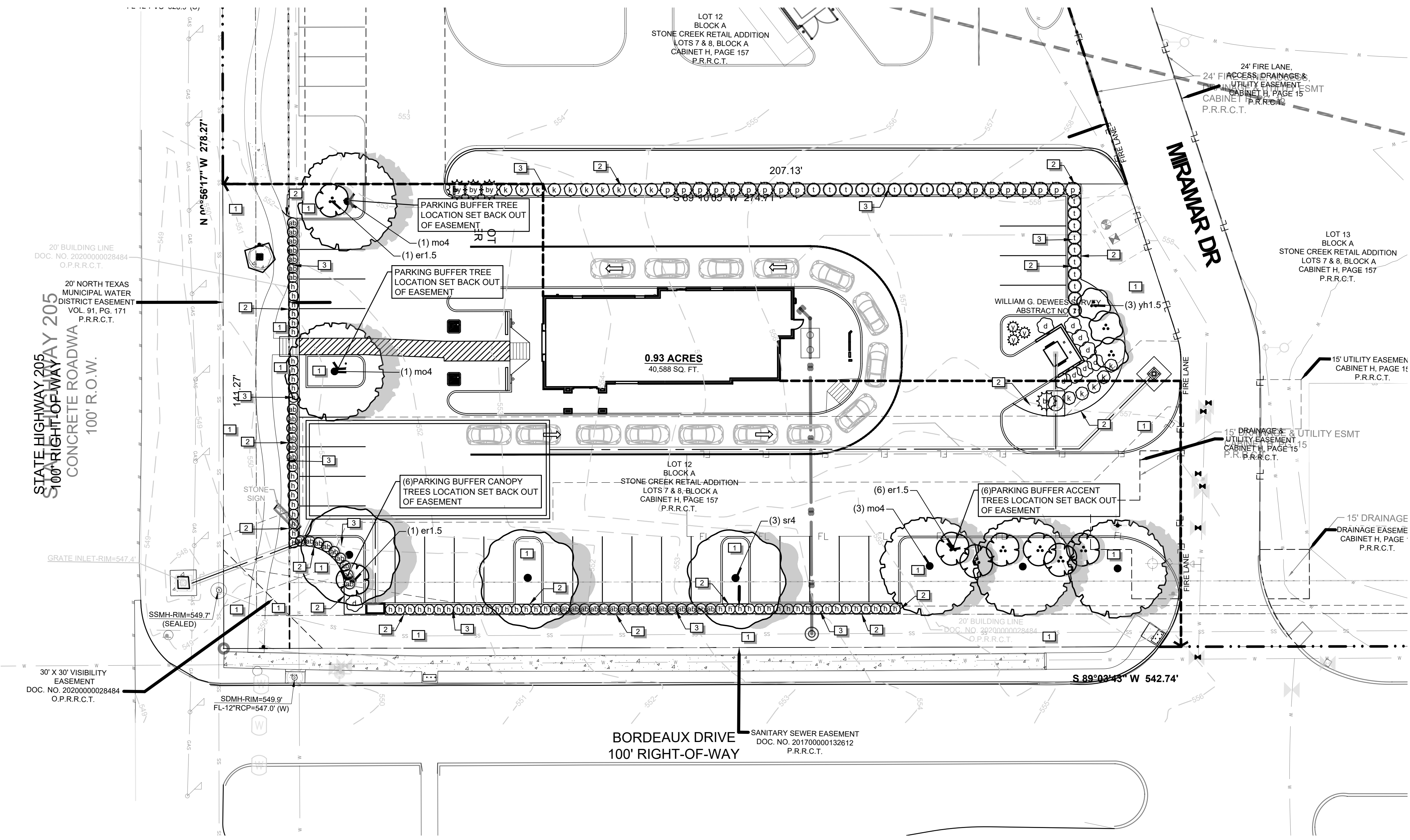


Date: 7-24-2023
 Dwn: BRZ Chk: SJK
 Project No.: 2348
 Issue:

Sheet Name:
 EXTERIOR
 ELEVATIONS

A5.1





LANDSCAPE CALCULATIONS

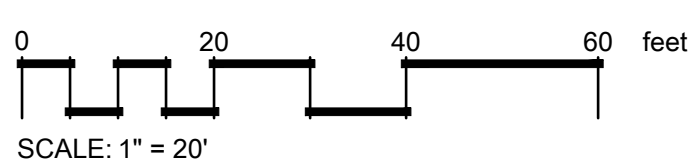
LANDSCAPE BUFFER	REQUIRED	PROVIDED
• N Goliad Dr. (110 lf)		
•• Shade trees (1 per 50 lf)	2	2
•• Accent trees (1 per 50 lf)	2	2
• Bordeaux Dr. (291 lf)		
•• Shade trees (1 per 50 lf)	6	6
•• Accent trees (1 per 50 lf)	6	6

LANDSCAPE SCREENING	REQUIRED	PROVIDED
• Headlight Screening (shrubs and 2' tall berm)		
•• N Goliad Dr.	73 lf	* lf
•• Bordeaux Dr.	182 lf	* lf
••• *shrubs and berm cannot be provided due to easement conflicts		

LANDSCAPE REQUIREMENTS	REQUIRED	PROVIDED
• Total Site Area		42,619sf
• Amount of Landscaping (20% Total Site)	8,524sf	12,702sf
• Location of Landscaping (50% in Streetyard)	4,262sf	9,163sf

REFERENCE NOTES SCHEDULE

SYMBOL	DESCRIPTION
1	Lawn, Sod
2	Steel Edge
3	Mulch



PLANT SCHEDULE

SYMBOL	CODE	COMMON NAME	BOTANICAL NAME	CONT	CAL	SIZE	QTY
TREES							
	mo4	Monterey Oak	Quercus polymorpha 'Monterey'	-	4"Cal	6' H min	5
	sr4	Shumard Red Oak	Quercus shumardii	-	4"Cal	6' H min	3
ORNAMENTAL TREES							
	er1.5	Eastern Redbud	Cercis canadensis	-	1.5"Cal	6' H min	8
	yh1.5	Yaupon Holly	Ilex vomitoria	-	1.5"Cal	6' H min	3
SHRUBS							
	ab	Abelia, Twist of Lime	Abelia x grandiflora 'Twist of Lime'	5 gal			40
	by	Beaked Yucca, 'Blue Velvet'	Yucca rostrata 'Blue Velvet'	5 gal			4
	d	Dwarf Palmetto	Sabal minor	5 gal			9
	h	Dwarf Burford Holly	Ilex cornuta 'Burfordii Nana'	5 gal			55
	k	Knock Out Rose	Rosa acicularis 'Knock Out'	5 gal			15
	p	Pineapple Guava	Feijoa sellowiana	5 gal			17
	t	Texas Sage 'Silverado'	Leucophyllum frutescens 'Silverado'	5 gal			19
	y	Soft Leaf Yucca	Yucca pendula	5 gal			3



Contractors:
 email info@blairla.com with RFIs, submittals, & inspection scheduling
 Schedule inspections at least 2 weeks in advance

Rev	Description	Date

Consultant Seal

Company Name and Address

William S. Blair
 (512) 522-8979
 info@blairla.com
 www.blairla.com
 100 Congress Ave.
 Ste 2000
 Austin, TX 78701

BLAIR LANDSCAPE ARCHITECTURE, LLC
 QUALITY. INTEGRITY. RELIABILITY.

William S. Blair
 November 9, 2023

Project Name and Address

HteaO | Rockwall
 N Goliad Dr. and Bordeaux Dr.
 Rockwall, Texas

Sheet Title

Landscape Plan

Design By: Will Blair
 Checked By: xxxx
 Issue Date: 09/15/2023
 Project Number: Z3062-LP

L1
 OF 2

NLS LIGHTING **NV-1**
AREA, SITE & ROADWAY

FORM AND FUNCTION

- Sleek, low profile housing
- Spec grade performance
- Engineered for optimum thermal management
- Low depreciation rate
- Reduces energy consumption and costs up to 65%
- Exceeds IES foot candle levels utilizing the least number of poles and fixtures per project
- Optical system designed for:
 - Parking Lots
 - Auto Dealerships
 - General Area Lighting

CONSTRUCTION

- Die Cast Aluminum
- External cooling fins
- Corrosion resistant external hardware
- One-piece silicone gasket ensures IP65 seal for electronics compartment
- One-piece Optics Plate mounting silicone Micro Optics
- Two-piece silicone Micro Optic system ensures IP67 level seal around each PCB
- Grade 2 Clear Anodized Optics Plate standard

FINISH

- 3-5 mils electrostatic powder coat
- NLS standard high quality finishes prevent corrosion, protects against extreme environmental conditions

WARRANTY
 Five-year limited warranty for drivers and LEDs.

BUY AMERICAN
 To ensure the latest BAA/TAA/BABA Standards are being met, please select BAA, TAA, or BABA in the options section. Please contact the factory before placing an order for any NLS products requesting BAA (Buy American Act), TAA (Trade American Act), or BABA (Build America, Buy America).

LED WATTAGE CHART

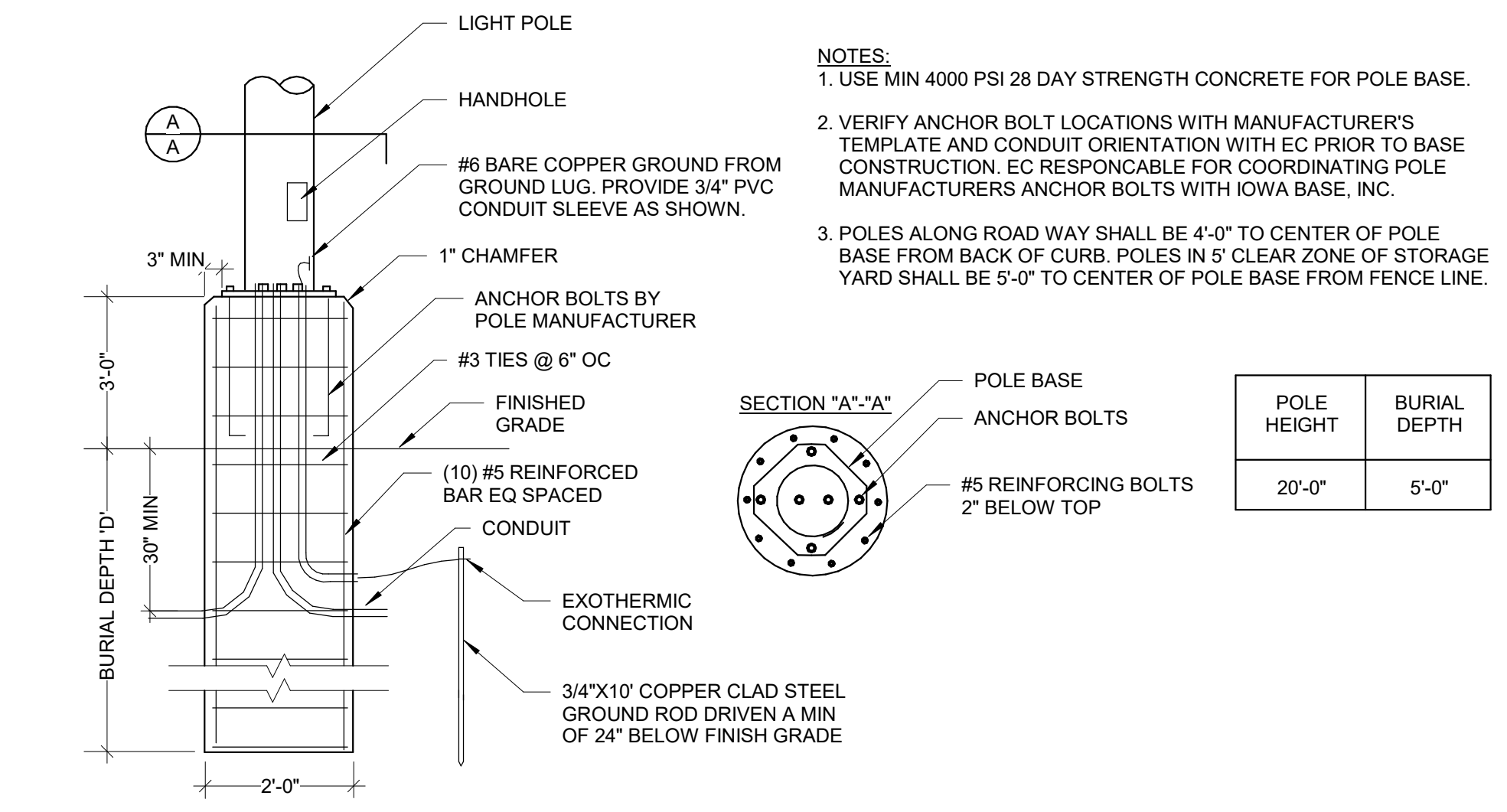
	16L	32L	48L	64L
400 millamps	21w	42w	63w	84w
530 millamps	28w	56w	84w	112w
700 millamps	36w	72w	108w	144w
1050 millamps	54w	108w	162w	216w

Project Name: _____ Type: _____

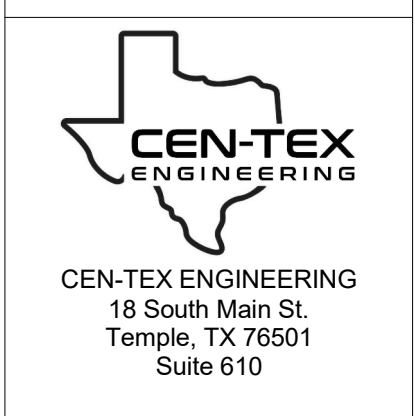
	TYPE G1	NLS LIGHTING	NV-1-T3-32L-1-40K8-DPS3-BLK-HSS 116W
Cat#	Light Dist.	# of LEDs	Millamps
NV-1 (NV-1)	Type 2 (T2)	16 (16L)	400 (40)
	Type 3 (T3)	32 (32L)	530 (53)
	Type 4 (T4)	48 (48L)	700 (7)
	Type 5 (T5)	64 (64L)	1050 (1)
	Nema 3 (N3)	30" Narrow Beam (N3)	3000K 80 CRI (300K) 90 CRI (300K)
			4000K 70 CRI (400K)
			5000K 70 CRI (500K)
			5000K 80 CRI (500K)

Notes:

- Consult Factory for Lead Time. Consult Factory for 90 CRI Requests.
- For Round Pole Specify RPA or RPA4
- Standard finish is stainless steel. Can be painted to match house.
- Universal Voltage 120-277
- ICC not applicable with Nema 3 and Nema 3 Optics
- 3000K or lower, with fixed mounting options only, must be selected to meet International Dark Sky Association certification.
- Glass Lens: Low Iron glass, fully tempered per ANSI Z87.1 (2013-2017)
- HAL Lens: Clear (only) or Silver (fixed glass), Yellow (Electrochrom Yellow Smooth 16:1), Anodized, 1" IP
- Please contact factory for Custom Control Integration requests (Light, NK, Wave, On, Chastrot, DMX, RDM, Synapse, Casambi, ZigBee, 4-20mA, or other control system)
- Turtle Safe
- Consult factory for all BAA/TAA/BABA requests



1 POLE BASE ELEVATION



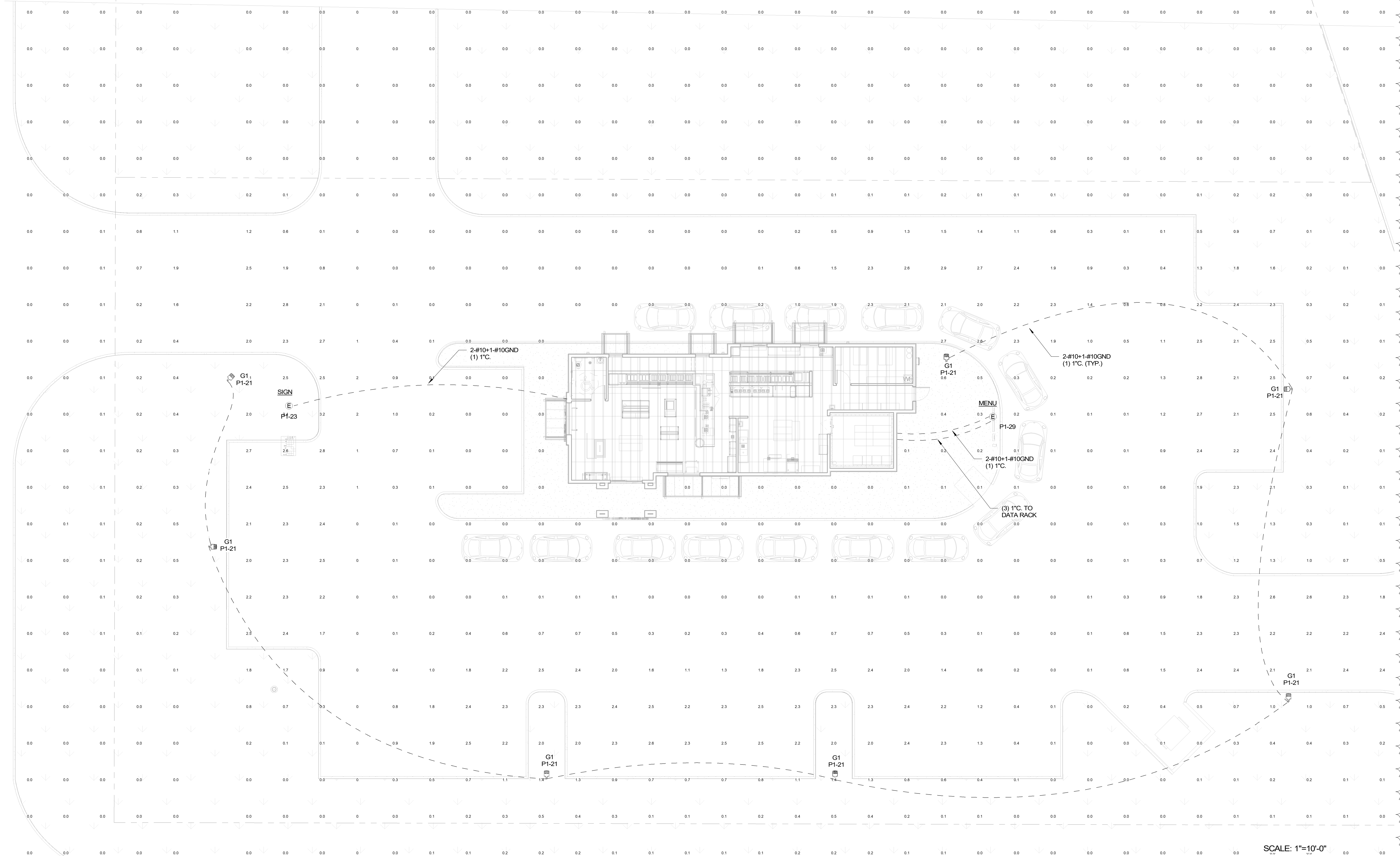
HTEAO ROCKWALL
 HWY 205 & BORDEAUX DR.
 ROCKWALL, TX 75087



Date: 09/29/2023
 Dwn: KSF Chk: CG
 Project No.: 2348
 Issue: PERMIT

Sheet Name:
 ELECTRICAL
 SITE
 PHOTOMETRIC
 PLAN
E0.3

TYPE G1 NLS LIGHTING NV-1-T3-32L-1-40K8-DPS3-BLK-HSS 116W



SCALE: 1"=10'-0"

1 ELECTRICAL SITE PHOTOMETRIC PLAN



HTEAO ROCKWALL
 HWY 205 & BORDEAUX DR.
 ROCKWALL, TX 75087



Date: 09/29/2023
 Dwn: KSF Chk: CG
 Project No.: 2348
 Issue: PERMIT

1	REVISION 1	11/06/2023

Sheet Name:
 ELECTRICAL
 SITE
 PHOTOMETRIC
 PLAN

E0.2



November 7, 2023

Angelica Guevara
Planning and Zoning
City of Rockwall
385 S Goliad St.
Rockwall, Texas 75087

Re: HTeaO- Variance Request

To Whom It May Concern,

Please let this letter serve as a written request for the variances below, related to our project at the NEC of Highway 205 and Bordeaux Dr.

1. 20% stone required for each faced of the proposed building. (UDC SS 05.01.A.1, Article 05)
 - a. The 20% minimum stone has been achieved on 3 of the 4 sides. This variance is requested for only 1 of the 4 sides of the building, in order to meet brand requirements. In compensation, a total of 6 canopies have been added around the building to increase character and architectural presence. In addition to this, we will also be working to increase the landscaping presence at the east and southwest corners of the lot for better appeal and green space.
2. 90% masonry materials are required on each façade of the proposed building. (UDC SS 05.01.C.2, Article 05).
 - a. The 90% masonry has been achieved on 1 of the 4 sides. This variance is requested for 3 of the 4 sides of the building, in order to meet brand requirements. In compensation, we have designed a portico around the front entrance to elevate the composite material and draw eyes to the entrance of the building. In addition to this we have chosen to build the squared arched openings on either side of the portico to provide an arcade-like feel as you walk across the front entrance.
3. Being in an overlay district and being less than 6,000 sf requires the roof to be pitched. (UDC SS 06.02.C.2, Article 05).
 - a. Similar to the Salad and Go adjacent to our project, we are requesting this requirement be waived to meet brand standards. In compensation we have increased the horizontal articulation of the building to add better depth and character with the casting of shadows throughout the day. In addition to this we have also added and articulated cornice design using a two-step cornice profile that crowns the top of the walls finished in stucco.

In review, all 6 compensatory measures have been thought out in a way to both elevate the site and appearance of the building to better draw in clientele and enhance the character and architectural appearance of the Hteao Store.

Sincerely,

Claymoore Engineering, Inc. 1903
Central Drive Ste. 406
Bedford, TX 76021
817-281-0572

A handwritten signature in blue ink, appearing to read "Clay Cristy".

Clay Cristy , P.E.